



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0152
Proposed Use or Development:	Residential (single dwelling and outbuilding)
Address of the Land:	54 Squibbs Road, Spreyton
Date of Notice:	08/11/2025

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **21/11/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



54 Squibbs Road, Spreyton



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 05-11-2025 10:06:31



RYAN JASON IVORY & SARAH LOUISE IVORY
 PROPOSED RESIDENCE & SHED
 54 SQUIBBS ROAD, SPREYTON

Drawing Schedule

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GENERAL INFORMATION

ACCREDITED DESIGNER: **NICHOLAS BRANDSEMA**
 ACCREDITATION NUMBER: **047538582**
 LAND TITLE REFERENCE NUMBER: **PID9570764, TITLE REF 187000/1**
 ENERGY ASSESSMENT: **TBA**
 COUNCIL ZONE: **RURAL LIVING**
 COUNCIL: **DEVONPORT COUNCIL**

FLOOR AREAS
 GROUND FLOOR AREA: **244m2 (26 SQUARES)**
 SHED AREA: **150m2 (16 SQUARES)**

SITE INFORMATION
 SITE AREA: **9954m2**
 DESIGN WIND SPEED: **TBA**
 SOIL CLASSIFICATION: **TBA**
 ALPINE AREA: **N/A**
 CORROSION ENVIRONMENT: **N/A**
 BUSHFIRE ATTACK LEVEL: **TBA**
 CLIMATE ZONE: **7**





SITE PLAN

PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS
SECONDARY CONTOURS SHOWN AT 250mm INTERVALS

ALL RL LEVELS REFER TO FFL LEVEL, SITE DATUM POINT
TBA

DRIVEWAY

EXPOSED AGGREGATE 120mm THICK 25MPa CONCRETE WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING. AGGREGATE STYLE AND FINISH TO BE CONFIRMED BY OWNER.

GENERAL NOTES:

DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATELY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE CONSTRUCTION PROCESS.

EXCAVATION:

ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESSES AND SERVICES AS INDICATED. MAKE GOOD.

SETTING OUT:

THE BUILDER SHALL ACCURATELY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SET-OUT.

PROTECTION WORK

(PART 6 - PROTECTION WORK OF THE BUILDING ACT 2016)
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A SUPPORT, ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (NOTICE FOR PROPOSED PROTECTION WORK).

SITE PLAN
Scale 1 : 400

n+b

22 Fieldings Way
Ulverstone, Tasmania
Australia
7315

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Scale A2
1 : 400

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Revision
No. Date Description
A 01/05/25 Issued as PRELIMINARY

do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE & SHED
Location
54 SQUIBBS ROAD, SPREYTON
Client
RYAN & SARAH IVORY

Sheet Title
SITE PLAN

Drawn Issue Date Project No. Revision
NJB 01/05/25 TBA A

Sheet Number

A101
/ A122

WALL | FACADE MATERIALS & FINISHES

WT-1 AUSTRAL SAN SELMO "LIMEWASH" BRICK

WT-2 JAMES HARDIE OBLIQUE CLADDING, PAINT TO FINISH
INSTALLED AS PER MANUFACTURERS SPECIFICATION



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

COLORBOND CUSTOM ORB ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER, COLOUR TO BE "MONUMENT"

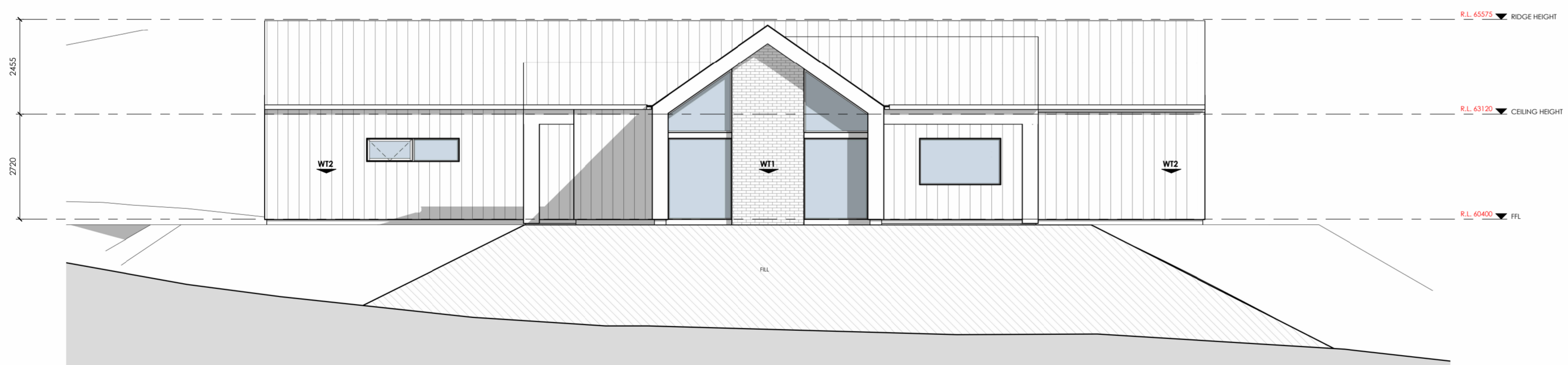
SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTH ELEVATION

Scale 1 : 100



EAST ELEVATION

Scale 1 : 100

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Project
PROPOSED RESIDENCE & SHED
Location
54 SQUIBBS ROAD, SPREYTON
Client
RYAN & SARAH IVORY

Sheet Title
ELEVATIONS 1 OF 2

Drawn
NJB Issue Date
01/05/25

Project No.
TBA

Revision
A

Sheet Number

A102

/ A122



NORTH ELEVATION

Scale 1 : 100

WALL | FACADE MATERIALS & FINISHES

- WT-1** AUSTRAL SAN SELMO "LIMEWASH" BRICK
- WT-2** JAMES HARDIE OBLIQUE CLADDING, PAINT TO FINISH
INSTALLED AS PER MANUFACTURERS SPECIFICATION
- WT-3** NEWTECHWOOD COMPOSITE CASTELLATION CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATION



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

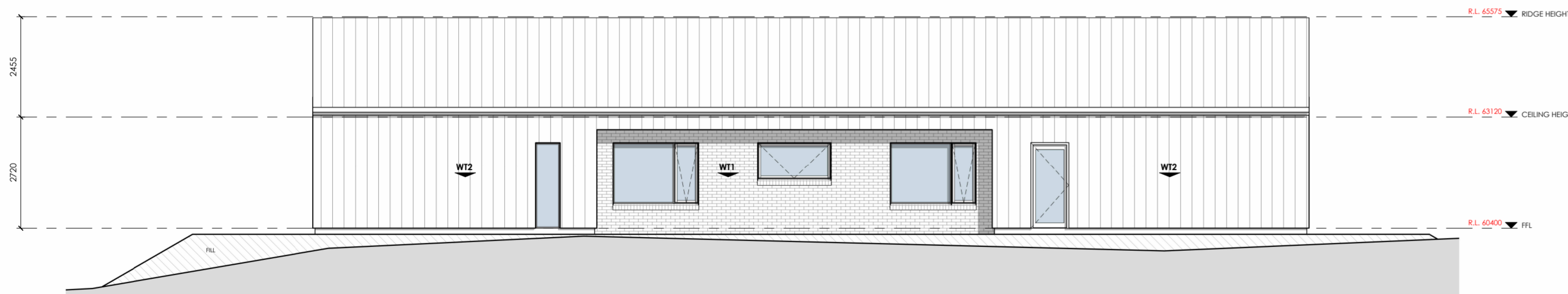
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET TRIMMERS LOCATED WITHIN 1200mm OF EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS, REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

COLORBOND CUSTOM ORB ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER, COLOUR TO BE "MONUMENT"

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED, REVEALS AS SELECTED. ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



WEST ELEVATION

Scale 1 : 100

FLOOR AREAS & FINISHES

FLOOR AREA - 244m²
ALFRESCO AREA - 19m²

VINYL
FLOOR AREA APPROX - 95m²
 5mm SELECTED VINYL PLANK FLOORING

CARPET
FLOOR AREA APPROX - 64m²
 SELECTED CARPET AND UNDERLAY

TILES
FLOOR AREA APPROX - 18m²
 SELECTED TILES, GROUT, SEALANT, TRIMS
 SEALED PRIOR WITH A WATERPROOF
 MEMBRANE SYSTEM

CONCRETE
FLOOR AREA APPROX - 40m²
 NO SURFACE FINISH REQUIRED.

SKIRTING - 66x18 PRE PRIMED BEVELLED
 SKIRTINGBOARD, PAINT TO FINISH.

NOTES
 ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH
 CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047
 ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740
 ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684
 ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

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Project
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RYAN & SARAH IVORY

Sheet Title
FLOOR PLAN

Drawn
NJB

Issue Date
01/05/25

Project No.
TBA

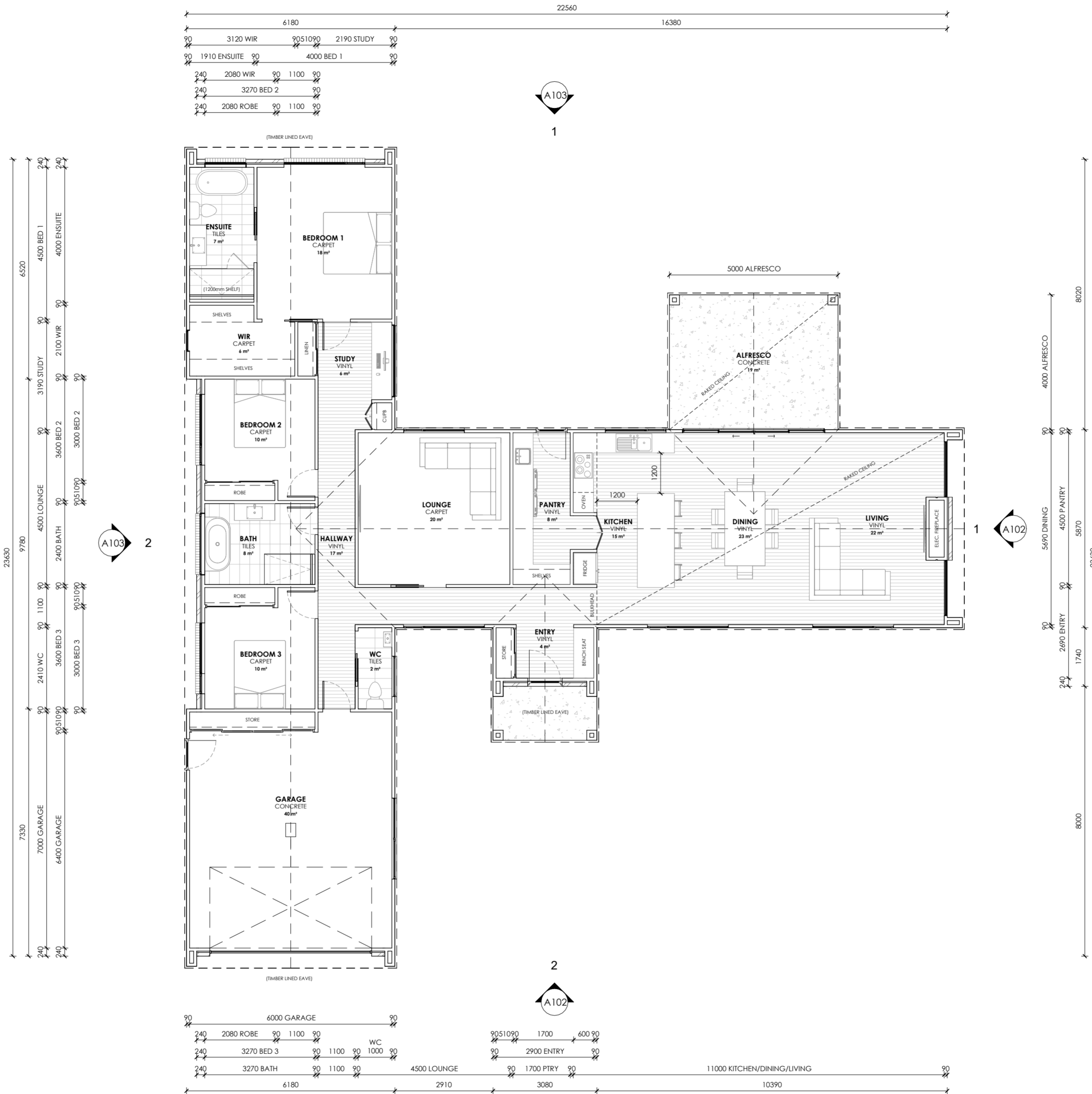
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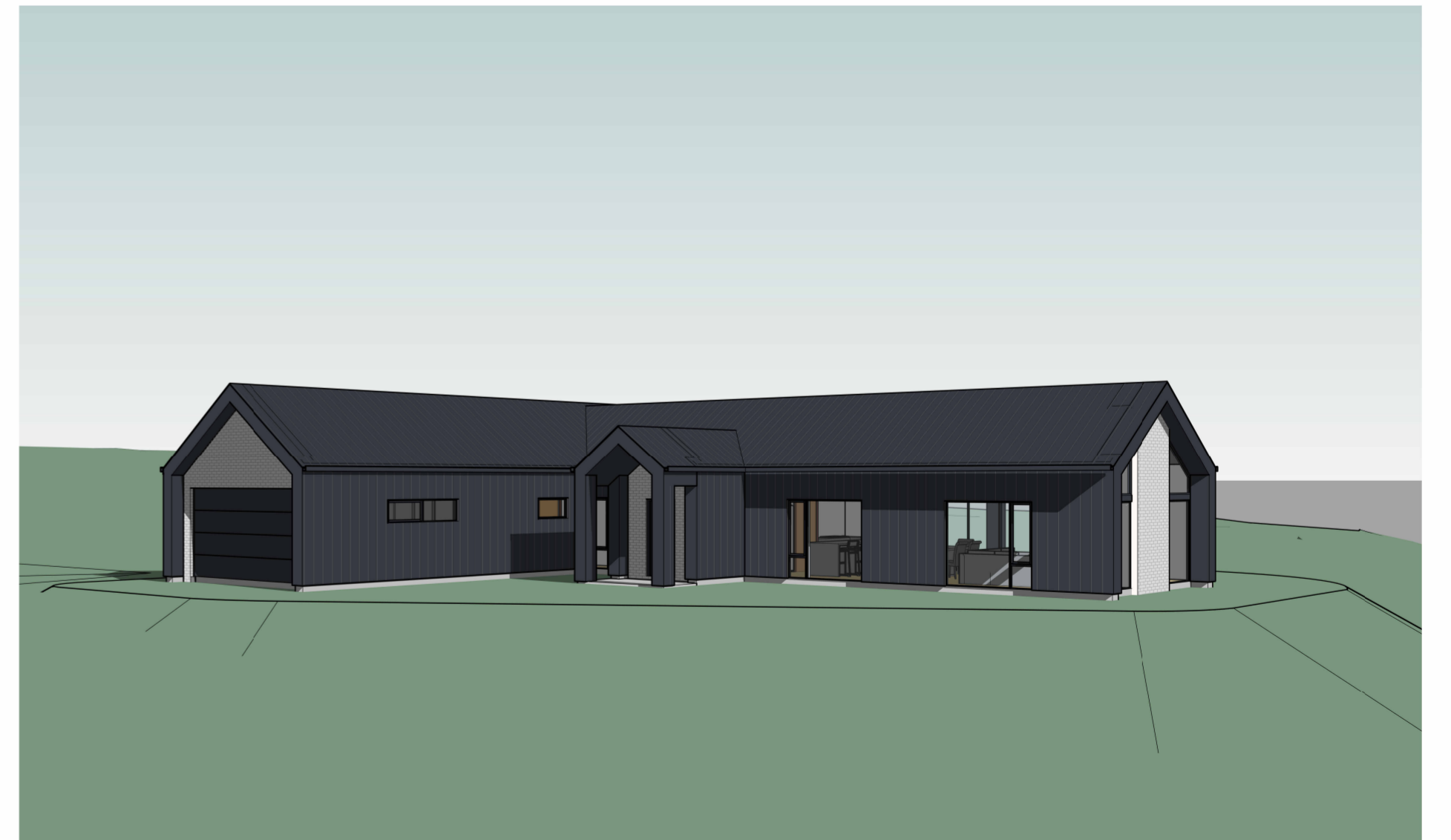
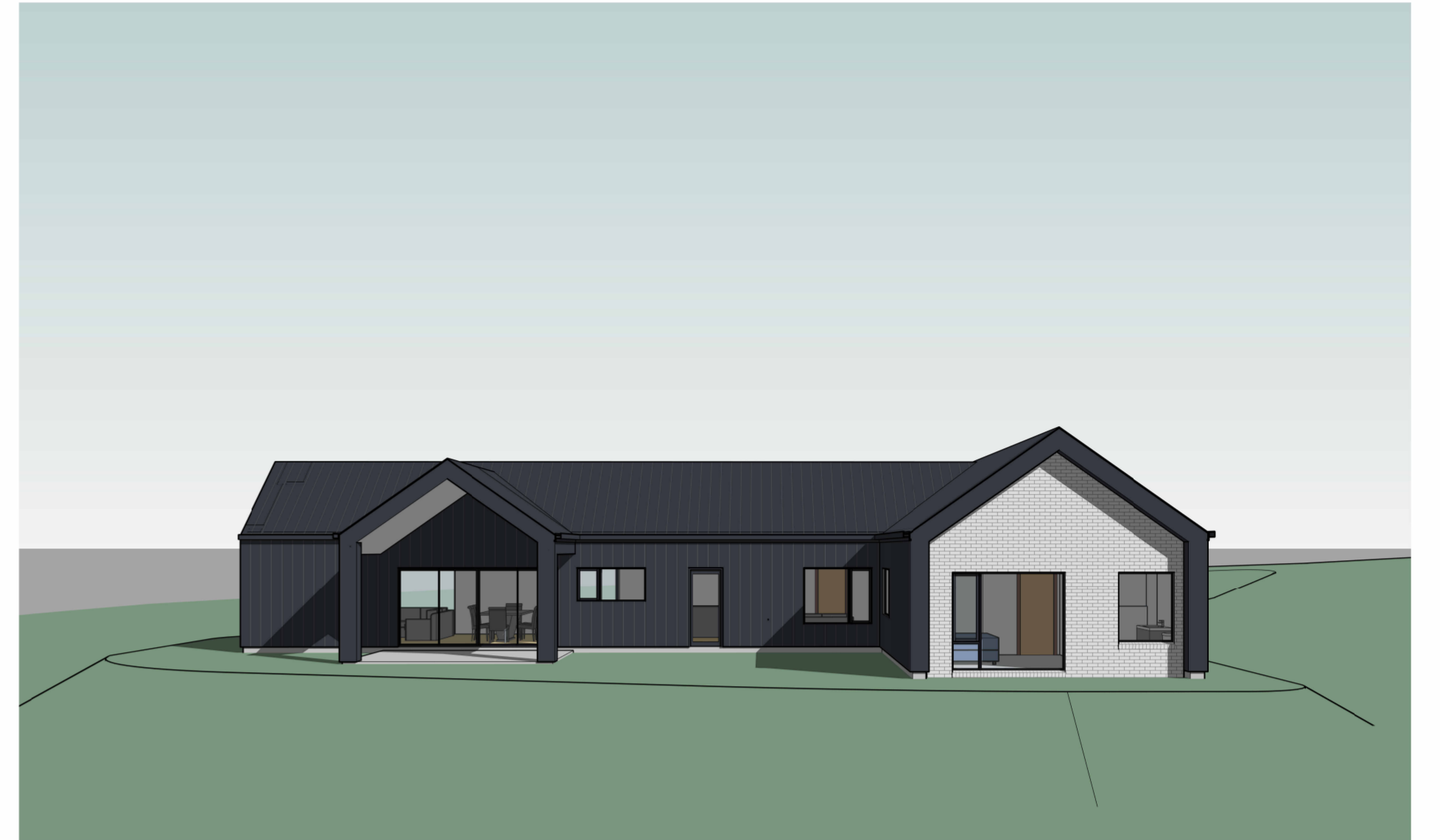
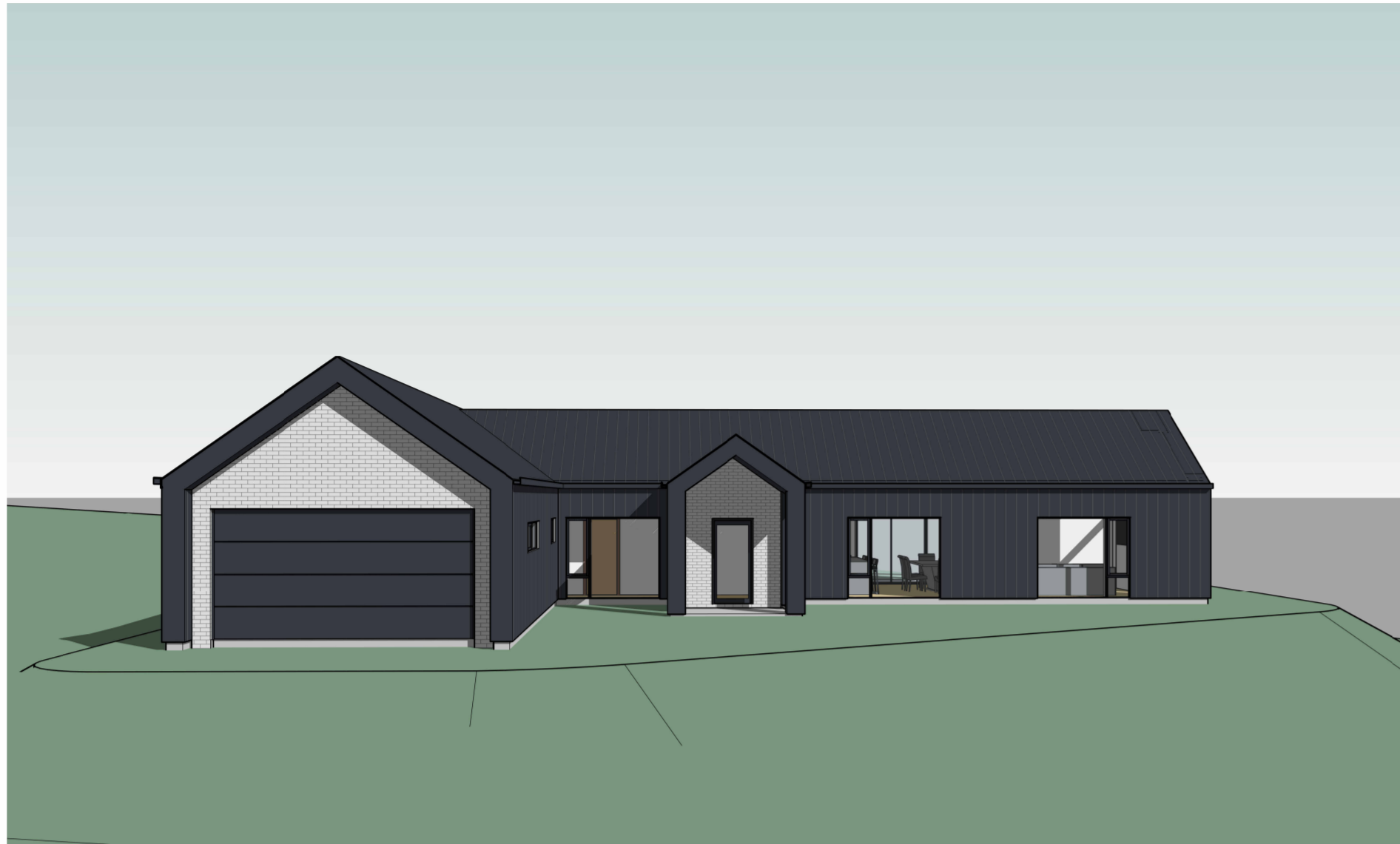
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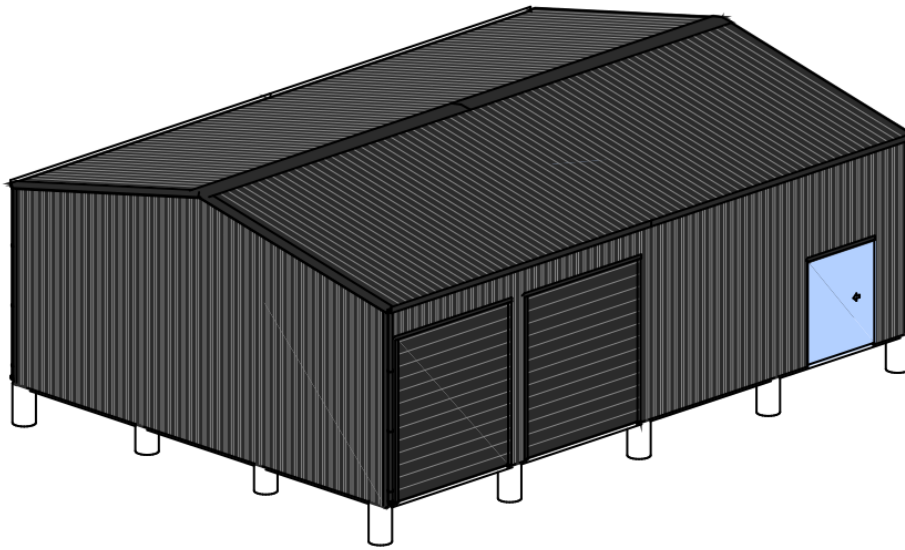
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FLOOR PLAN
 Scale 1 : 100

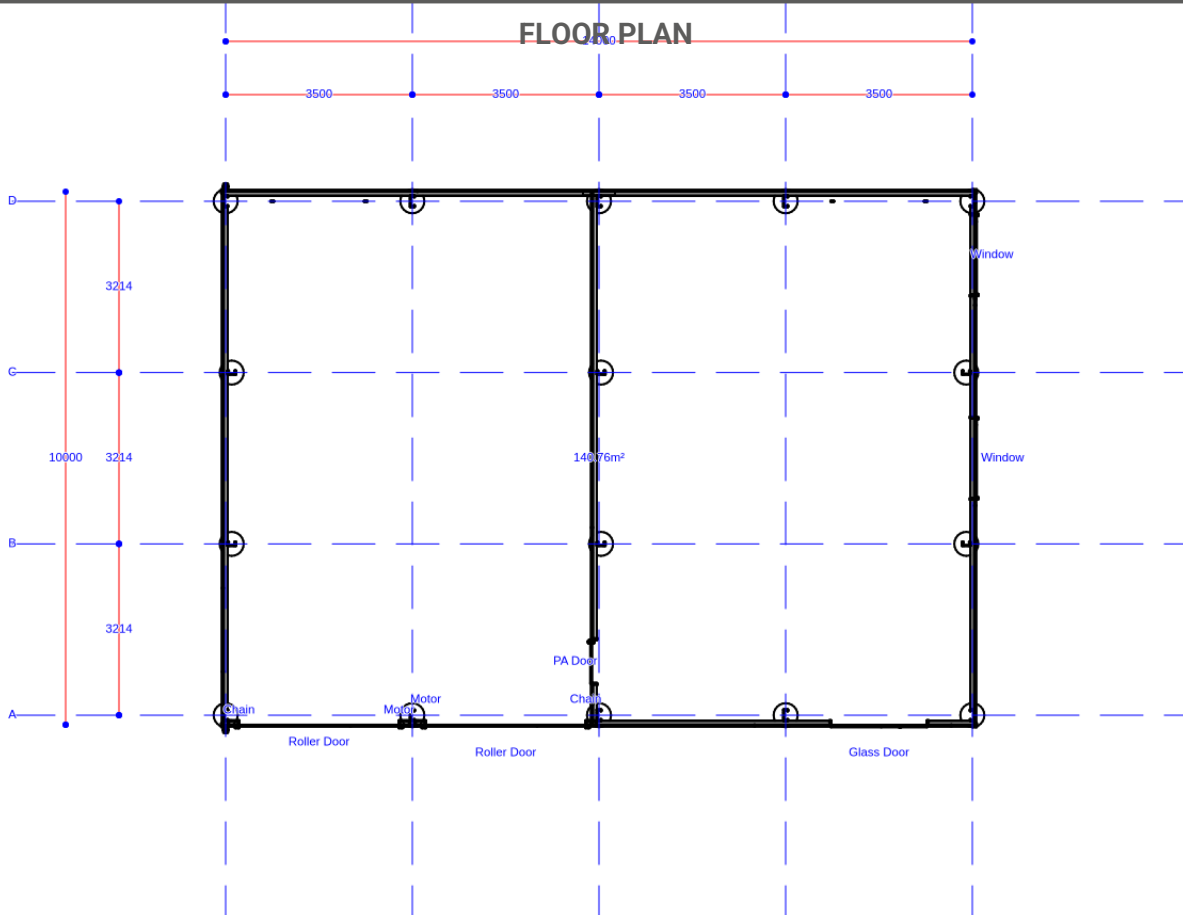




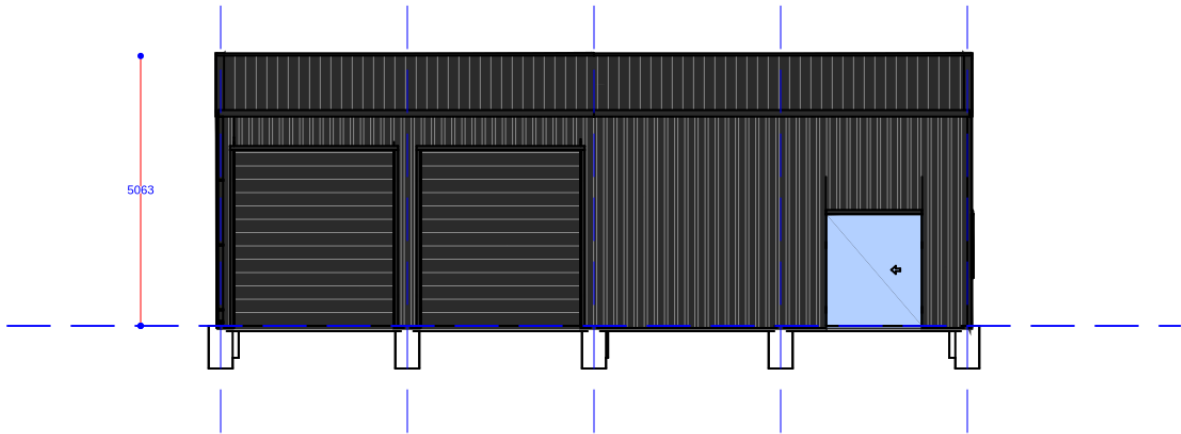
3D IMAGE



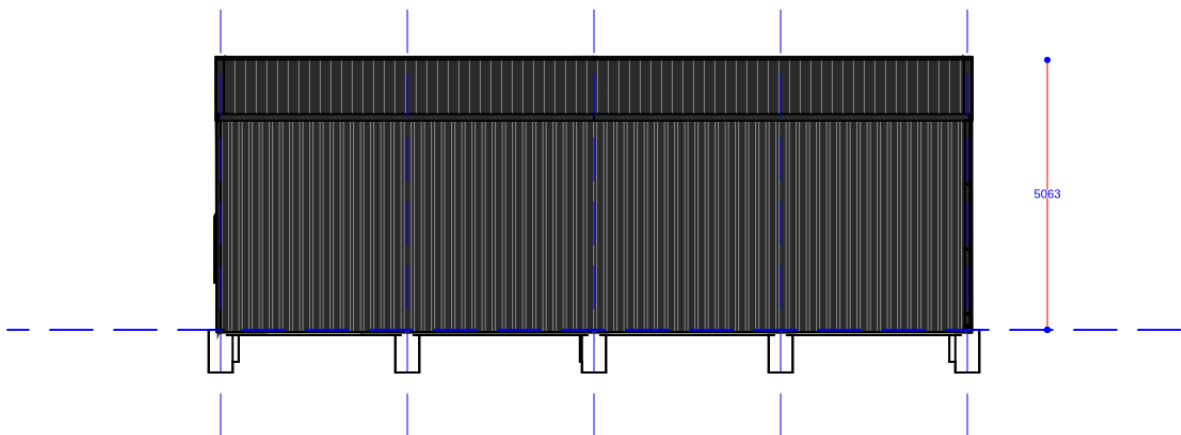
FLOOR PLAN



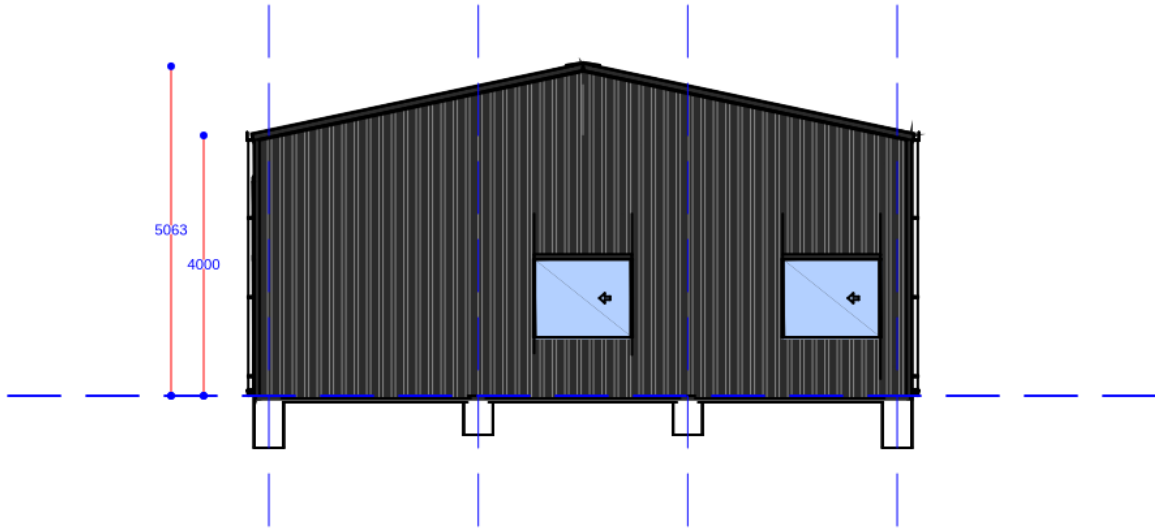
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

