



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/054701**

**PROPOSAL:** Dwelling

**LOCATION:** 26 Toronto Drive, Seven Mile Beach

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 08 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 October 2025. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 08 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New dwelling and shed

Location:

Address Lot 2 Toronto Dr

Suburb/Town Seven Mile Beach

Postcode

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 800,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

vacant land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

Signature.....	<b>Personal Information Removed</b>	Date..... 11/08/25
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**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.*

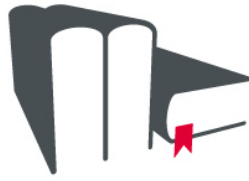
### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:
  - *Existing and proposed use(s) on site.*
  - *Boundaries and dimensions of the site.*
  - *Topography, including contours showing AHD levels and major site features.*
  - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
  - *Soil type.*
  - *Vegetation types and distribution, and trees and vegetation to be removed.*
  - *Location and capacity of any existing services or easements on/to the site.*
  - *Existing pedestrian and vehicle access to the site.*
  - *Location of existing and proposed buildings on the site.*
  - *Location of existing adjoining properties, adjacent buildings and their uses.*
  - *Any natural hazards that may affect use or development on the site.*
  - *Proposed roads, driveways, car parking areas and footpaths within the site.*
  - *Any proposed open space, communal space, or facilities on the site.*
  - *Main utility service connection points and easements.*
  - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*



## MURDOCH CLARKE

5 August 2025

Our Ref  
Your Ref

JJP:TLC 2500585

Clarence City Council  
38 Bligh Street  
Rosny Park TAS 7018

**Email: [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au)**

Dear Sir/Madam

**RE: BENJAMIN RHETT THOMAS JAMES & PAIGE MAREE JAMES  
- LOT 2 TORONTO DRIVE, SEVEN MILE BEACH (CT 188834/2)**

I refer to the above individuals and advise that I act on their behalf.

Please find **enclosed** a signed Contract for Sale in relation to their purchase of the abovementioned property. I advise that settlement of this purchase was completed on 4<sup>th</sup> August 2025 and the Title documents are currently at the Land Titles Office to be registered into my clients names.

Accordingly, please liaise with my clients in relation to lodging documents for them to commence construction of a residential dwelling.

If you require any further information from me, please do not hesitate to contact me.

Yours faithfully  
**MURDOCH CLARKE**

Per: 

**JARRYD PRICE**  
Partner

P: 03 6235 9311  
E: [jarryd.price@murdochclarke.com.au](mailto:jarryd.price@murdochclarke.com.au)

TRUSTED LAWYERS FOR OVER 125 YEARS

SEARCH OF TORRENS TITLE

VOLUME 188834	FOLIO 2
EDITION 1	DATE OF ISSUE 09-Jul-2025

SEARCH DATE : 18-Aug-2025

SEARCH TIME : 11.41 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Sealed Plan [188834](#)

Derivation : Part of 97 Acres Gtd. to William Garlick

Prior CT [188364/250](#)

SCHEDULE 1

TORONTO PASTORAL COY. PTY. LTD.

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP188834](#) EASEMENTS in Schedule of Easements

[SP188834](#) COVENANTS in Schedule of Easements

[SP188834](#) FENCING PROVISION in Schedule of Easements

[SP188834](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP188834](#) SEPTIC TANK NOTIFICATION

[SP172346](#), [SP181390](#) & [SP182879](#) FENCING PROVISION in Schedule of Easements

[SP172346](#), [SP181390](#) & [SP182879](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP172346](#), [SP181390](#) & [SP182879](#) SEPTIC TANK NOTIFICATION

[C403611](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 03-Sep-2002 at noon

[E38838](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 21-Apr-2016 at noon

[E61128](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 29-Sep-2016 at noon

[E236437](#) AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 12-Nov-2020 at noon

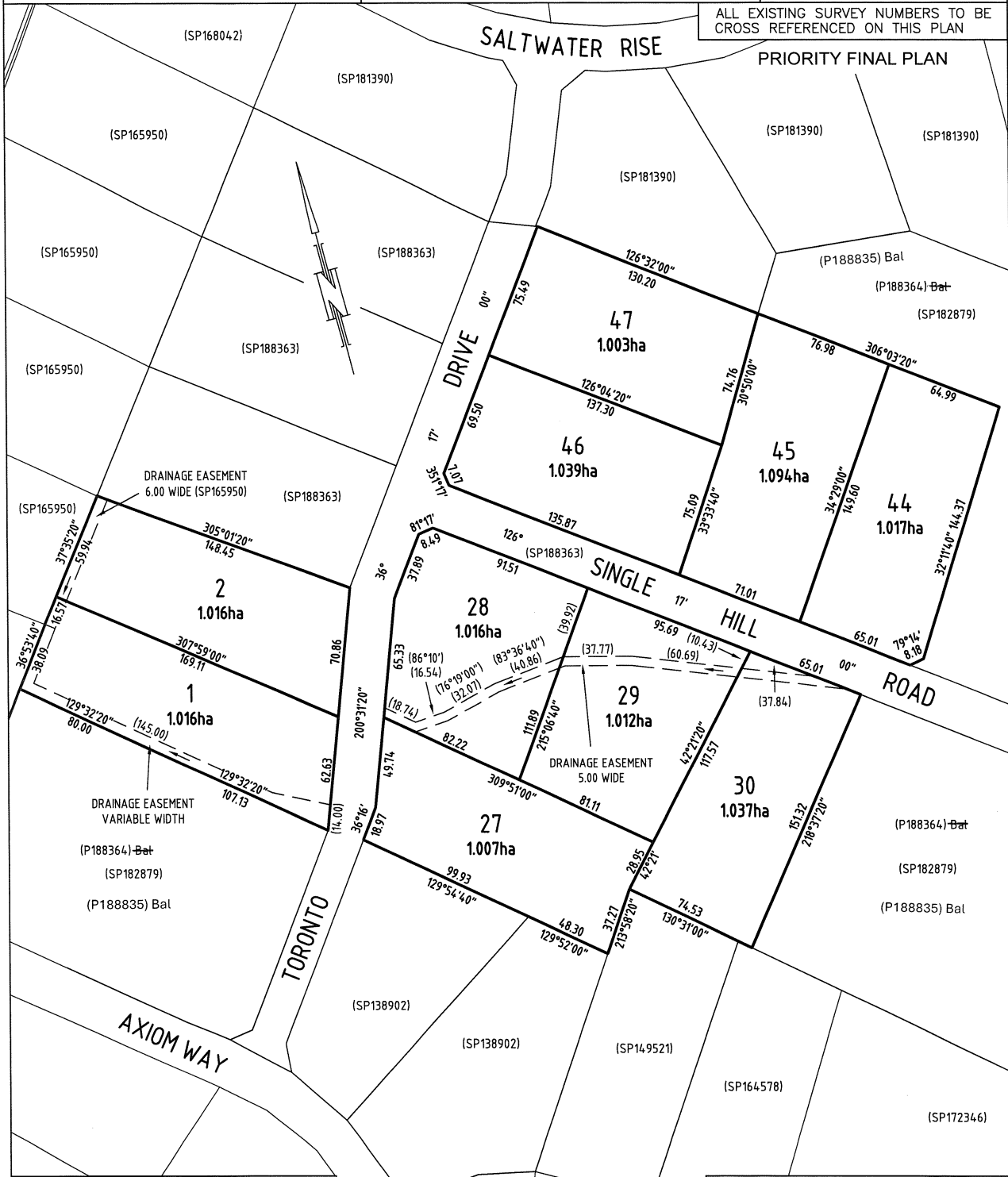
[E247637](#) AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 16-Mar-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

- N278456 PRIORITY NOTICE reserving priority for 90 days  
TRANSFER Toronto Pastoral Coy. Pty. Ltd. to Benjamin  
Rhett Thomas James and Paige Maree James Lodged by  
MURDOCH CLARKE on 25-Jul-2025 BP: N278456
- N278402 TRANSFER to BENJAMIN RHETT THOMAS JAMES and PAIGE  
MAREE JAMES Lodged by MURDOCH CLARKE on 07-Aug-2025  
BP: N278402

OWNER TORONTO PASTORAL COY. PTY. LTD.	<b>PLAN OF SURVEY</b>	REGISTERED NUMBER
FOLIO REFERENCE C.T.188364/250	BY SURVEYOR SAMUEL FRANKLIN HARVEY <b>ROGERSON AND BIRCH SURVEYORS</b> UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0402-476-360	<b>SP188834</b>
GRANTEE PART OF 97 ACRES GRANTED TO WILLIAM GARLICK, <del>PART OF 1000 ACRES LOCATED TO JOHN JEWELL</del>	<b>CITY OF CLARENCE</b>	APPROVED EFFECTIVE FROM 09 JUL 2015
	SCALE 1: 2,000 LENGTHS IN METRES	<i>Samuel Franklin Harvey</i> Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



*Samuel Franklin Harvey*  
Registered Land Surveyor  
09/05/2015  
Date

*Clare Shee*  
Council Delegate  
27.06.2015  
Date

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188834

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Drainage easement**

Lot 1 on the plan is SUBJECT TO a right of drainage over that part of Lot 1 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (~~subject to conditions more fully set forth in Sealed Plan 165950 (if any)~~)

Lot 2 on the plan is SUBJECT TO a right of drainage over that part of Lot 2 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (~~subject to conditions more fully set forth in Sealed Plan 165950 (if any)~~)

**Drainage easement in gross**

Lot 1 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 1 shown on the plan as "DRAINAGE EASEMENT VARIABLE WIDTH" in favour of the Council

Lot 28 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 28 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council

Lot 29 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 29 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council

Lot 30 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 30 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council




.....

3471-5014-8147, v. 4 (USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Toronto Pastoral Coy Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: CT 188364/250	DATE: 27 <sup>th</sup> June 2025
SOLICITOR & REFERENCE: Dobson Mitchell Allport James Ramsay	REF NO. SD-2003/18
	Council Delegate Clare Shea

**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 2 PAGES	Registered Number  <b>SP 188834</b>
SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 188364/250	

**Restrictive covenants**

The owners of each Lot on the plan each covenant with the Vendor, the Council (~~in respect of restrictive covenants 12 to 16~~) and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot, and every part of it, and that the benefit of it may be annexed to and devolve with each and every part of every other lot shown on the plan, to observe the following stipulations:

1. NOT TO, without the consent of Council, erect or permit to be erected or permit to remain on a Lot any advertising signs of any type whatsoever PROVIDED THAT a sign indicating that a Lot is for sale will be permitted for a limited period;
2. NOT TO use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on a Lot; and
3. NOT TO store or allow to remain on a Lot any construction plant and equipment, transport equipment or salvage or building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on a Lot.

**Fencing provision**

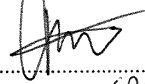
In respect of each lot shown on the plan the Vendor will not be required to fence

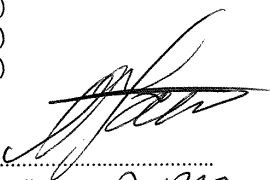
**Definitions**

**Council** means the Clarence City Council or its legal successors from time to time

**Vendor** means Toronto Pastoral Coy Pty Ltd ACN 009 480 086 or its legal successors from time to time

Executed by Toronto Pastoral Coy Pty Ltd in accordance with section 127(1) of the Corporations Act 2001 ) ) )

  
 Full name: CRAIL BRADLET ROBERTSON  
 Position held: DIRECTOR

  
 Full name: ANDREW JOHN FARRELL  
 Position held: Director

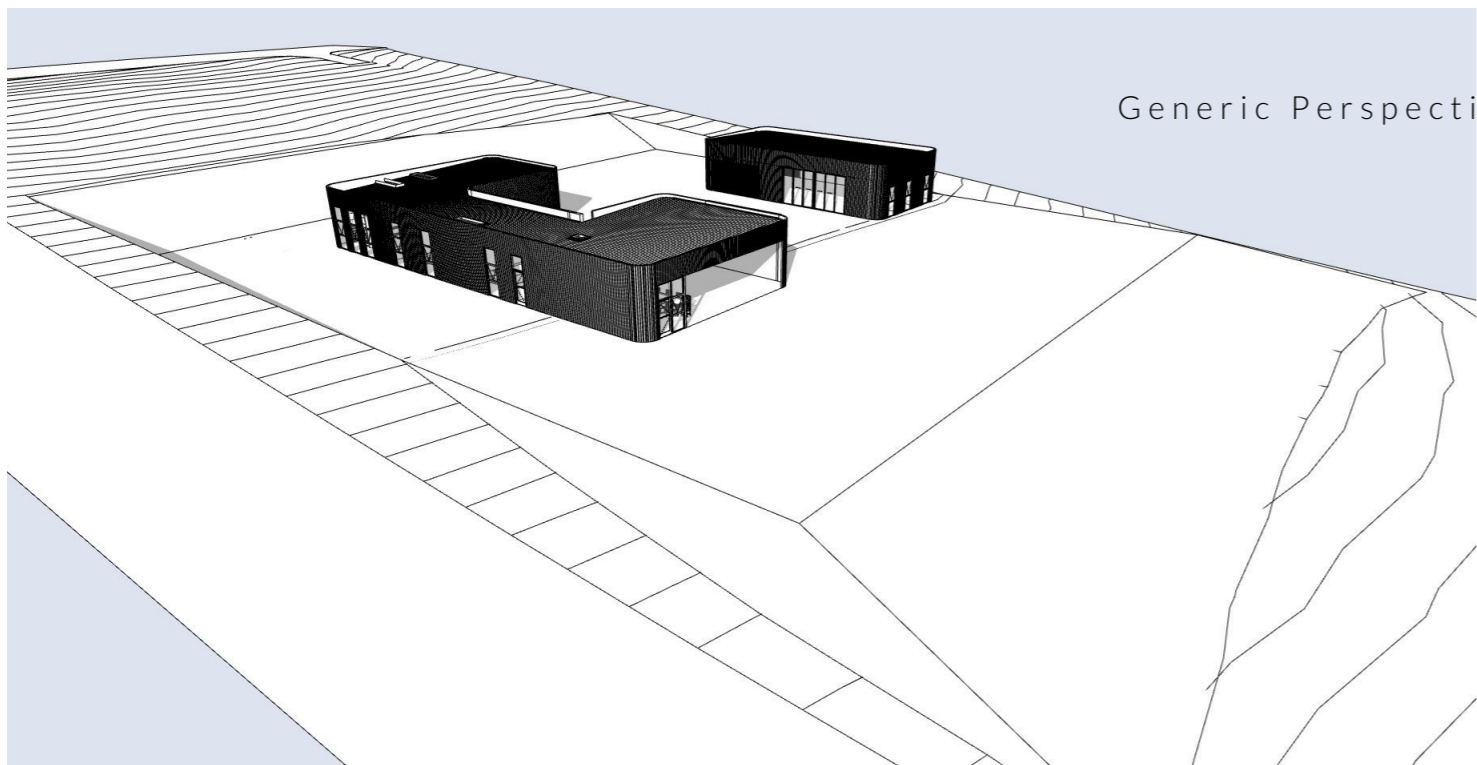
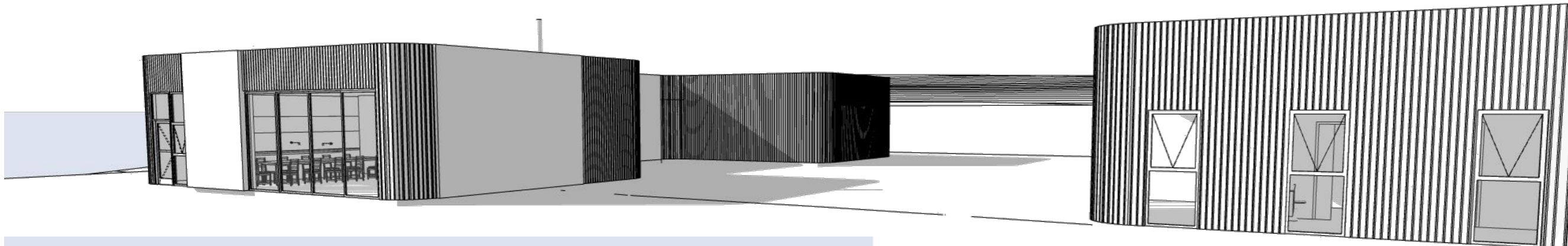
3471-5014-8147, v. 4  
**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

8

P I N N A C L E

# PINNACLE

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	Added Habitable Area to Shed	25/08/25	JRN
Ch - 02	Added spoon drain to gravel driveway	25/08/25	JRN
Ch - 03	Increased Habitable floor area	17/09/25	JRN



Generic Perspective

Generic Perspective (1)

Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

## 26 Toronto Drive, SMB

Owner(s) or Clients	Ben James	Title Reference	188834/2
Building Classification	1a,10a	Zoning	Rural Living Zone B
Designer	Jason Nickerson CC6073Y	Land Size	10200m <sup>2</sup>
Total Floor Area (Combined)	470.77m <sup>2</sup>	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards <small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow &amp; ice, or other relevant factors)</small>	Bushfire Prone Areas Code, Safeguarding of Airports Code	Climate Zone	7
		Corrosion Environment	TBA
		Bushfire Attack Level (BAL)	TBA

ID	Sheet Name	Issue
A.01	Location Plan	DA - 02
A.02	Site Plan	DA - 02
A.03	Floor Plan - Dwelling	DA - 02
A.04	Floor Plan - Shed	DA - 02
A.05	Elevations	DA - 02
A.06	Elevations	DA - 02
A.07	Elevations	DA - 02
A.08	Elevations	DA - 02
A.09	Roof Plan- Dwelling	DA - 02
A.10	Roof Plan- Shed	DA - 02
A.11	Door & Window Schedule	DA - 02

**Legend**

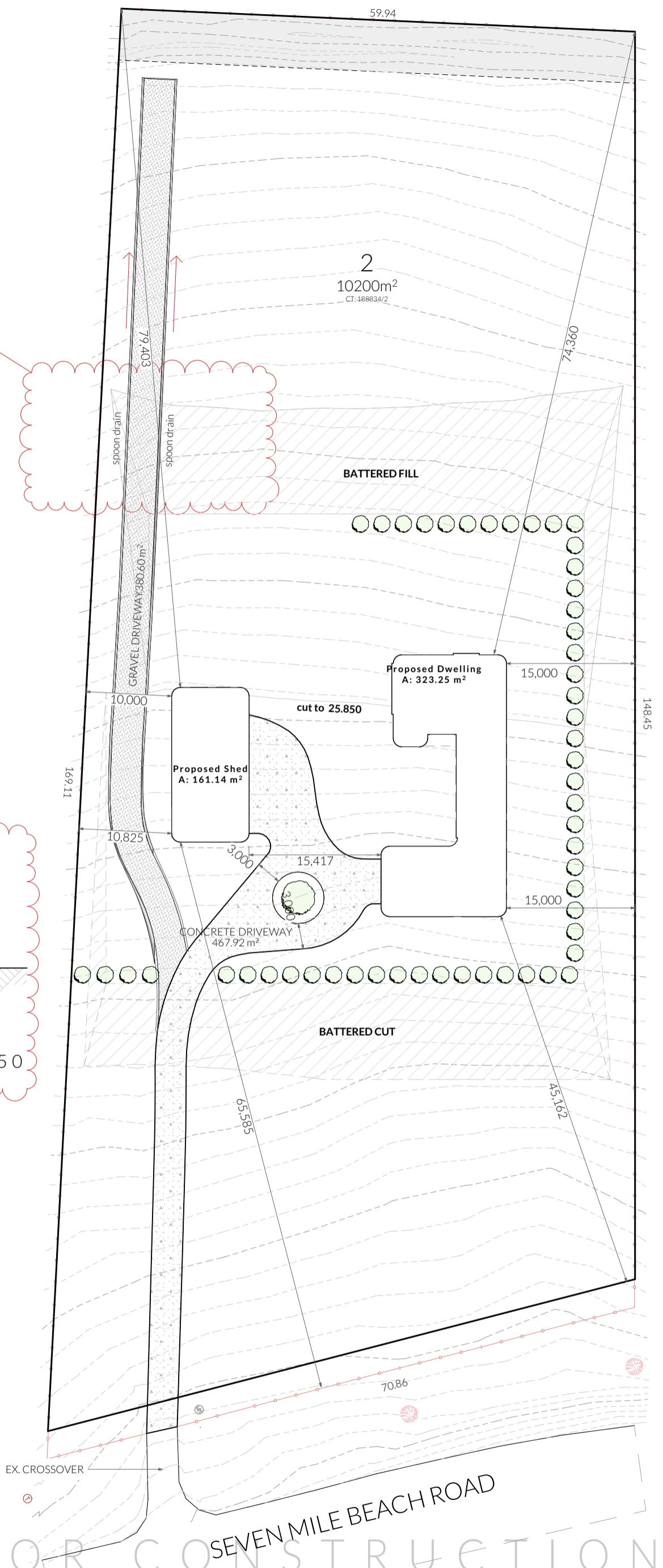
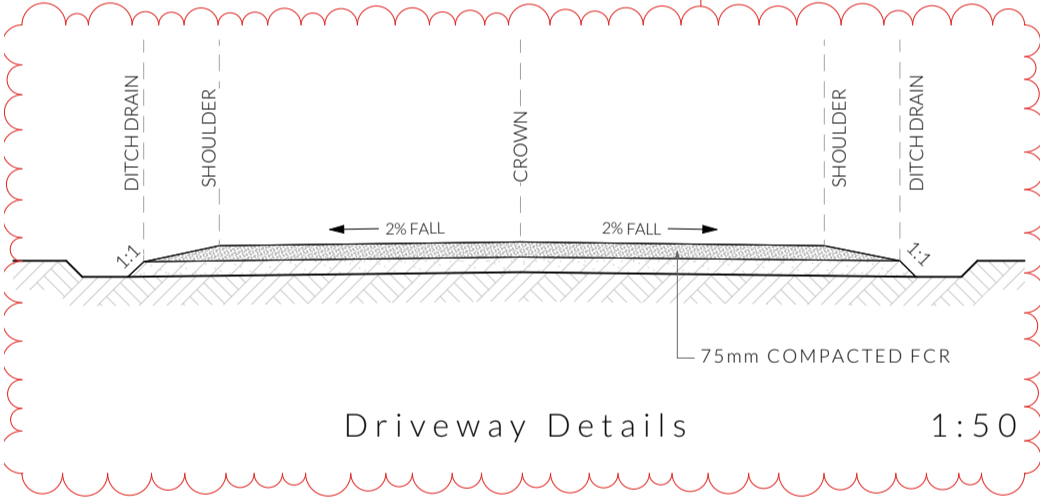
- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

**Surface Water Drainage**

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
  - (i) 25mm over the first 1m from the building
    - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
    - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
  - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
  - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
  - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
  - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.



**Site Areas**

Site Area	10200 m <sup>2</sup>
Building Footprint	470.77 m <sup>2</sup>
Driveway Area	470.22 m <sup>2</sup>
Total Impervious Area	4.6%

**Gross Floor Area (GFA)**

Proposed Dwelling	323.25
Proposed Shed	161.14
<b>Total</b>	<b>484.39 m<sup>2</sup></b>












**PINNACLE**

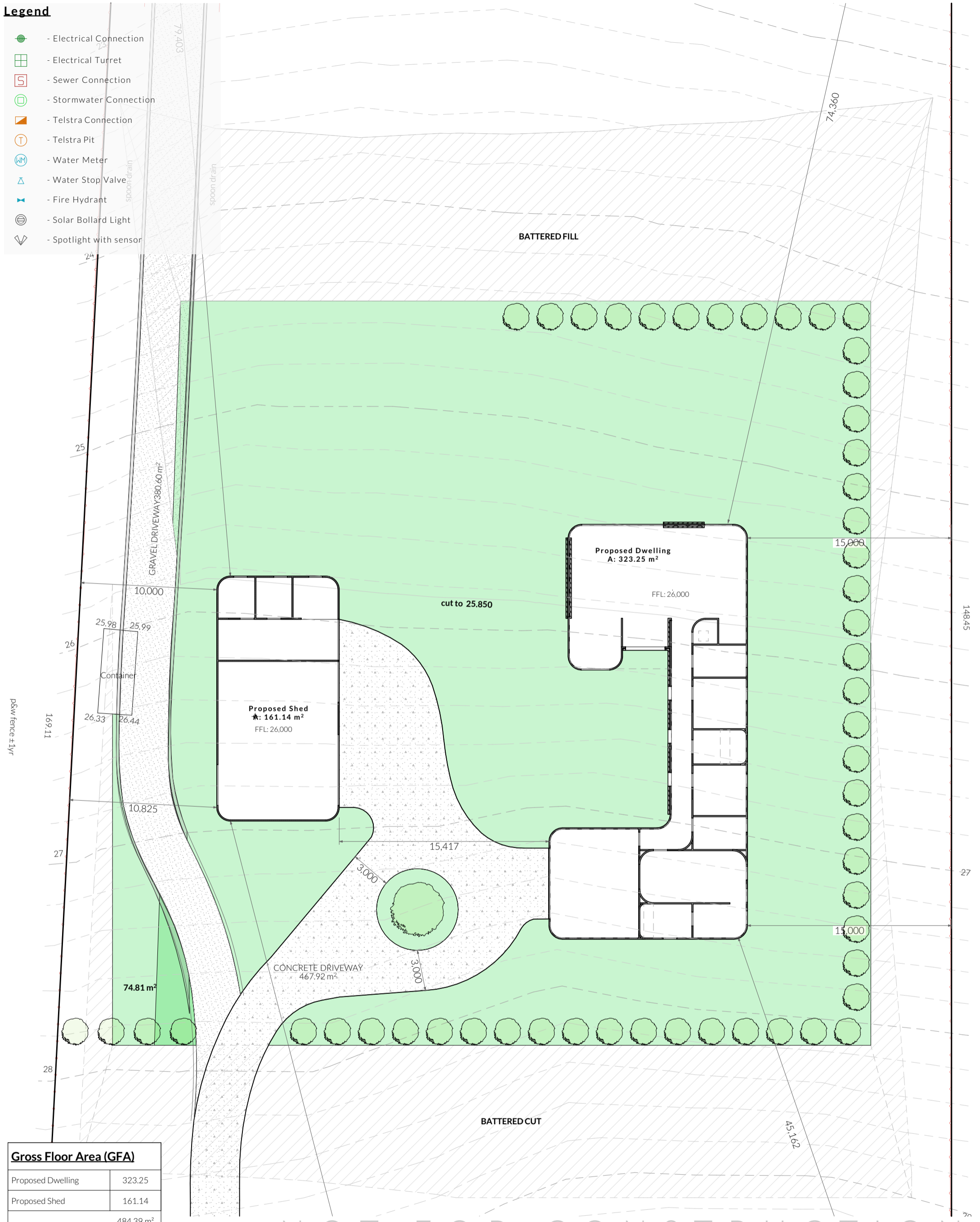
PINNACLE DRAFTING & DESIGN  
 7/3 Abernant Way, Cambridge 7170  
 03 6248 4218  
 admin@pinnacledrafting.com.au  
 www.pinnacledrafting.com.au  
 Licence Number: CC6073Y

Issue	Date	Designer
Ch-02	25/08/25	JRN

Location Plan	Scale: 1:500, 1:50@A3	Proposal: New Dwelling & Shed	Date: 20/05/2025	<p>These drawings are the property of Pinnacle Drafting &amp; Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificates of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</p>	<p><b>bdoo</b> BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</p>
Revision: DA-02	Pg. No: A.01	Client: Ben James	Drawn by: JRN		
Approved by: JRN		Address: 26 Toronto Drive, SMB	Job No: 21-2025 Engineer: TBA Building Surveyor: TBA		

**Legend**

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor



Gross Floor Area (GFA)	
Proposed Dwelling	323.25
Proposed Shed	161.14
<b>Total</b>	<b>484.39 m²</b>

NOT FOR CONSTRUCTION

<p style="font-size: 2em; margin: 0;">PINNACLE</p> <p style="font-size: 0.8em; margin: 0;">PINNACLE DRAFTING &amp; DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence Number: CC6073Y</p>	<p>Scale: 1:250 @A3</p> <p>Pg. No: A.02</p>	<p>Proposal: New Dwelling &amp; Shed</p> <p>Client: Ben James</p> <p>Address: 26 Toronto Drive, SMB</p>	<p>Date: 20/05/2025</p> <p>Drawn by: JRN</p> <p>Job No: 21-2025</p> <p>Engineer: TBA</p> <p>Building Surveyor: TBA</p>	<p>Issue</p> <p>Date</p> <p>Designer</p>	<p style="font-size: 0.7em;">These drawings are the property of Pinnacle Drafting &amp; Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificates of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. <b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</p>
	<p>NOTE: Refer to cover page for further details on changes.</p>				



AP Access Panel

AJ Articulation Joint

SA Smoke Alarm

**Construction of sanitary compartments 10.4.2 of NCC 2022**

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

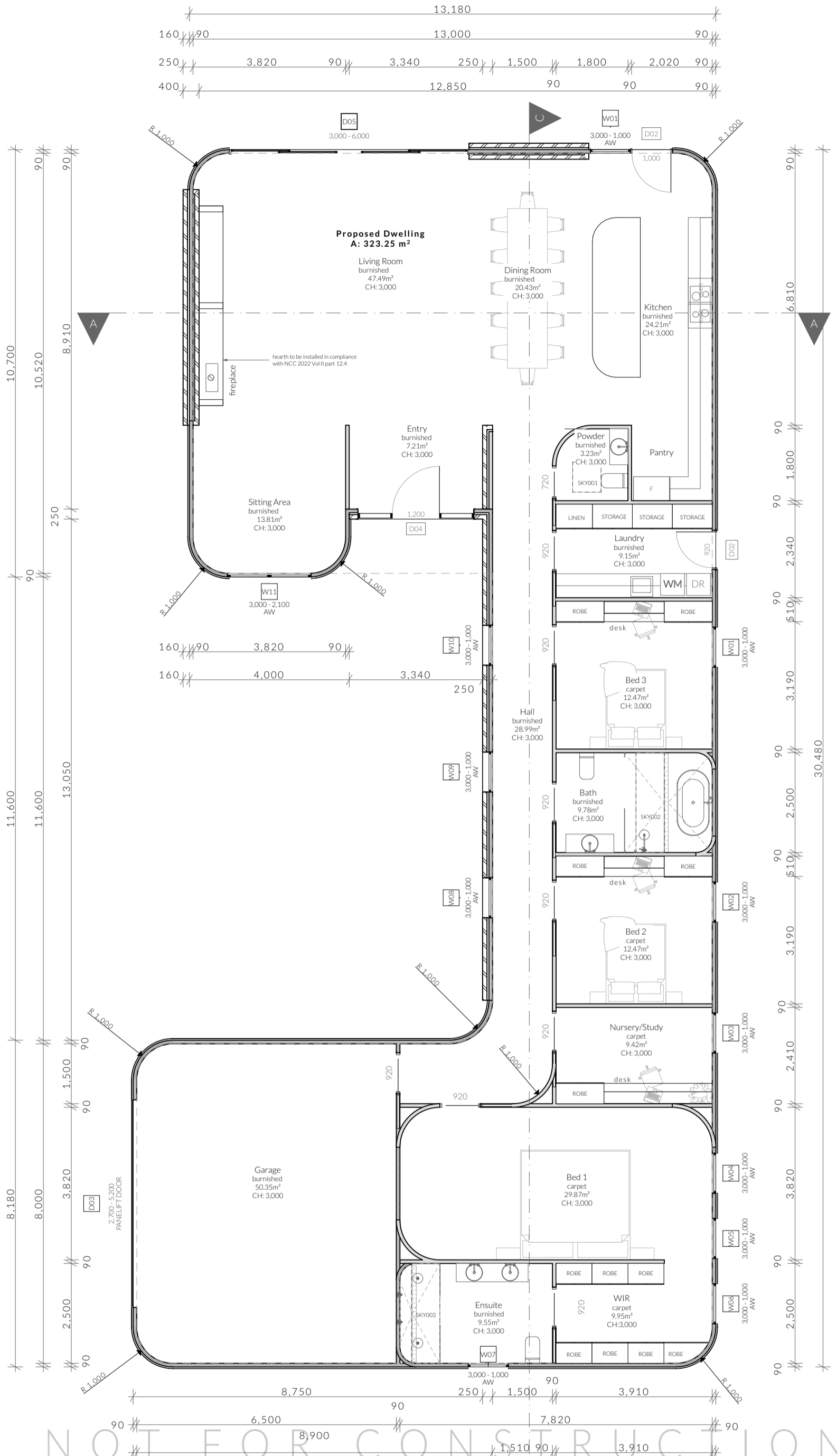
unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

**Note: Safe Movement & Egress**

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

**Note: Paved Areas**

All paths and patios to fall away from dwelling.



Floor Areas	
Bath	9.78
Bed 1	29.87
Bed 2	12.47
Bed 3	12.47
Dining Room	20.43
Ensuite	9.55
Entry	7.21
Garage	50.35
Hall	28.99
Kitchen	24.21
Laundry	9.15
Living Room	47.49
Nursery/Study	9.42
Powder	3.23
Sitting Area	13.81
WIR	9.95
298.38 m²	

Gross Floor Area (GFA)	
Proposed Dwelling	323.25

**PINNACLE**

PINNACLE DRAFTING & DESIGN  
 7/3 Abernant Way, Cambridge 7170  
 03 6248 4218  
 admin@pinnacledrafting.com.au  
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 Licence Number: CC6073Y

Floor Plan - Dwelling

Scale:  
 1:100 @A3  
 Pg. No:  
 A.03

Proposal: New Dwelling & Shed  
 Client: Ben James  
 Address: 26 Toronto Drive, SMB

Date: 20/05/2025  
 Drawn by: JRN  
 Job No: 21-2025  
 Engineer: TBA  
 Building Surveyor: TBA



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AP Access Panel

AJ Articulation Joint

SA Smoke Alarm

**Construction of sanitary compartments 10.4.2 of NCC 2022**

The door to a fully enclosed sanitary compartment must -  
 · open outwards; or  
 · slide; or  
 · be readily removable from the outside of the compartment.

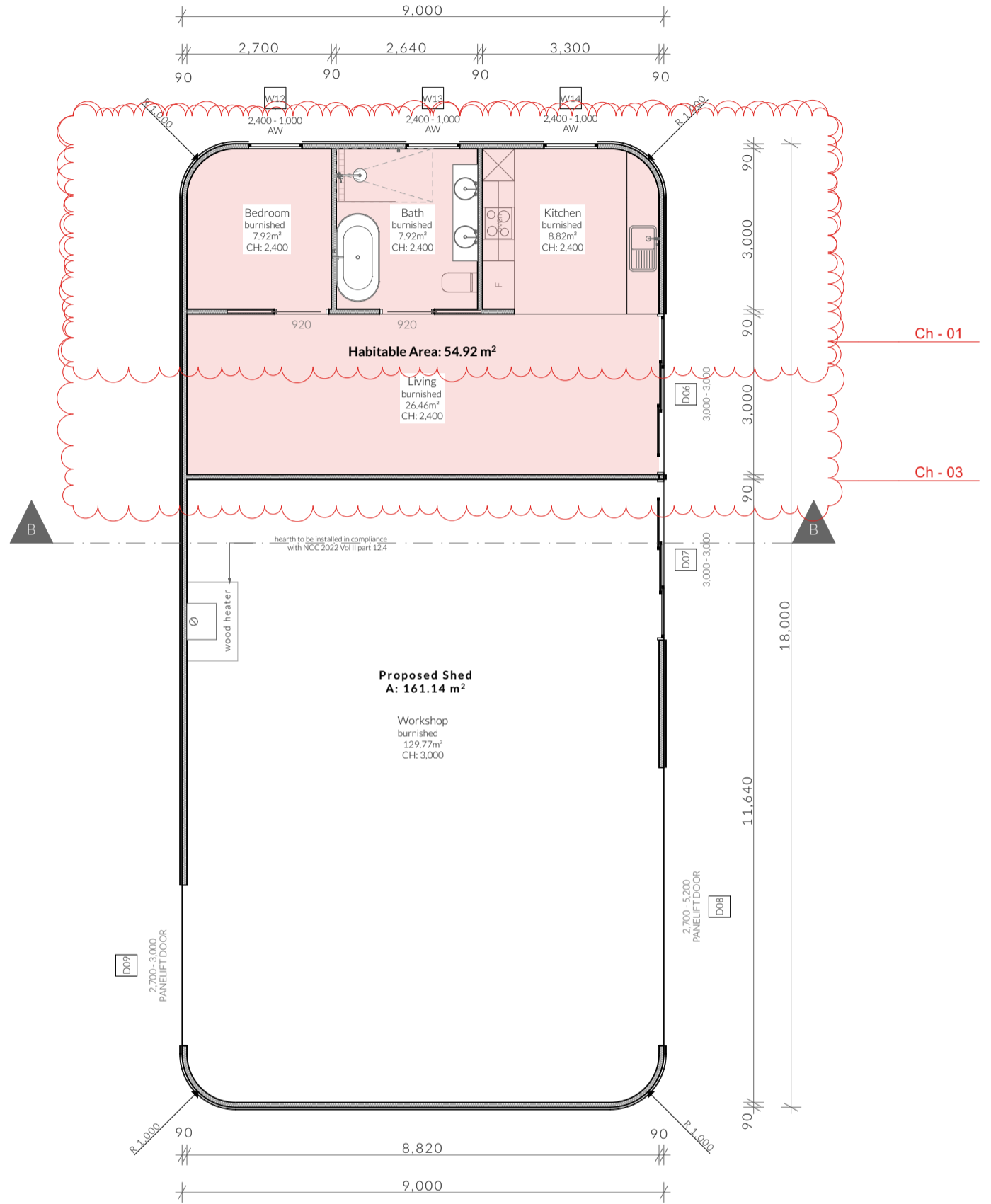
unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

**Note: Safe Movement & Egress**

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

**Note: Paved Areas**

All paths and patios to fall away from dwelling.



Shed Floor Areas Internal	
Bath	7.92
Bedroom	7.92
Kitchen	52.92
Living	26.46
Workshop	129.77
Gross Floor Area (GFA)	
Proposed Shed	161.14

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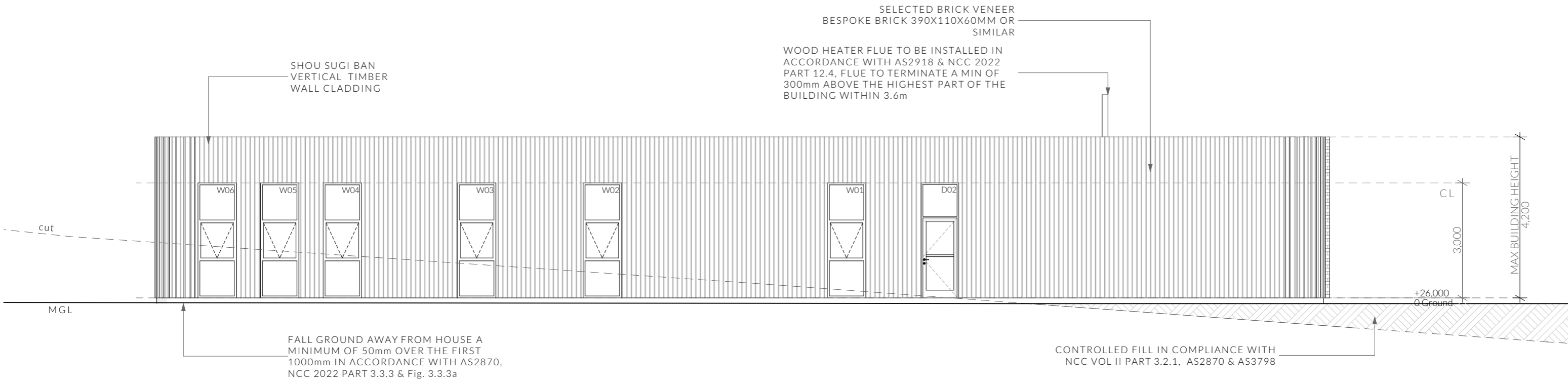
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Issue	Date	Designer
Ch - 01	25/08/25	JRN
Ch - 03	17/09/25	JRN

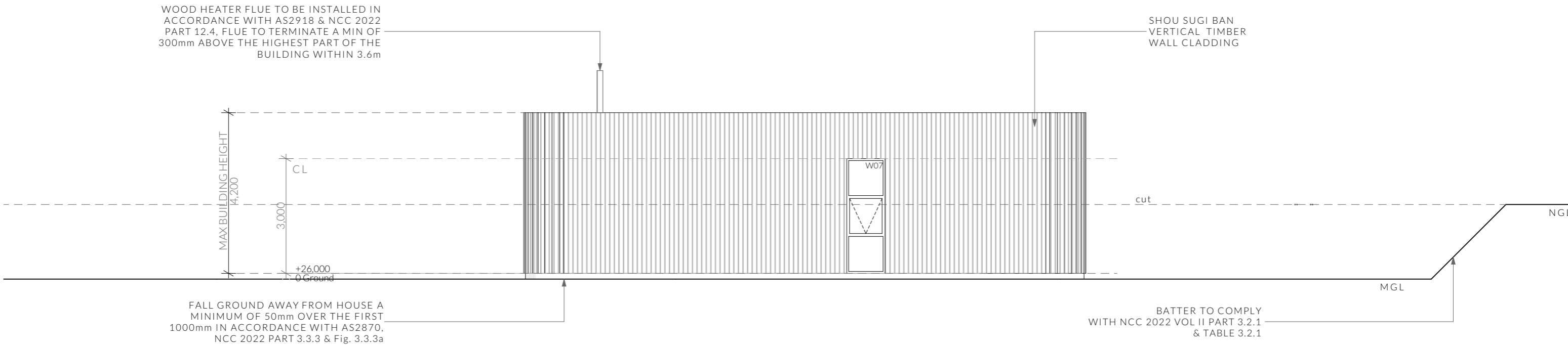
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Floor Plan - Shed Scale: 1:100 @ A3 Revision: DA-02 Approved by: JRN	Proposal: New Dwelling & Shed Client: Ben James Address: 26 Toronto Drive, SMB	Date: 20/05/2025 Drawn by: JRN Job No: 21-2025 Engineer: TBA Building Surveyor: TBA		These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificates of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, omissions or omissions caused by contractors and builders not following colour-printed plans.	



Dwelling- East Elevation

1:100



Dwelling -South Elevation

1:100

**NOTE**  
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

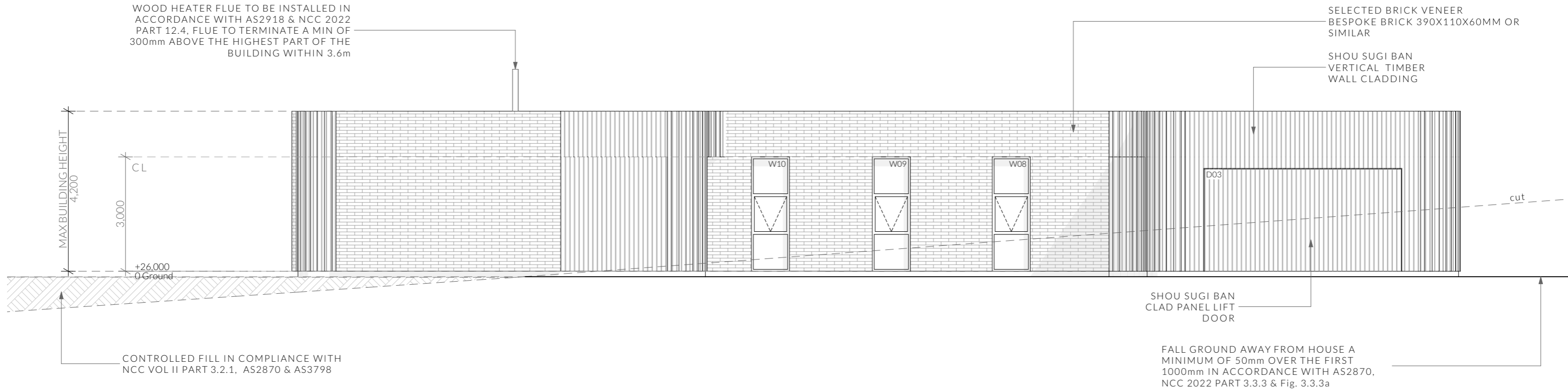
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm      Going: Min 240mm - Max 355mm      Slope (2R+G): Max 550 - Min 700

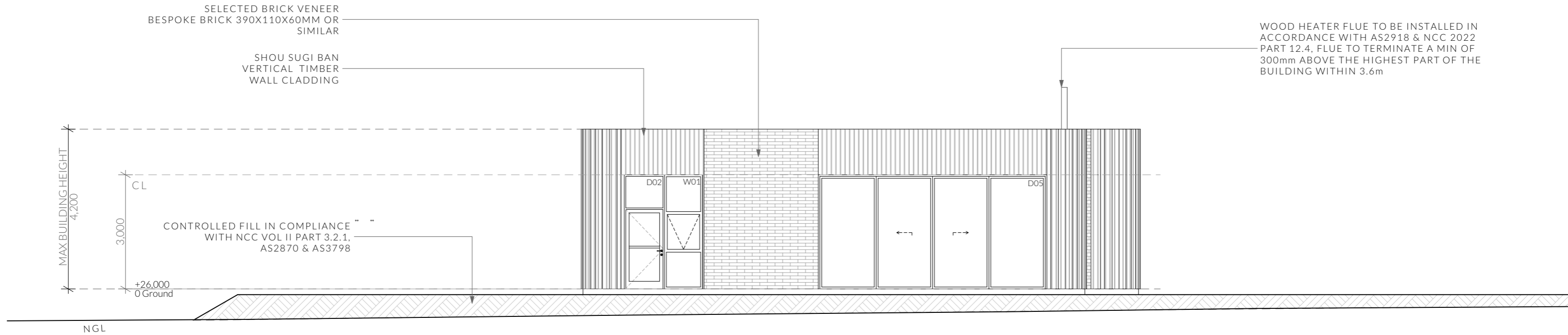
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Dwelling - West Elevation

1:100



Dwelling - North Elevation

1:100

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Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

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WOOD HEATER FLUE TO BE INSTALLED IN ACCORDANCE WITH AS2918 & NCC 2022 PART 12.4, FLUE TO TERMINATE A MIN OF 300mm ABOVE THE HIGHEST PART OF THE BUILDING WITHIN 3.6m

SHOU SUGI BAN VERTICAL TIMBER WALL CLADDING

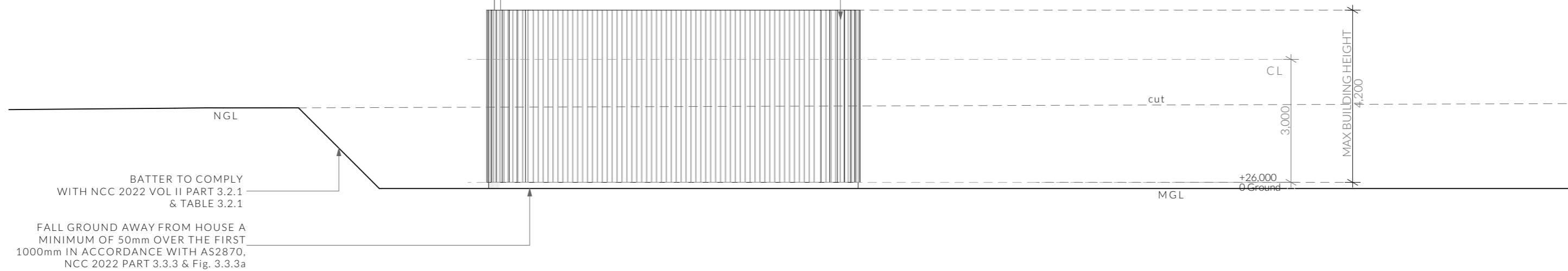


Shed - East Elevation

1:100

ACCORDANCE WITH AS2918 & NCC 2022 PART 12.4, FLUE TO TERMINATE A MIN OF 300mm ABOVE THE HIGHEST PART OF THE BUILDING WITHIN 3.6m

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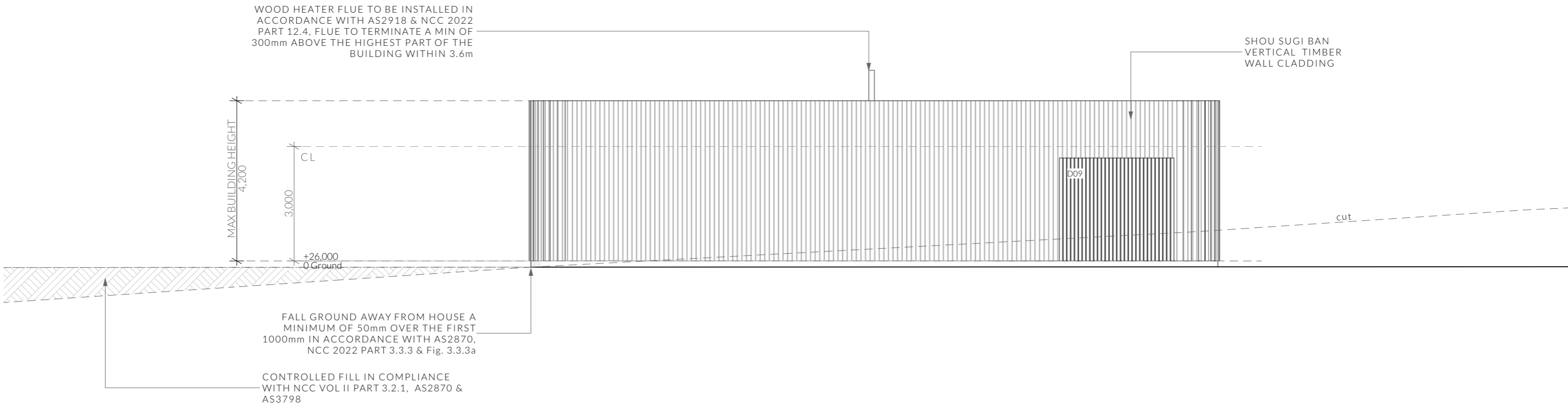


Shed - South Elevation

1:100

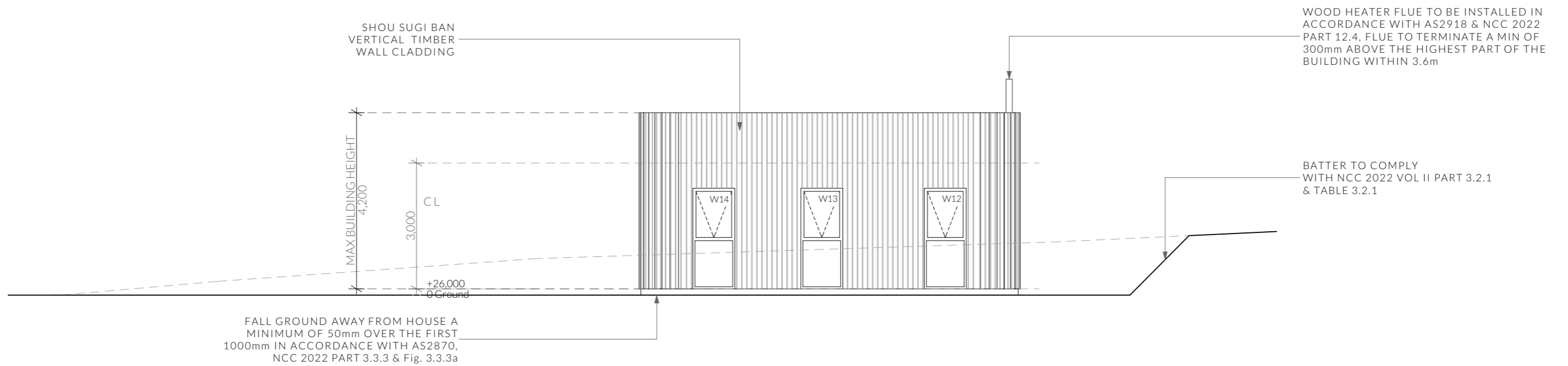
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Shed - West Elevation

1:100



Shed - North Elevation

1:100

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**Ventilation of roof spaces NCC 2022**

**Part 10.8.3**

A roof must have a roof space that-

- (a) is located-
  - (i) immediately above the primary insulation layer; or
  - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
  - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
  - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
  - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

**Stormwater Notes**

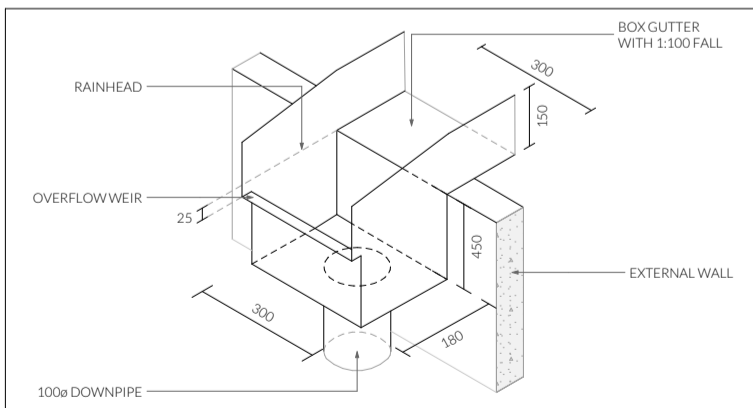
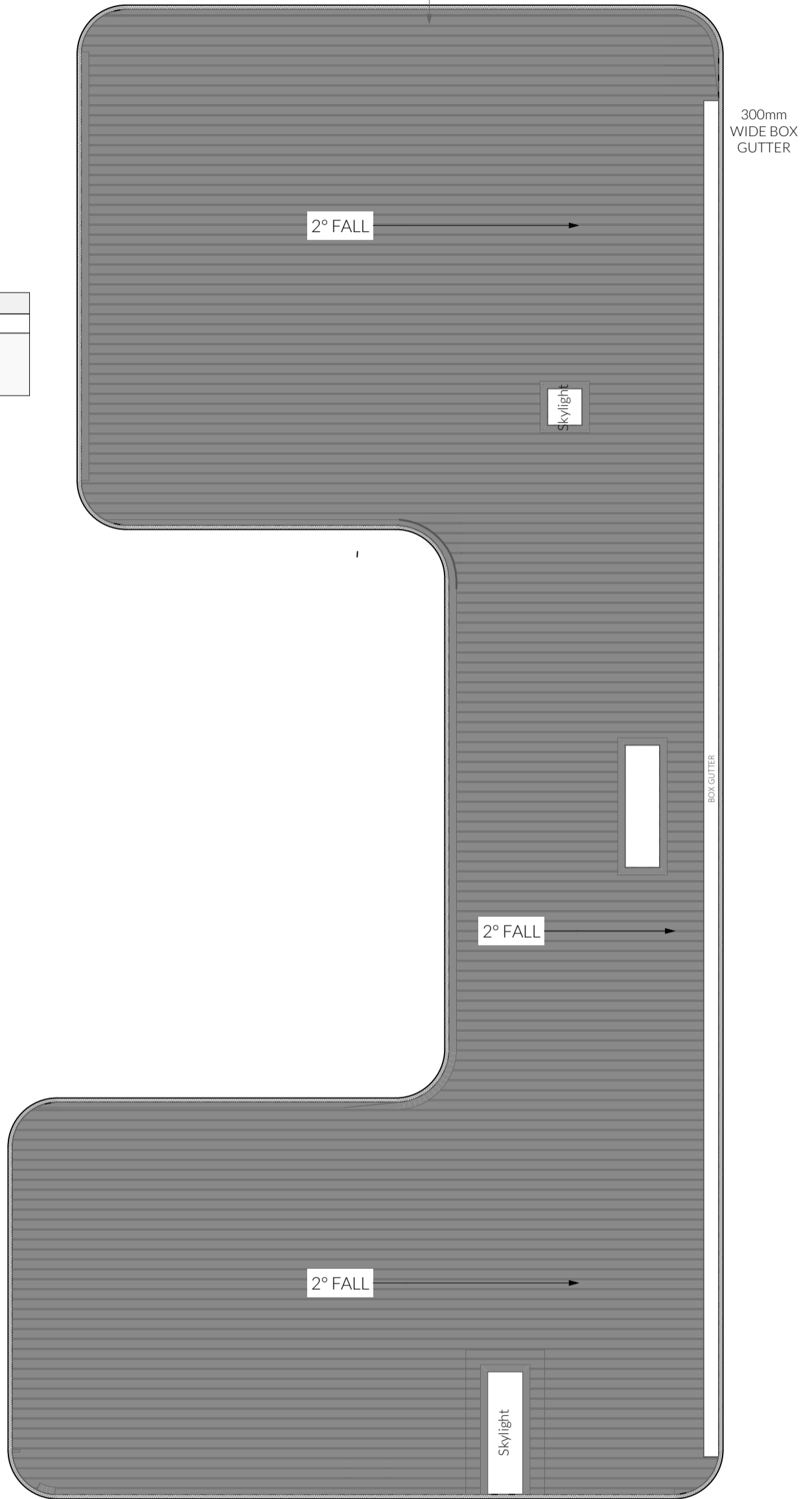
All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

**Roofing Cladding**

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

SHEET METAL 'CUSTOM ORB' ROOF PITCHED @ 2° OVER TRUSSES WITH 70x35 MGP12 ROOF BATTENS @ MAX 900ctr (END SPAN) 1200ctr (INTERNAL SPAN), BUGLE FIX W/No14 TYPE17 BATTEN SCREWS. OVER 100L

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.	
(2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



EXTERNAL RAIN HEAD DETAIL (TYP) N.T.S

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**Stormwater Notes**

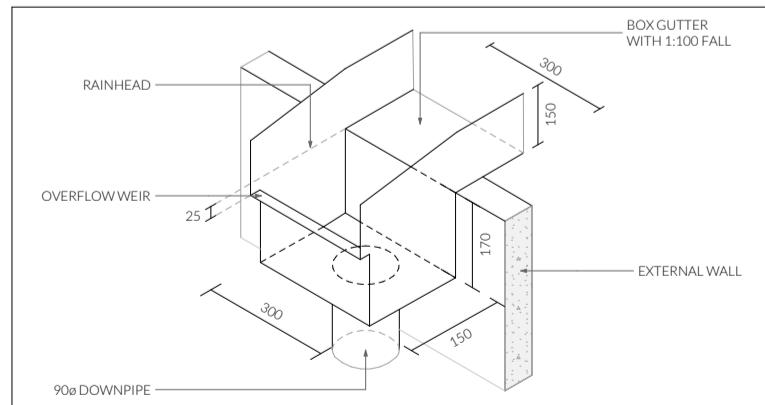
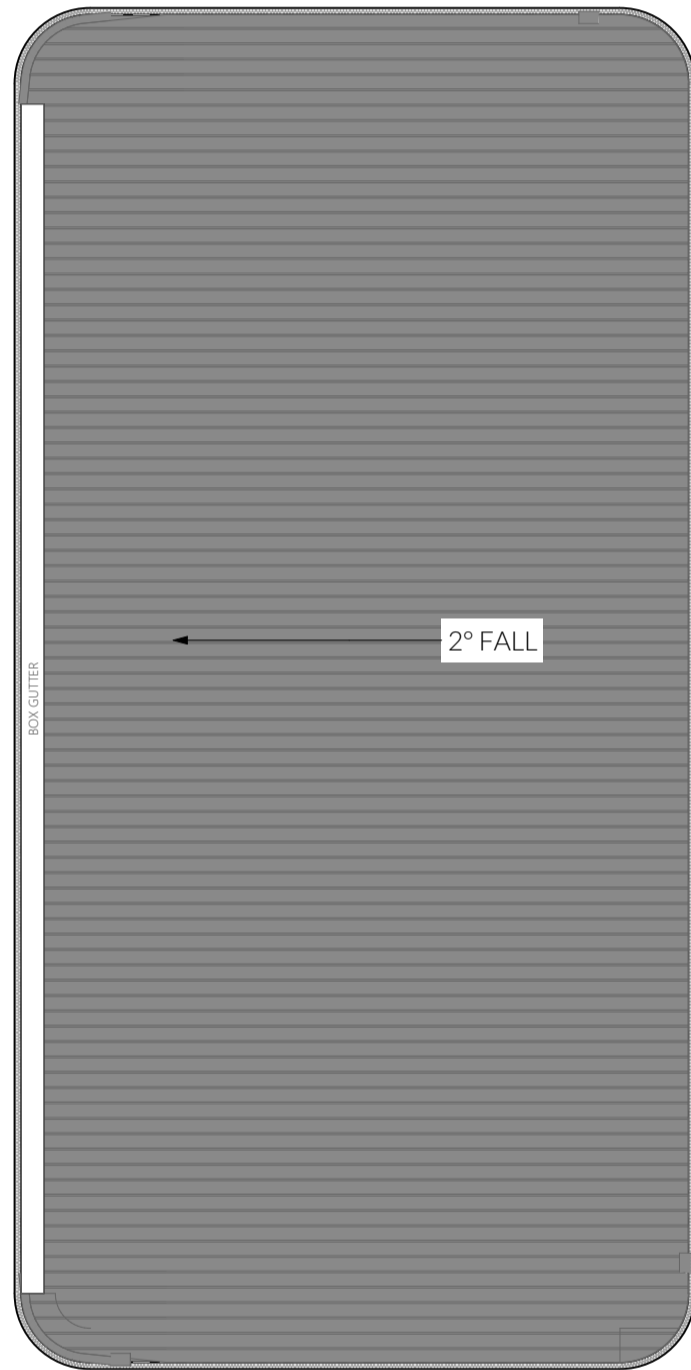
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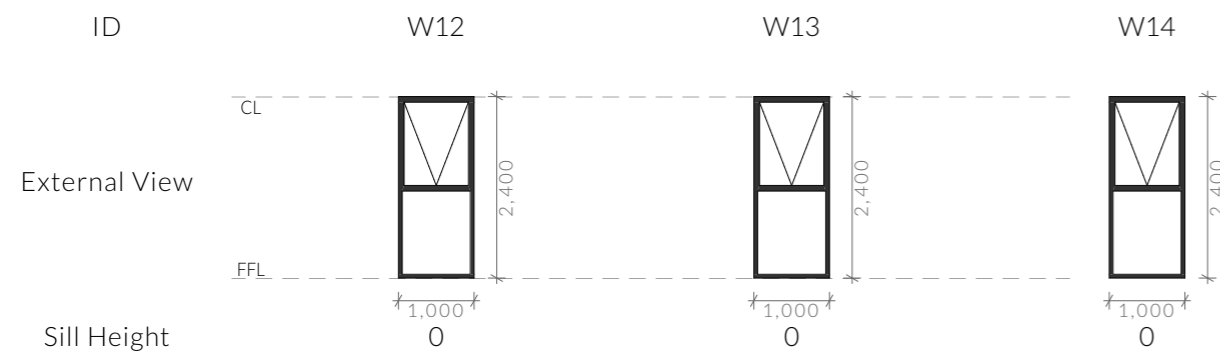
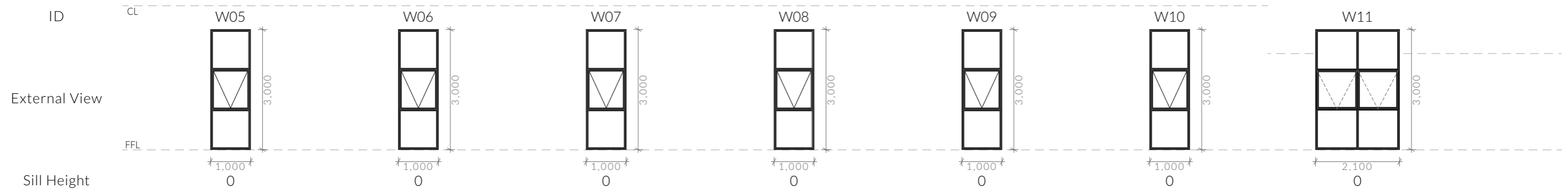
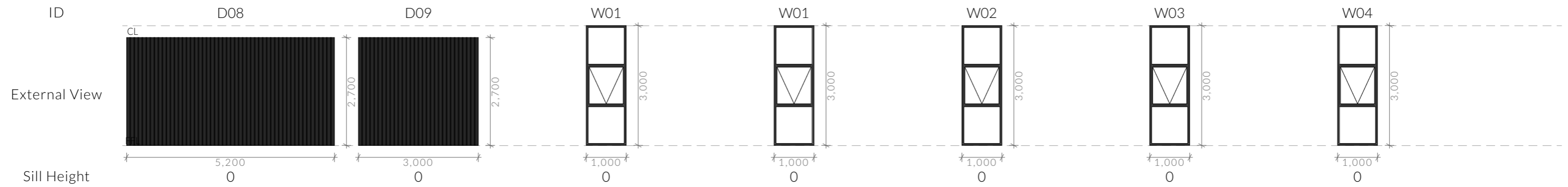
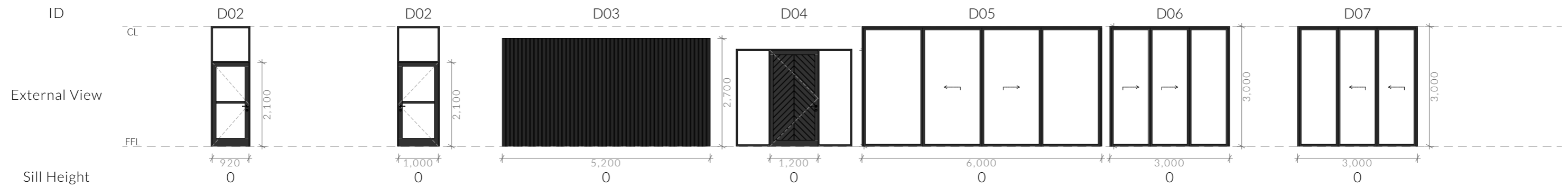
300mm WIDE BOX GUTTER



EXTERNAL RAIN HEAD DETAIL (TYP) N.T.S

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Roof Plan- Shed Scale: 1:100 @ A3 Revision: DA-02 Approved by: JRN	Proposal: New Dwelling & Shed Client: Ben James Address: 26 Toronto Drive, SMB	Date: 20/05/2025 Drawn by: JRN Job No: 21-2025 Engineer: TBA Building Surveyor: TBA	These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificates of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. <b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.							



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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Door &amp; Window Schedule</b>  Revision: DA - 02 Approved by: JRN	Scale: @A3 Pg. No: A.11	Proposal: New Dwelling & Shed Client: Ben James Address: 26 Toronto Drive, SMB	Date: 20/05/2025 Drawn by: JRN Job No: 21-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer				<small>           These drawings are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.         </small>	
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<small>NOTE: Refer to cover page for further details on changes.</small>														