



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056942

PROPOSAL: Single Dwelling

LOCATION: 8 Tranquil Place, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 10 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 10 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 10 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Dwelling

Location:

Address 8 Tranquil Place

Suburb/Town Tranmere

Postcode 7018

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of:
(if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site: Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:

- Existing and proposed use(s) on site.
- Boundaries and dimensions of the site.
- Topography, including contours showing AHD levels and major site features.
- Natural drainage lines, watercourses and wetlands on or adjacent to the site.
- Soil type.
- Vegetation types and distribution, and trees and vegetation to be removed.
- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 188881	FOLIO 111
EDITION 2	DATE OF ISSUE 31-Oct-2025

SEARCH DATE : 24-Nov-2025

SEARCH TIME : 08.48 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 111 on Sealed Plan [188881](#)

Derivation : Part of 115 Acres Gtd. to James Young

Prior CT [183275/201](#)

SCHEDULE 1

[N282521](#) TRANSFER to IAN WILLIAM HEY and DENISE ERICA HEY
Registered 31-Oct-2025 at noon

SCHEDULE 2

[C30241](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown

[SP188881](#) COVENANTS in Schedule of Easements

[SP188881](#) FENCING PROVISION in Schedule of Easements

[SP167884](#), [SP173769](#), [SP174376](#), [SP176222](#), [SP178685](#), [SP179560](#),
[SP180503](#), [SP181972](#) & [SP183275](#) FENCING PROVISION in
Schedule of Easements

[C94425](#) FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: CAROLYN MARGARET LUCKMAN
PAUL LAMONT LUCKMAN
JANICE MARY LUCKMAN
GREGORY ALAN LUCKMAN

PLAN OF SURVEY

Registered Number

BY SURVEYOR: TIMOTHY W. COX of
LEARY, COX & CRIPPS SURVEYORS
Unit G04 40 Mollie Street, HOBART TAS 7000
P 03 618 2030
E admin@lccsurvey.com

FOLIO REFERENCE: CT. 183275/201

LOCATION: CITY OF CLARENCE

APPROVED _____
EFFECTIVE FROM _____

GRANTEE: PART OF 115 ACRES
GRANTED TO JAMES YOUNG

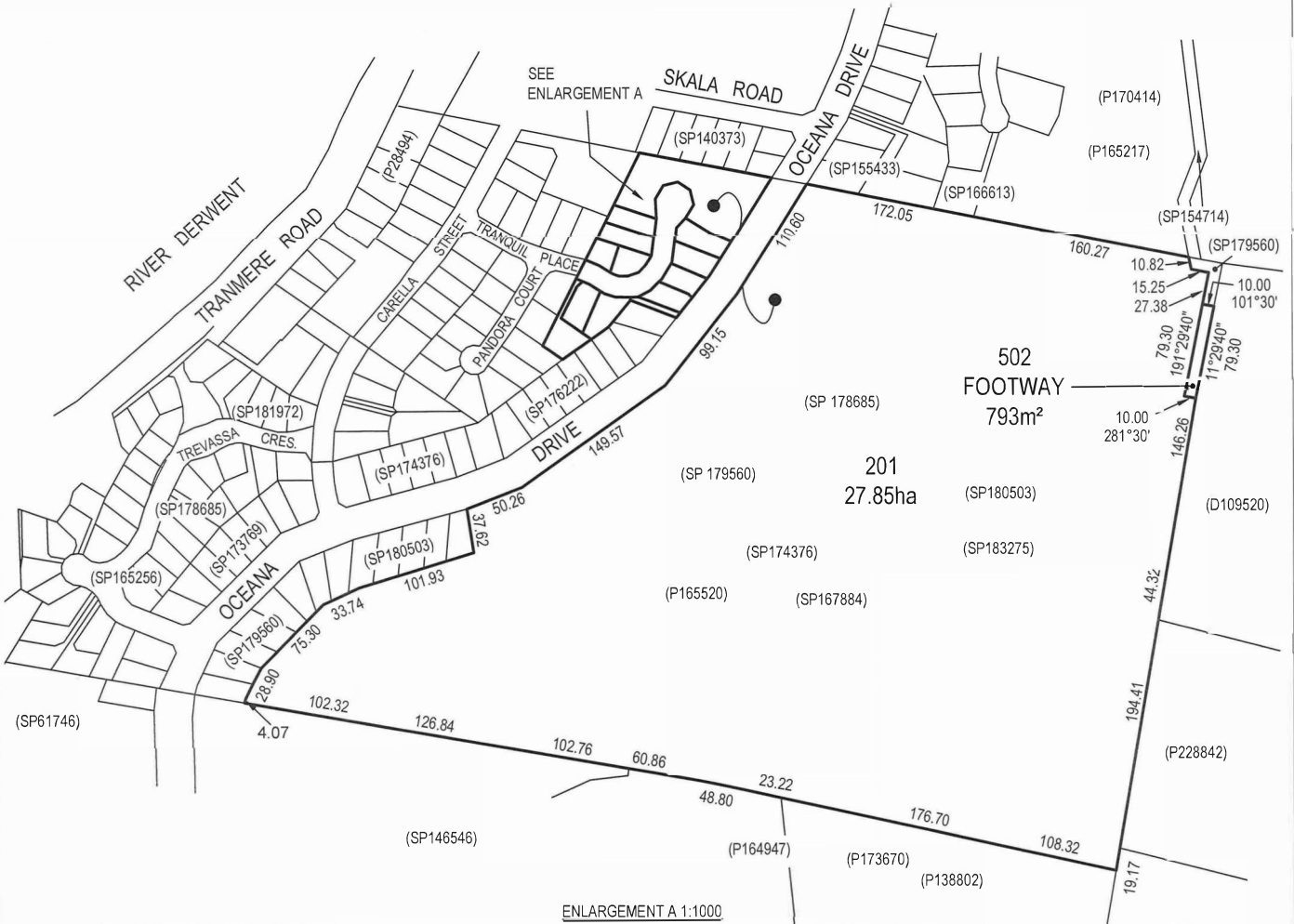
SCALE 1:4000 LENGTHS IN METRES

Recorder of Titles

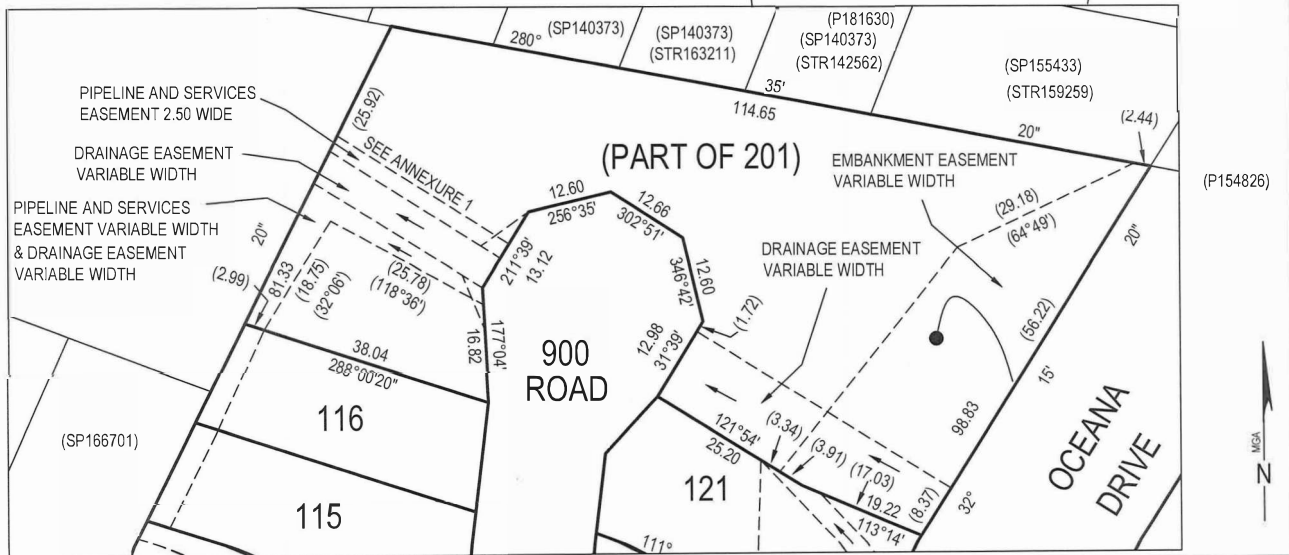
PRIORITY FINAL PLAN

LOT 201 COMPILED FROM SP183275 AND THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN



ENLARGEMENT A 1:1000



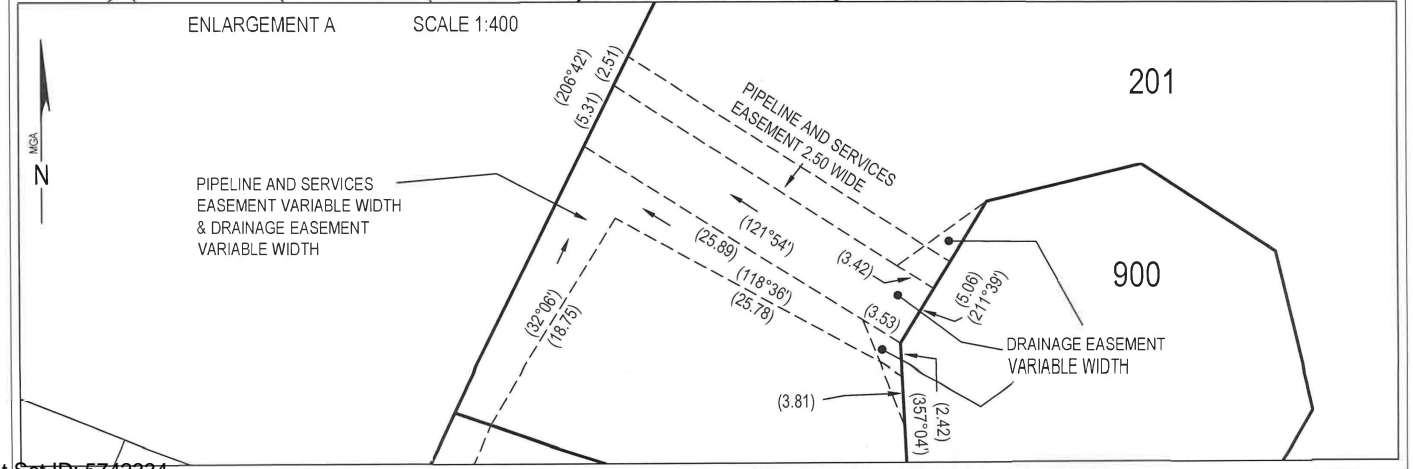
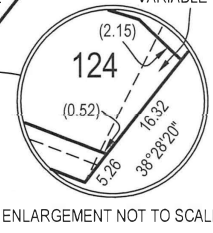
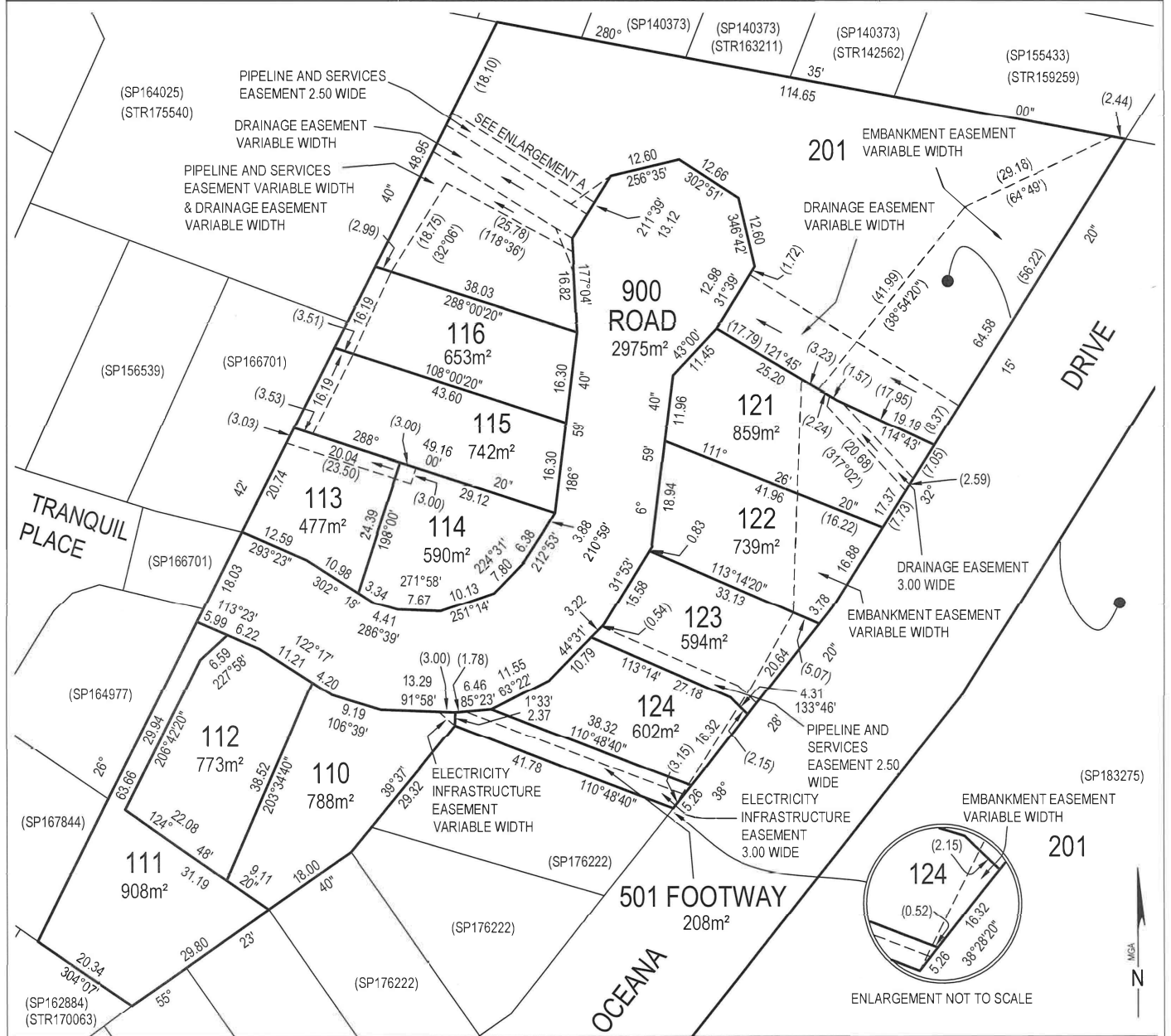
[Signature]
Registered Professional Surveyor

30/4/2025
Date

Council Delegate

Date

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 1 SHEETS</p>	<p>OWNER: CAROLYN MARGARET LUCKMAN PAUL LAMONT LUCKMAN JANICE MARY LUCKMAN GREGORY ALAN LUCKMAN</p> <p>FOLIO REFERENCE: CT. 183275/201</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>..... Council Delegate</p> <p>..... Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> Registered Land Surveyor</p> <p><i>30/4/2025</i> Date</p>	<p>APPROVED EFFECTIVE FROM</p> <p>Recorder of Titles</p>



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number
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SUBDIVIDER: P L LUCKMAN & OTHERS
 FOLIO REFERENCE: 183275-201

Lot 201 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH and PIPELINE & SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan

Lot 201 is subject to an embankment easement in gross as defined herein (in favour of Clarence City Council) over the land marked EMBANKMENT EASEMENT VARIABLE WIDTH within that lot on the plan

Lot 501 is subject to an electrical infrastructure easement with the benefit of a restriction as to user of land in gross (in favour of TasNetworks) over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 3.00 WIDE passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Paul Lamont Luckman, Janice Mary Luckman, Gregory Alan Luckman and Carolyn Margaret Luckman) shall not be required to fence

COVENANTS

The owners of lots 110-116 & 121-124 on the plan covenant with Paul Lamont Luckman, Janice Mary Luckman, Gregory Alan Luckman and Carolyn Margaret Luckman and the owners for the time being of every other lot on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot on the plan to observe the following stipulations-

1. Not to carry on the whole or any part or any process of any business upon such lot subject to the exception that the whole of any dwelling erected on such lot may be let by the owner
2. Not without the consent of Clarence City Council to cut down, lop or destroy on such lot any tree, shrub or growth of a like character providing always that this covenant shall not apply to cutting down, topping, lopping, destruction or renewal of any tree, shrub or growth of a like character for the purpose of obtaining access to such lot for building thereon, installation of services or by reasons of considerable safety
3. Not to further subdivide such lot (provided the stipulation shall not apply to a boundary adjustment)

P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number
SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201	

INTERPRETATION

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

“Pipeline and Services Easement” means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;

P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 6 PAGES

Registered Number

SUBDIVIDER: P L LUCKMAN & OTHERS
FOLIO REFERENCE: 183275-201

- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Electricity infrastructure easement with the benefit of a restriction as to user of land" means-

FIRSTLY all the full and free right and liberty for Tasmanian Networks Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "TasNetworks") at all times hereafter:

- a) to maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including power lines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as TasNetworks may determine above, on or under the land respectively marked "Electricity Infrastructure Easement XX Wide" on the plan (hereinafter called the "servient land")
- b) to enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby
- c) to erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of TasNetworks these are necessary for reasons of safety
- d) to cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure
- e) to enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land

P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number
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

SUBDIVIDER: P L LUCKMAN & OTHERS
 FOLIO REFERENCE: 183275-201


f) nothing herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land provided that such use does not derogate from this grant or, in the opinion of TasNetworks compromise the safe operation of TasNetworks electricity infrastructure located on, above or under the servient land

SECONDLY the benefit of a covenant for TasNetworks and its successors with the registered proprietors for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of TasNetworks to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described

"Embankment Easement" means the right for Clarence City Council its contractors and agents to enter upon the land shown as "Embankment Easement Variable Width" on the plan to carry out any works from time to time that may be necessary to retain and maintain the earthworks and drainage associated with Oceana Drive but not precluding the servient tenement, subject to approval of the local authority, from constructing or erecting any structure on the land as required to provide access to any part of or to maintain the stability of the servient land

Signed by PAUL LAMONT LUCKMAN) 
 in the presence of-)
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Maquarie St
 Hobart TAS 7000


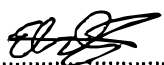
Signed by JANICE MARY LUCKMAN)
 in the presence of- )
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Maquarie St
 Hobart TAS 7000



P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number
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SUBDIVIDER: P L LUCKMAN & OTHERS
 FOLIO REFERENCE: 183275-201


 Signed by GREGORY ALAN LUCKMAN)
 in the presence of-)
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000

Signed by CAROLYN MARGARET LUCKMAN)
 in the presence of- )
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000

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P I N N A C L E

PINNACLE

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	New Lift Door	06.11.25	JRN
Ch - 02	Roof Change	06.11.25	JRN
Ch - 03	Changed deck to timber waterproofed	06.11.25	JRN
Ch - 05	Changed to Fine Texture Cladding	07.11.25	JRN
Ch - 06	New concrete ramp	07.11.25	JRN
Ch - 04	Added basin in WC (L)	07.11.25	JRN

Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

8 Tranquil Place, Tranmere 7018

Owner(s) or Clients	Ian & Denise Hey	Title Reference	188881/111
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	907m ²
Total Floor Area (Combined)	303.29m ² Decks 71.99m ²	Design Wind Speed	N3
Alpine Area	N/A	Soil Classification	P
Other Hazards	Safeguarding of Airports	Climate Zone	7
<small>(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)</small>		Corrosion Environment	High
		Bushfire Attack Level (BAL)	Low

ID	Sheet Name	Issue
A.01	Location Plan	DA - 01
A.02	Site Plan	DA - 01
A.03	Floor Plan - Lower	DA - 01
A.04	Floor Plan - Upper	DA - 01
A.05	Elevations	DA - 01
A.06	Elevations	DA - 01
A.07	Roof Plan	DA - 01

TRANQUIL PLACE

3.81

EXISTING CONCRETE DRIVEWAY

PROPOSED CONCRETE DRIVEWAY 123.60 m²

CONC. RAMP 7.40 m²
PROPOSED TIMBER DECK 20.93 m²












CONC PORCH 5.61 m²

PROPOSED TIMBER DECK 42.01 m²

PROPOSED NEW DWELLING 207.33 m²
GARAGE FFL +22,800
LOWER FFL +23,300
UPPER FFL +25,950

CONCRETE LANDING 1.20 m²

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

Site Areas

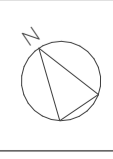
Site Area	907 m ²
Building Footprint	210.54 m ²
Total Site Coverage	23.21%

PINNACLE DRAFTING & DESIGN
7/3 Abernant Way, Cambridge 7170
03 6248 4218
admin@pinnacledrafting.com.au
www.pinnacledrafting.com.au
Licence Number: CC6073Y

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		

Location Plan		Scale: 1:250 @ A3
Revision: DA-01	Approved by: SH	Pg. No: A.01

Proposal: New Dwelling	Date: 12/09/25
Client: Ian & Denise Hey	Drawn by: SH
Address: 8 Tranquil Place, Tranmere 7018	Job No: 060-2025
	Engineer: TBA
	Building Surveyor: TBA



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TRANQUIL PLACE

Stormwater GP
Lid = 20.13
Inv = 19.76

EXISTING CONCRETE DRIVEWAY

EXISTING CROSSOVER TO REMAIN

EXISTING SEWER MANHOLE 1025Ø
R.L: 20.06

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building; the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1(2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights; the height of the slab-on-ground above external finished surfaces must be not less than
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

Site Areas

Site Area	907 m ²
Building Footprint	210.63 m ²
Total Site Coverage	23.22%

NOT FOR CONSTRUCTION

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7/3 Abernart Way, Cambridge 7170
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www.pinnacledrafting.com.au
Licence Number: CC6073Y

Issue	Date	Designer

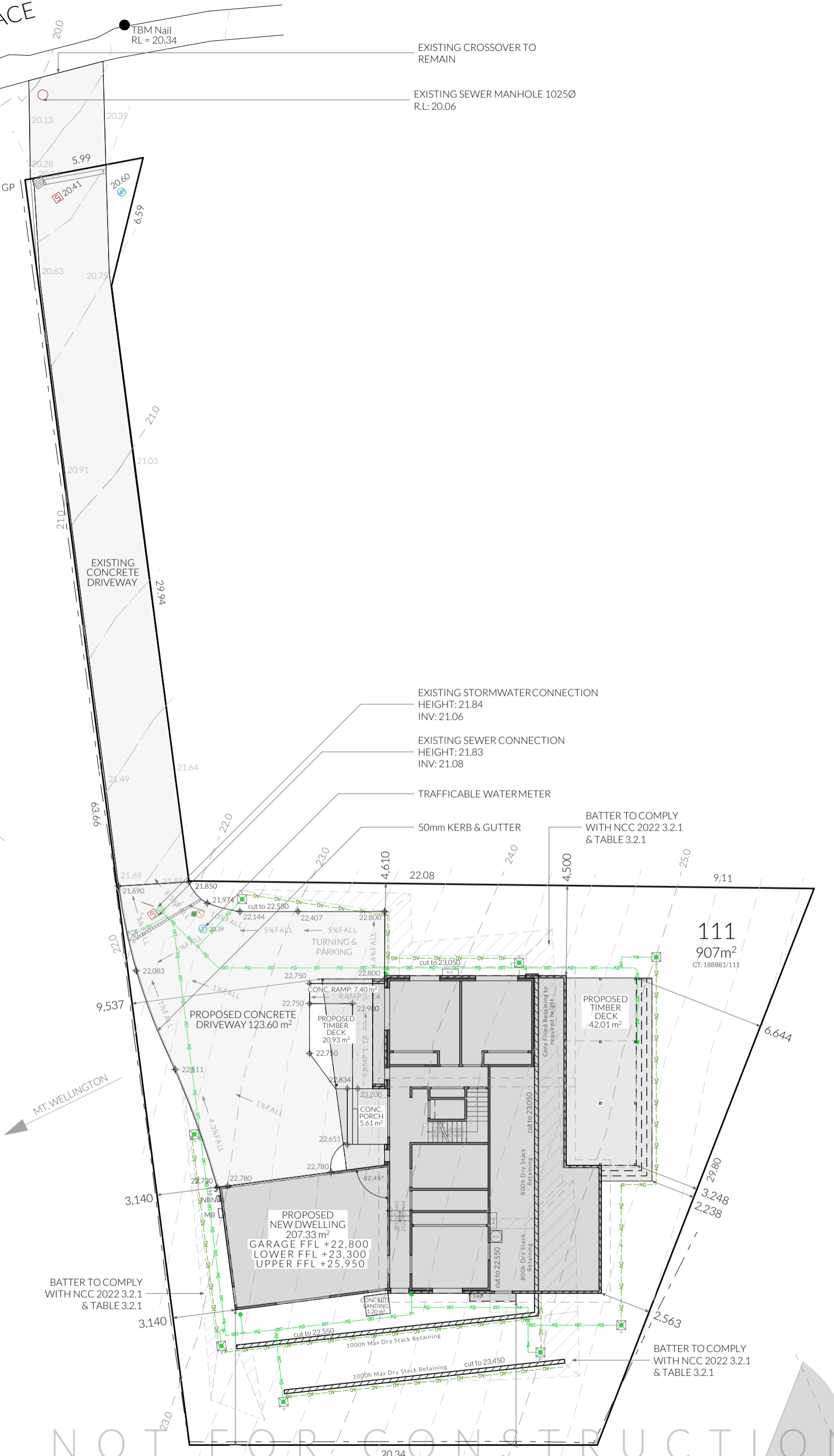
Site Plan	Scale: 1:200 @ A3
Revision: DA-01	Pg. No: A.02
Approved by: SH	

Proposal: New Dwelling	Date: 12/09/25
Client: Ian & Denise Hey	Drawn by: SH
Address: 8 Tranquil Place, Tranmere 7018	Job No: 060-2025
	Engineer: TBA
	Building Surveyor: TBA

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- Access Panel
- Articulation Joint
- Smoke Alarm

Construction of sanitary compartments

10.4.2 of NCC 2022
 The door to a fully enclosed sanitary compartment must -
 - open outwards; or
 - slide; or
 - be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;
 (a) in a habitable room excluding a kitchen - 2.4 m; and
 (b) in a kitchen - 2.1 m; and
 (c) in a corridor, passageway or the like - 2.1 m; and
 (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
 (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
 (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

Floor Areas

Lower Floor	145.89m ²
Upper Floor	157.40m ²
Total Floor Area	303.29m²
Front Deck	20.69m ²
Rear Deck	42.01m ²



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Floor Plan - Lower

Revision: DA - 01
 Approved by: SH

Scale: 1:100 @ A3
 Pg. No: A.03

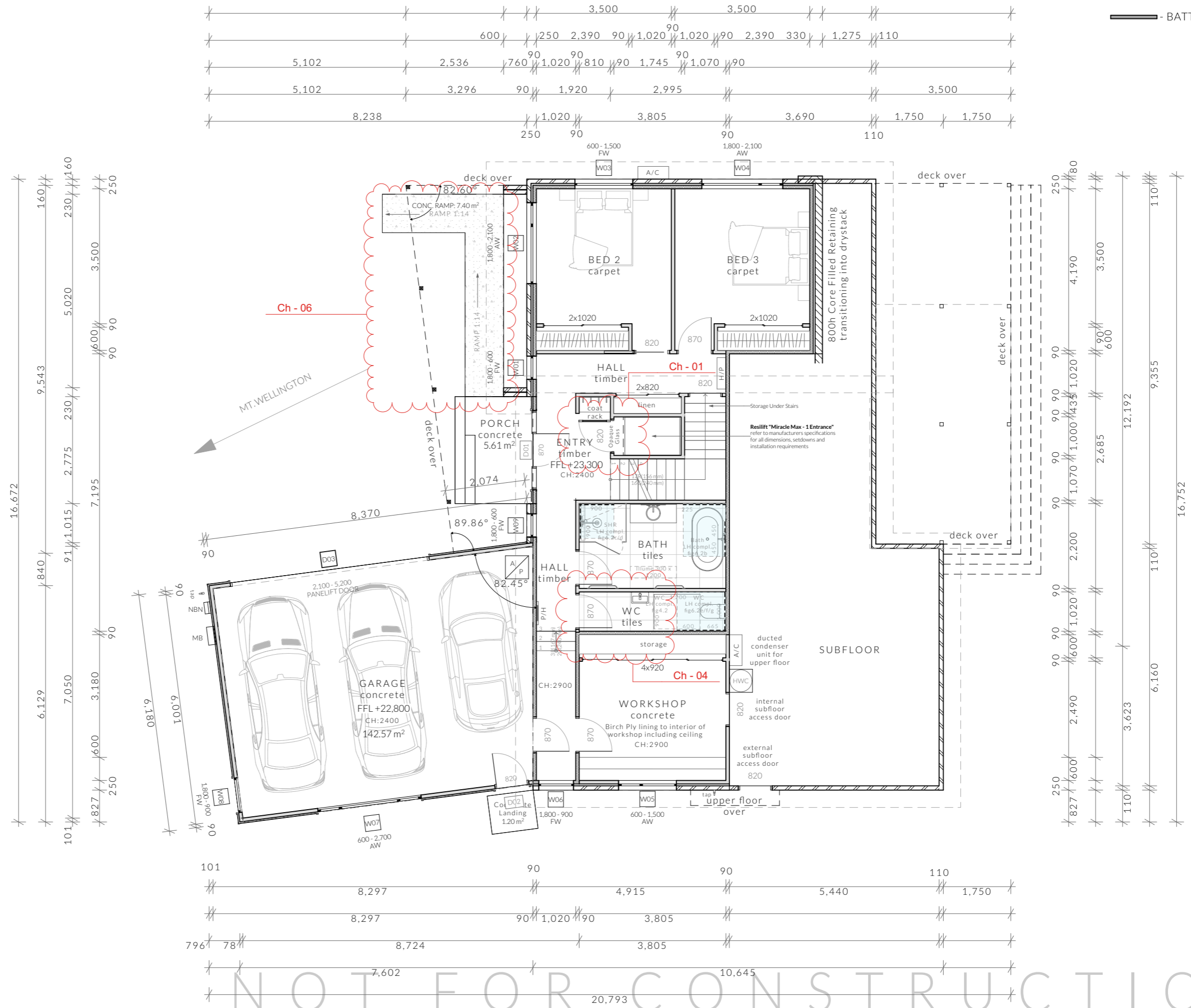
Proposal: New Dwelling
 Client: Ian & Denise Hey
 Address: 8 Tranquil Place, Tranmere 7018

Date: 12/09/25
 Drawn by: SH
 Job No: 060-2025
 Engineer: TBA
 Building Surveyor: TBA

Issue	Date	Designer
Ch - 01	06.11.25	JRN
Ch - 06	07.11.25	JRN
Ch - 04	07.11.25	JRN



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— BATTS TO WALL



Access Panel



Articulation Joint



Smoke Alarm

Construction of sanitary compartments

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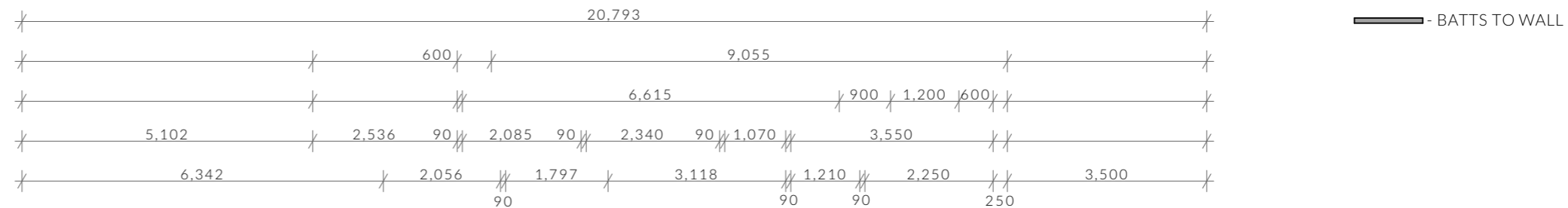
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- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

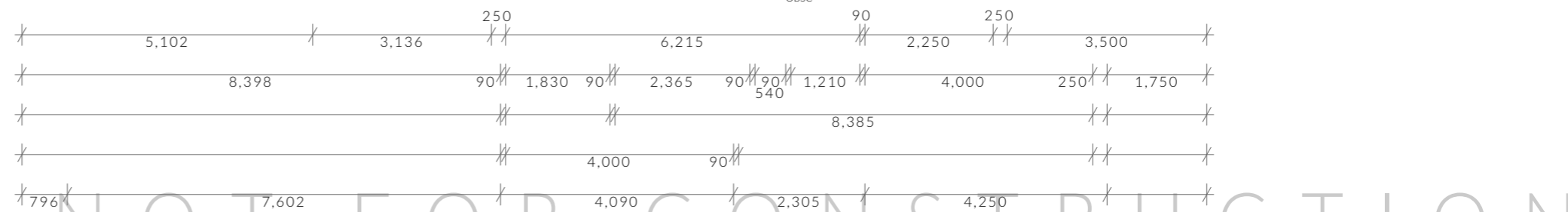
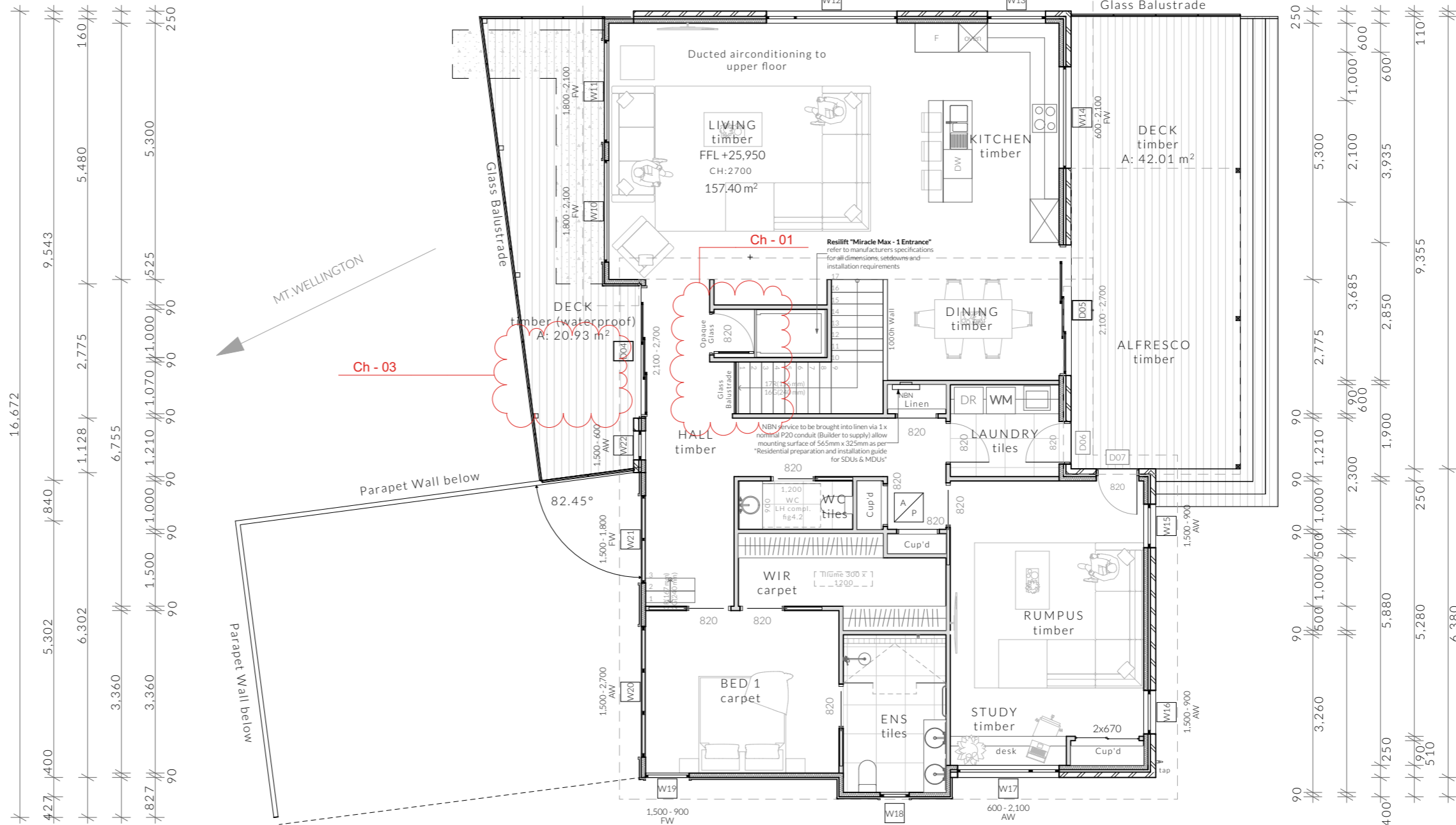
If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Lower Floor	145.89m ²
Upper Floor	157.40m ²
Total Floor Area	303.29m²
Front Deck	20.69m ²
Rear Deck	42.01m ²



BATTS TO WALL



NOT FOR CONSTRUCTION

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Floor Plan - Upper

Revision: DA - 01
Approved by: SH

Scale: 1:100 @ A3
Pg. No: A.04

Proposal: New Dwelling
Client: Ian & Denise Hey
Address: 8 Tranquil Place, Tranmere 7018

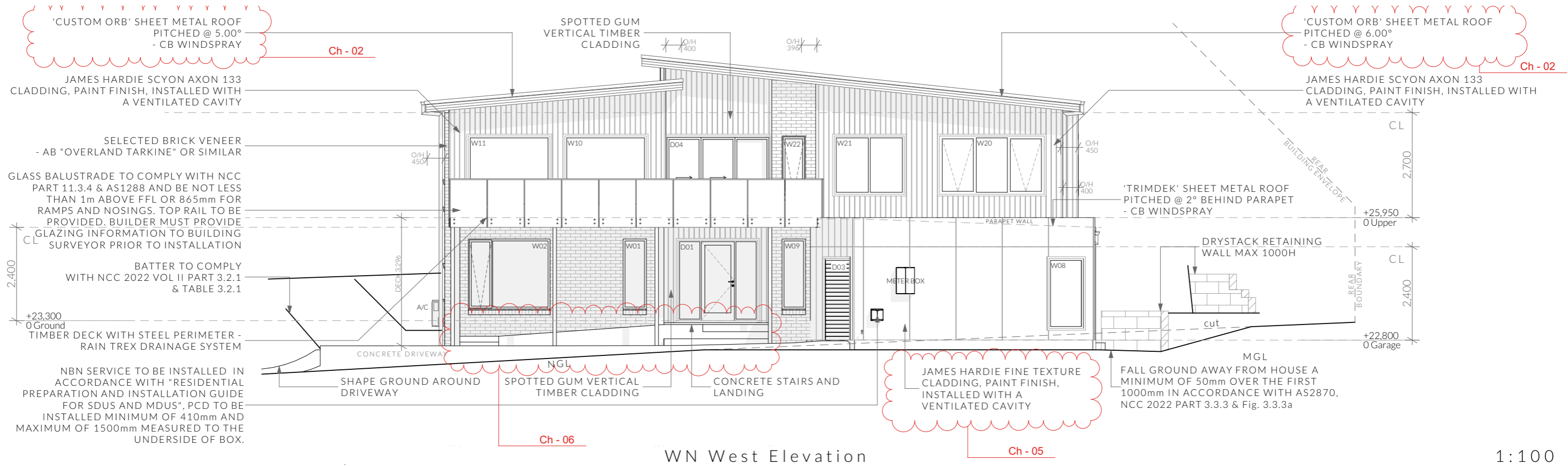
Date: 12/09/25
Drawn by: SH
Job No: 060-2025
Engineer: TBA
Building Surveyor: TBA

Issue	Date	Designer
Ch-01	06.11.25	JRN
Ch-03	06.11.25	JRN



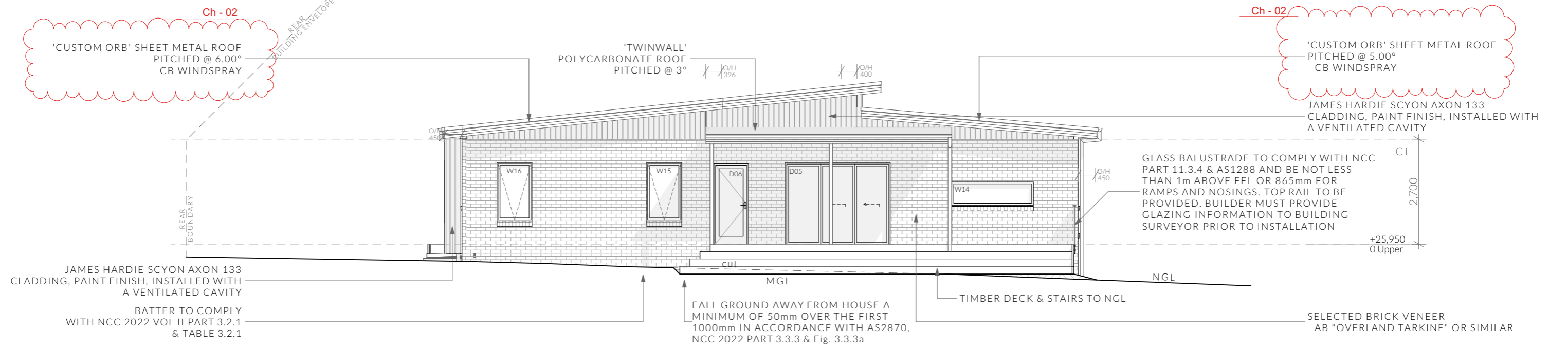
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WN West Elevation

1:100



ES East Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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	Ch - 05	07.11.25	JRN																	
	Ch - 06	07.11.25	JRN																	
Ch - 02	06.11.25	JRN																		

GLASS BALUSTRADE TO COMPLY WITH NCC PART 11.3.4 & AS1288 AND BE NOT LESS THAN 1m ABOVE FFL OR 865mm FOR RAMPS AND NOSINGS. TOP RAIL TO BE PROVIDED. BUILDER MUST PROVIDE GLAZING INFORMATION TO BUILDING SURVEYOR PRIOR TO INSTALLATION

JAMES HARDIE SCYON AXON 133 CLADDING, PAINT FINISH, INSTALLED WITH A VENTILATED CAVITY

'CUSTOM ORB' SHEET METAL ROOF PITCHED @ 6.00° - CB WINDSPRAY

Ch - 02

CL
2,700
'TRIMDEK' SHEET METAL ROOF PITCHED @ 2° - CB WINDSPRAY
+25,950
O Upper

CL
2,400
+22,800
O Garage

'TWINWALL' POLYCARBONATE ROOF PITCHED @ 3°

TIMBER DECK & STAIRS TO NGL

DUAL BATTER TO COMPLY WITH NCC 2022 VOL II PART 3.2.1 & TABLE 3.2.1
SELECTED BRICK VENEER - AB "OVERLAND TARKINE" OR SIMILAR

FALL GROUND AWAY FROM HOUSE A MINIMUM OF 50mm OVER THE FIRST 1000mm IN ACCORDANCE WITH AS2870, NCC 2022 PART 3.3.3 & Fig. 3.3.3a

DRystack RETAINING WALL MAX 1000H

JAMES HARDIE FINE TEXTURE CLADDING, PAINT FINISH, INSTALLED WITH A VENTILATED CAVITY

Ch - 05

SS West Elevation

Ch - 02

1:100

'CUSTOM ORB' SHEET METAL ROOF PITCHED @ 6.00° - CB WINDSPRAY

JAMES HARDIE SCYON AXON 133 CLADDING, PAINT FINISH, INSTALLED WITH A VENTILATED CAVITY

'CUSTOM ORB' SHEET METAL ROOF PITCHED @ 5.00° - CB WINDSPRAY

JAMES HARDIE SCYON AXON 133 CLADDING, PAINT FINISH, INSTALLED WITH A VENTILATED CAVITY

TIMBER DECK WITH STEEL PERIMETER - RAIN TREX DRAINAGE SYSTEM

GLASS BALUSTRADE TO COMPLY WITH NCC PART 11.3.4 & AS1288 AND BE NOT LESS THAN 1m ABOVE FFL OR 865mm FOR RAMPS AND NOSINGS. TOP RAIL TO BE PROVIDED. BUILDER MUST PROVIDE GLAZING INFORMATION TO BUILDING SURVEYOR PRIOR TO INSTALLATION

JAMES HARDIE FINE TEXTURE CLADDING, PAINT FINISH, INSTALLED WITH A VENTILATED CAVITY

Ch - 05

CL
2,700
'TWINWALL' POLYCARBONATE ROOF PITCHED @ 3°
+25,950
O Upper

CL
2,400
+23,300
O Ground

BATTER TO COMPLY WITH NCC 2022 VOL II PART 3.2.1 & TABLE 3.2.1

SELECTED BRICK VENEER - AB "OVERLAND TARKINE" OR SIMILAR

190 CORE FILLED BLOCK RETAINING WALL TO ENGINEERS DETAIL

DRYCK 1456

MGL

MGL

CONCRETE DRIVEWAY

CONCRETE STAIRS AND LANDING

RENDERED MASONRY VENEER TO BE INSTALLED IN COMPLIANCE WITH NCC 2022 PART 5.2, AS4773.1, AS4773.2 & AS3700

NN East Elevation


1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

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Slope (2R+G): Max 550 - Min 700

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Ch - 05	07.11.25	JRN															
Ch - 02	06.11.25	JRN															
NOTE: Refer to cover page for further details on changes.																	

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm ² /m provided at each of two opposing ends

Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

REQUIRED NUMBER OF ROOF VENTS:

ROOF AREA 01
ROOF PITCH <10°
MONOPITCH ROOF

REQUIRED VENT AREA

Low Vents = 0.55m² (22190m x 25,000mm²)
High Vents = 0.55m² (22190m x 25,000mm²)

EAVE VENTS

BUILDERS EDGE EAVE VENT (EV4020)
14x 400X200mm(0.042m²) VENTS EVENLY SPACED
OR
25mm CONTINUOUS VENT

RIDGE VENT SYSTEM

BUILDERS EDGE EAVE VENT (EV4020)
14x 400X200mm(0.042m²) VENTS EVENLY SPACED
OR
25mm CONTINUOUS VENT

ROOF AREA 02
ROOF PITCH <10°
PARAPET ROOF - MASONRY CLAD

REQUIRED VENT AREA

Low Vents = 0.18m² (7.56m x 25,000mm²)
High Vents = 0.20m² (8.20m x 25,000mm²)

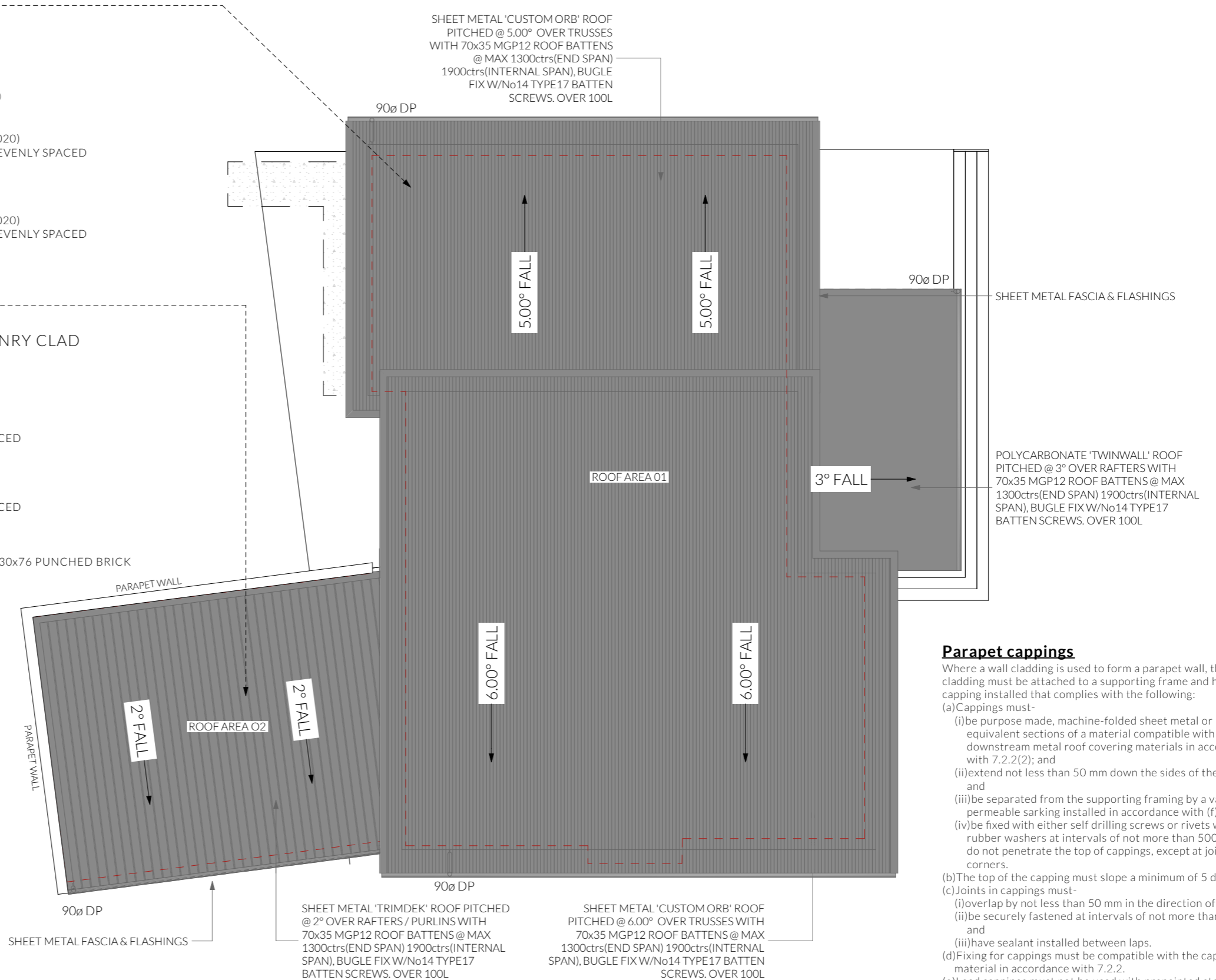
LOW VENTS

3x 230X76mm VENTS EVENLY SPACED
OR
25mm CONTINUOUS VENT

HIGH VENTS

3x 230X76mm VENTS EVENLY SPACED
OR
25mm CONTINUOUS VENT

VUETRADE (VTSFV230X76SLIM) 230x76 PUNCHED BRICK VENT (0.076m² FREE AIR SPACE)



Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a) Cappings must-
 - (i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii) extend not less than 50 mm down the sides of the parapet; and
 - (iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
- (b) The top of the capping must slope a minimum of 5 degrees.
- (c) Joints in cappings must-
 - (i) overlap by not less than 50 mm in the direction of flow; and
 - (ii) be securely fastened at intervals of not more than 40 mm; and
 - (iii) have sealant installed between laps.
- (d) Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
- (e) Lead cappings must not be used with pre-painted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
- (f) Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
 - (i) each adjoining sheet or roll being-
 - (A) overlapped not less than 150 mm; or
 - (B) taped together; and
 - (ii) sarking fixed to supporting members at not more than 300 mm centres.

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Roof Plan Revision: DA - 01 Approved by: SH	Scale: 1:100 @ A3 Pg. No: A.07	Proposal: New Dwelling Client: Ian & Denise Hey Address: 8 Tranquil Place, Tranmere 7018	Date: 12/09/25 Drawn by: SH Job No: 060-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer					<small>These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</small>	 <small>bdoo BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</small>
	Issue	Date	Designer												
<small>Document Set ID: 5751429 Version: 1, Version Date: 20/11/2025</small>															