



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058587

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 126 Allumba Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/03/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/03/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/03/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence... a brighter place

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Porch Roof.....

Location:

Address...126 Allumba Street

Suburb/TownHowrah..... Postcode7018.....

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fee to be in the name of (if different from applicant)

(If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 56410	FOLIO 61
EDITION 6	DATE OF ISSUE 21-Aug-2023

SEARCH DATE : 20-Nov-2025

SEARCH TIME : 06.22 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 61 on Sealed Plan 56410 (formerly being SP706)

Derivation : Part of 192A-1R-0Ps. Gtd. to W.G.G. Sams

Prior CT 2165/72

SCHEDULE 1

N147038 TRANSFER to ANDREA RENAE JACKSON Registered
21-Aug-2023 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

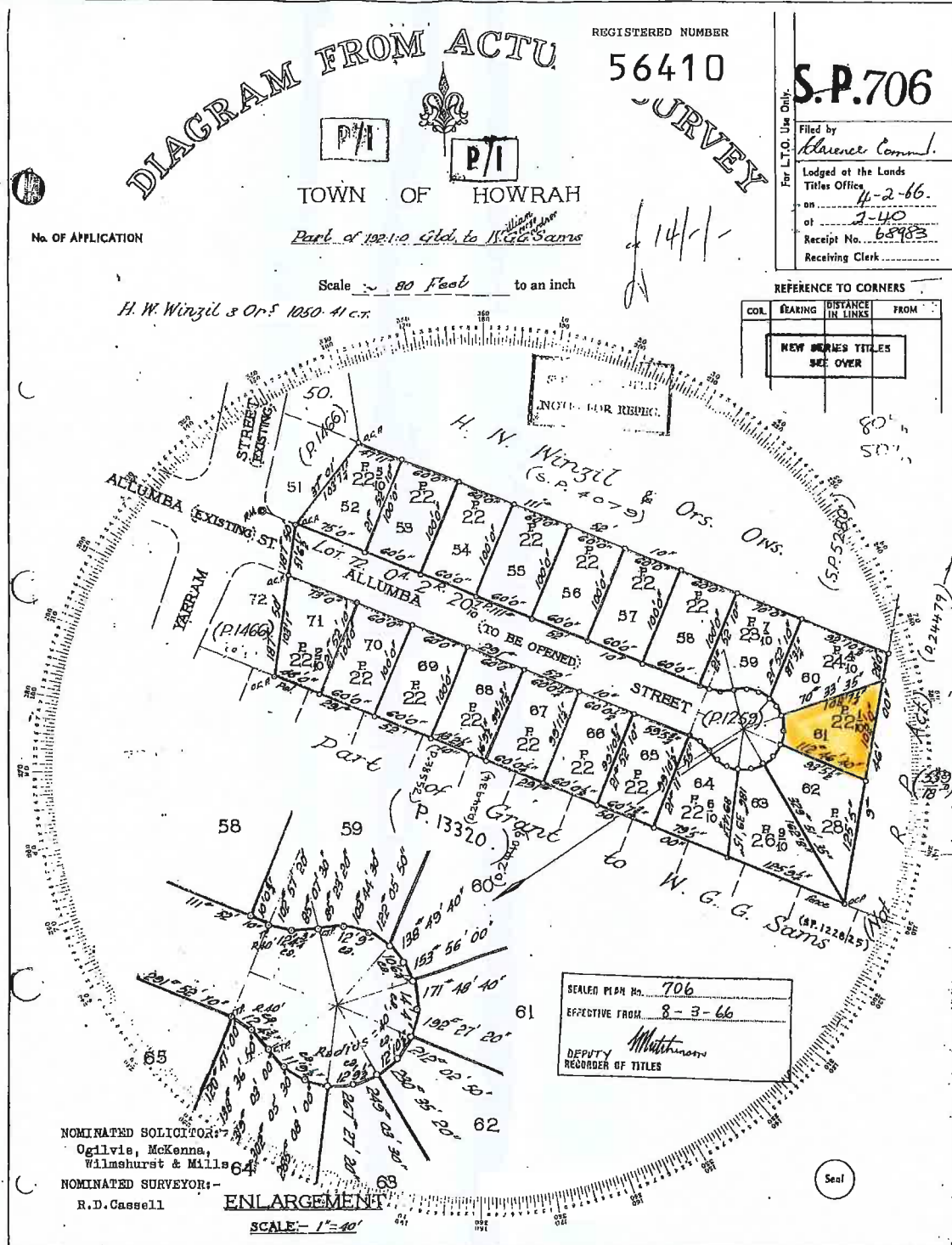
A340503 AGREEMENT creating Covenants

A340502 FENCING PROVISION in Transfer

E355613 MORTGAGE to Perpetual Trustee Company Limited
Registered 21-Aug-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



To be filled in by Surveyor.

Survey commenced

Survey finished

Error of class 1 in .

Plotted by

Examined as to boundaries

Mathematically checked

Entered on Card by

Dated this *8th* day of *Feb.*, 19*65*

Ross Dymock Cassell
Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

Ross Dymock Cassell
Authorised Surveyor.

APPROVAL BY LOCAL AUTHORITY - N°981

APPROVED UNDER SECTION 464 OF THE LOCAL GOVT. ACT 1962 AND AMENDMENTS FOR CONDITIONS SEE BACK

The Common Seal of the Municipality of Clarence has been hereunto affixed in the presence of us this *3rd* day of *February*, one thousand nine hundred and *Sixty Six* in pursuance of authorisation given at a meeting of the Commissioners held on the *3rd* day of *February* 19*66*

Raymond Chairman
W. G. G. Sams Commissioner
W. G. G. Sams Secretary

15.11.2025

To whom it may concern,

I/We Andrea Jackson owner/s of 126 Alumba St, Howrah TAS 7018 authorise representatives of ISLAND LIFE DESIGNERS to act as my/our agent regarding all Council and TasWater applications for this address.

I/We Andrea Jackson also understand and accept that while ISLAND LIFE DESIGNERS are acting as my/our agent I/We give consent for the relevant authorities to direct all invoices relating to the development directly to the property owner.

Please accept this letter authorizing representatives of ISLAND LIFE DESIGNERS to act as AGENTS and to lodge the Development, Building and Plumbing Applications and access any associated information required with the applications on our behalf.

Kind regards,

Owner 1:

Signed



Name

Andrea Jackson

Date

17/11/25

Owner 2:

Signed

Name

Date

GENERAL INFORMATION

Land Title Referene - 56410/61
 Building Class - 1a
 Property Zone - General Residential
 Wind Classification - T.B.C.
 Soil Classification (AS 2870) - T.B.C
 Climate Zone (NCC 3.12) - Zone 7
 Alpine Area (900m above AHD) - NA
 BAL Rating (AS3959) - NA
 Heritage Building - NA
 Flood Prone Area - NA
 Coastal Ingress Area - NA
 Coastal Erosion Area - NO
 Corrosion Environment - Moderate

OTHER CONSULTANTS

Structural Engineer - T.B.C
 Geological Report (Soil) - T.B.C
 Energy Assessment - NA
 Waste Water Report - NA
 Bushfire Assessment - NA
 Civil Engineer - NA
 Mechanical Engineer - NA
 Electrical Engineer - NA
 Site Survey - NA
 Hydrologist Report - NA
 Contaminated Site Survey - NA

AREA SCHEDULE *(All measurements in m2)*

Site Plan - 559m2
 Existing Residence - NA
 Residence (Ground Floor) - 26.51m2
 Residence (First Floor) - 127.86m2
 Alfresco Area - NA
 Verandah Area - NA
 Porch (Laundry) - 4.16m2
 Detached Office / Study - NA
 Entry - 6.85m2
 Decking Area - NA
 Balcony (existing) - NA
 Garage - 26.51m2
 Residential Shed / Outbuilding - NA

Drawing Schedule:	
Sheet number	Sheet name
01	COVER PAGE
02	SITE PLAN - FIRST FLOOR
03	SITE DRAINAGE PLAN - GROUND FLOOR
04	SITE DRAINAGE PLAN - FIRST FLOOR
05	EXISTING GROUND FLOOR PLAN
06	EXISTNG FIRST FLOOR PLAN
07	PROPOSED FIRST FLOOR PLAN
08	PROPOSED ROOF PLAN
09	EXISTING ELEVATIONS 1 & 2
10	EXISTING ELEVATIONS 3 & 4
11	PROPOSED ELEVATIONS 1 & 2
12	PROPOSED ELEVATIONS 3 & 4

Proposed Porch Roof

126 Allumba St Howrah

TAS 7018



ISLAND LIFE DESIGNERS
 BUILDING SERVICES PROVIDER
 LICENCE No. 456943879
 CONTACT: nick@islandlifedesigners.com

General Notes
 The Builder shall check all dimensions and levels on site prior to construction.
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notes	revision

stage	description
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
 126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Cover Page

REVISION NO. 0

DRAWING NO. 01

SCALE: As noted on A3 paper size

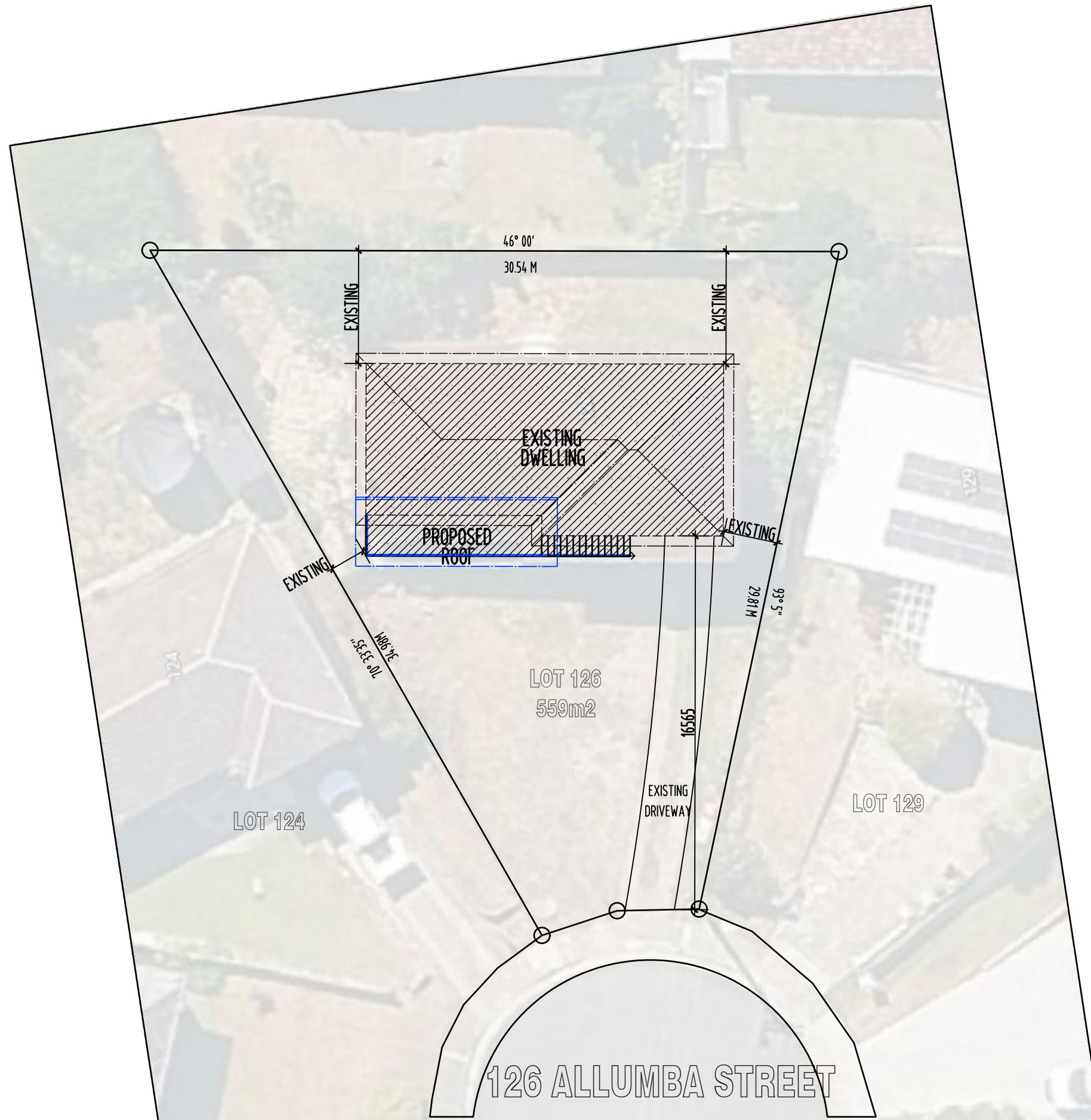
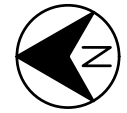
DRAWN BY: NY

CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025

Certificate of Title: Part of Lot 56410/61
 LOT 126 Allumba Street Howrah TAS 7018
 Site Area: 559m²
 Existing Dwelling: 131.7m² + Deck 14.04m² = 145.74m²
 Total Site Cover: 131.7m² = 23.55% (Excluding Covered Deck)
 Total Site Cover: 145.74m² = 26.07% (Including Covered Deck)



Site Plan
 Scale 1:200 @A3



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 BUILDING SERVICES PROVIDER
 LICENCE No. 456943079
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notes	revision

stage	description
	sketch design
	design development
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Site plan - First Floor

REVISION NO. 0

DRAWING NO. 02

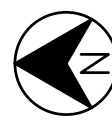
SCALE: As noted on A3 paper size

DRAWN BY: NY

CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



- NEW PIPEWORK**
- SEWER DN100 uPVC
 - SUB SOIL DRAINAGE Ø90
 - STORMWATER DN100 uPVC
 - COLD WATER DN20

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

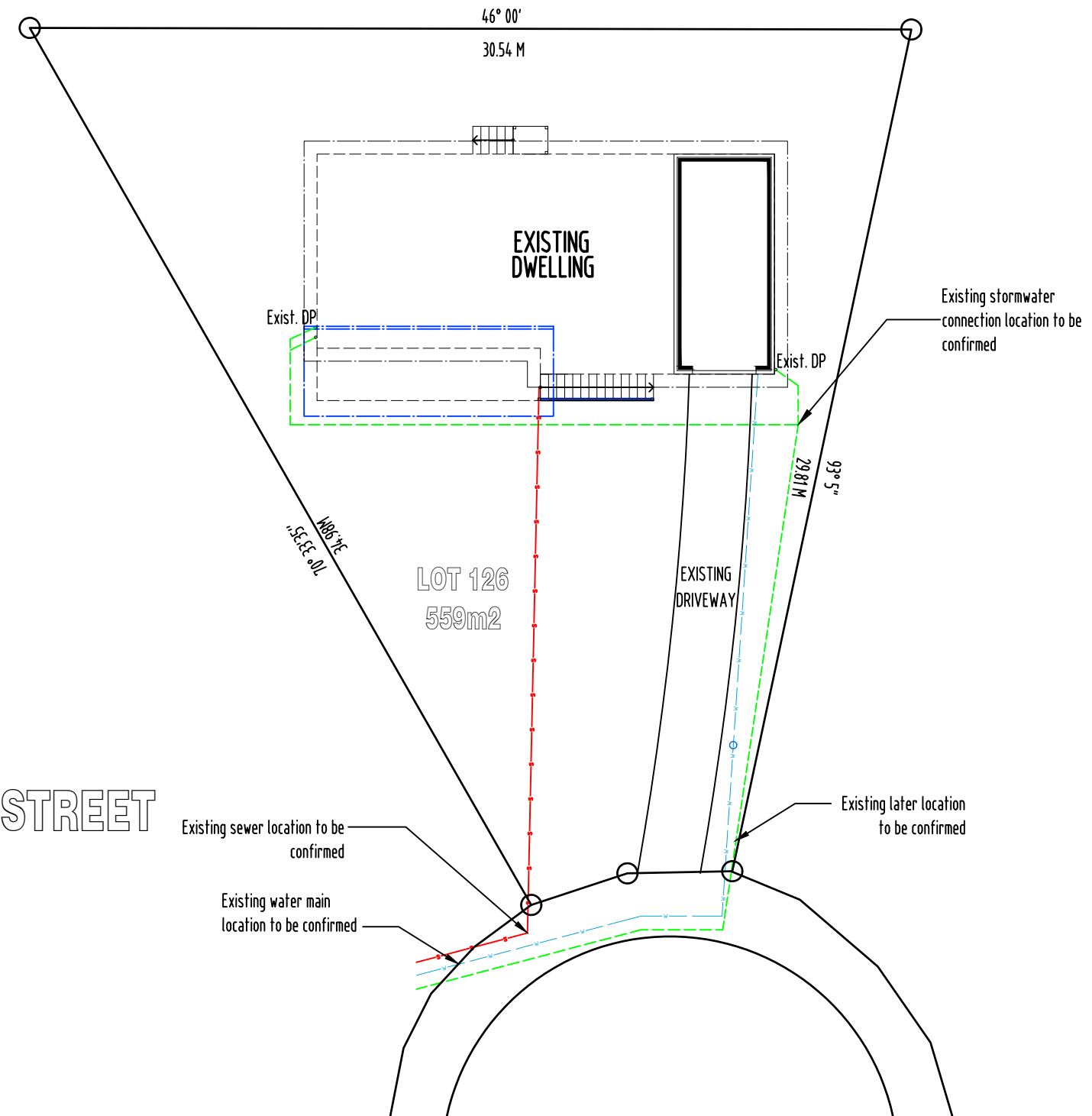
- SYMBOLS**
- INSPECTION OPENING
 - FLOOR WASTE GULLY
 - OVERFLOW RELIEF GULLY
 - ISOLATION VALVE IN BOX
 - DROPPER/ RISER
 - WATER TAP

- ABBREVIATIONS**
- V VENT PIPE
 - IO INSPECTION OPENING
 - FWG FLOOR WASTE GULLY
 - IOS INSPECTION OPENING SHAFT
 - ORG ORVERFLOW RELIEF GULLY
 - IV ISLOATION VALVE IN BOX
 - D/R DROPPER/ RISER
 - BT BATH
 - Shr SHOWER
 - B BASIN
 - S SINK
 - Tr TROUGH
 - WC WATER CLOSET
 - FWG FLOOR WASTE GULLY
 - HWC HOT WATER CYLINDER
 - IV ISOLATION VALVE
 - PLV PRESSURE LIMITING VALVE
 - CWM COLD WATER METER
 - GD GRATED DRAIN
 - GP GRATED PIT
 - RP ROD POINT
 - IS INSPECTION SHAFT

NOTE:
 ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:
 - N.C.C., AS3500.2 & AS3500.3
 - WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)
 - LOCAL COUNCIL REQUIREMENTS
 - TASWATER TECHNICAL STANDARDS
 - ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS
 REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

Site Services Plan - First Floor
 scale 1:200@A3

126 ALLUMBA STREET



notes	revision	stage
		sketch design
		design development
		contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
 A. Jackson

SITE:
 126 Allumba St Howrah TAS 7018

DRAWING TITLE:
 Site drainage plan - Ground Floor

REVISION NO. 0

DRAWING NO. 03

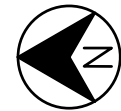
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DRAWN BY: NY

CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



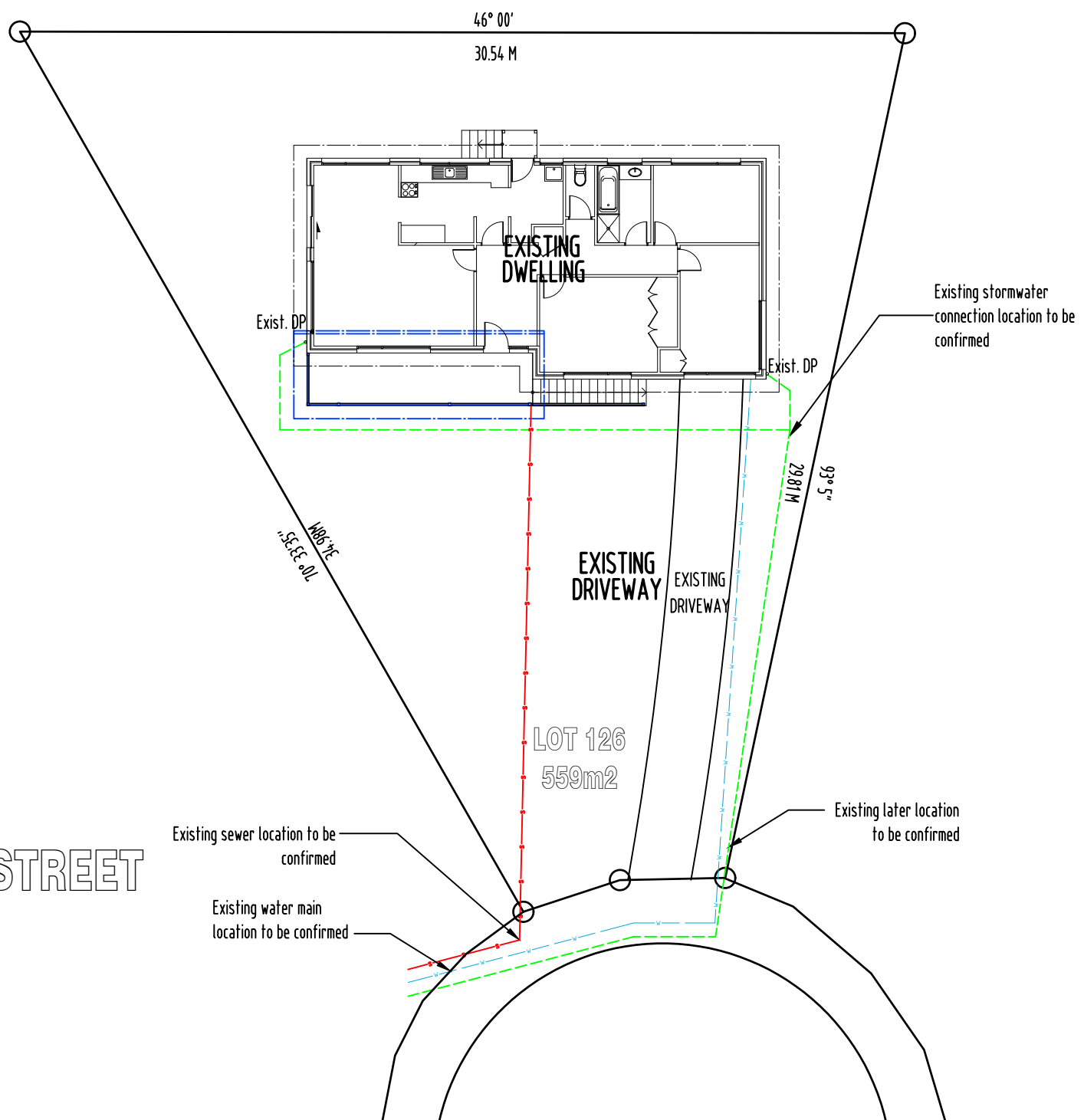
- NEW PIPEWORK**
- SEWER DN100 uPVC — — — — —
 - SUB SOIL DRAINAGE ϕ 90 - - - - -
 - STORMWATER DN100 uPVC - - - - -
 - COLD WATER DN20 - - - - -

Wet areas shown hatched to comply with current AS3740:2021 & 2022 N.C.C. Refer to waterproofing details.

- SYMBOLS**
- INSPECTION OPENING
 - FLOOR WASTE GULLY
 - OVERFLOW RELIEF GULLY
 - ISOLATION VALVE IN BOX
 - DROPPER/ RISER
 - WATER TAP

- ABBREVIATIONS**
- V VENT PIPE
 - IO INSPECTION OPENING
 - FWG FLOOR WASTE GULLY
 - IOS INSPECTION OPENING SHAFT
 - ORG ORVERFLOW RELIEF GULLY
 - IV ISLOATION VALVE IN BOX
 - D/R DROPPER/ RISER
 - BT BATH
 - Shr SHOWER
 - B BASIN
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 - Tr TROUGH
 - WC WATER CLOSET
 - FWG FLOOR WASTE GULLY
 - HWC HOT WATER CYLINDER
 - IV ISOLATION VALVE
 - PLV PRESSURE LIMITING VALVE
 - CWM COLD WATER METER
 - GD GRATED DRAIN
 - GP GRATED PIT
 - RP ROD POINT
 - IS INSPECTION SHAFT

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 - LOCAL COUNCIL REQUIREMENTS
 - TASWATER TECHNICAL STANDARDS
 - ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS
 REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS



126 ALLUMBA STREET

Site Services Plan - First Floor
 scale 1:200@A3



ISLAND LIFE DESIGNERS
 BUILDING SERVICES PROVIDER
 LICENCE No. 456943079
 CONTACT: nick@islandlifedesigners.com

General Notes
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.

notes	revision

- stage**
- sketch design
 - design development
 - contract documentation
 - DA
 - BA
 - construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Site drainage plan - First Floor

REVISION NO. 0

DRAWING NO. 04

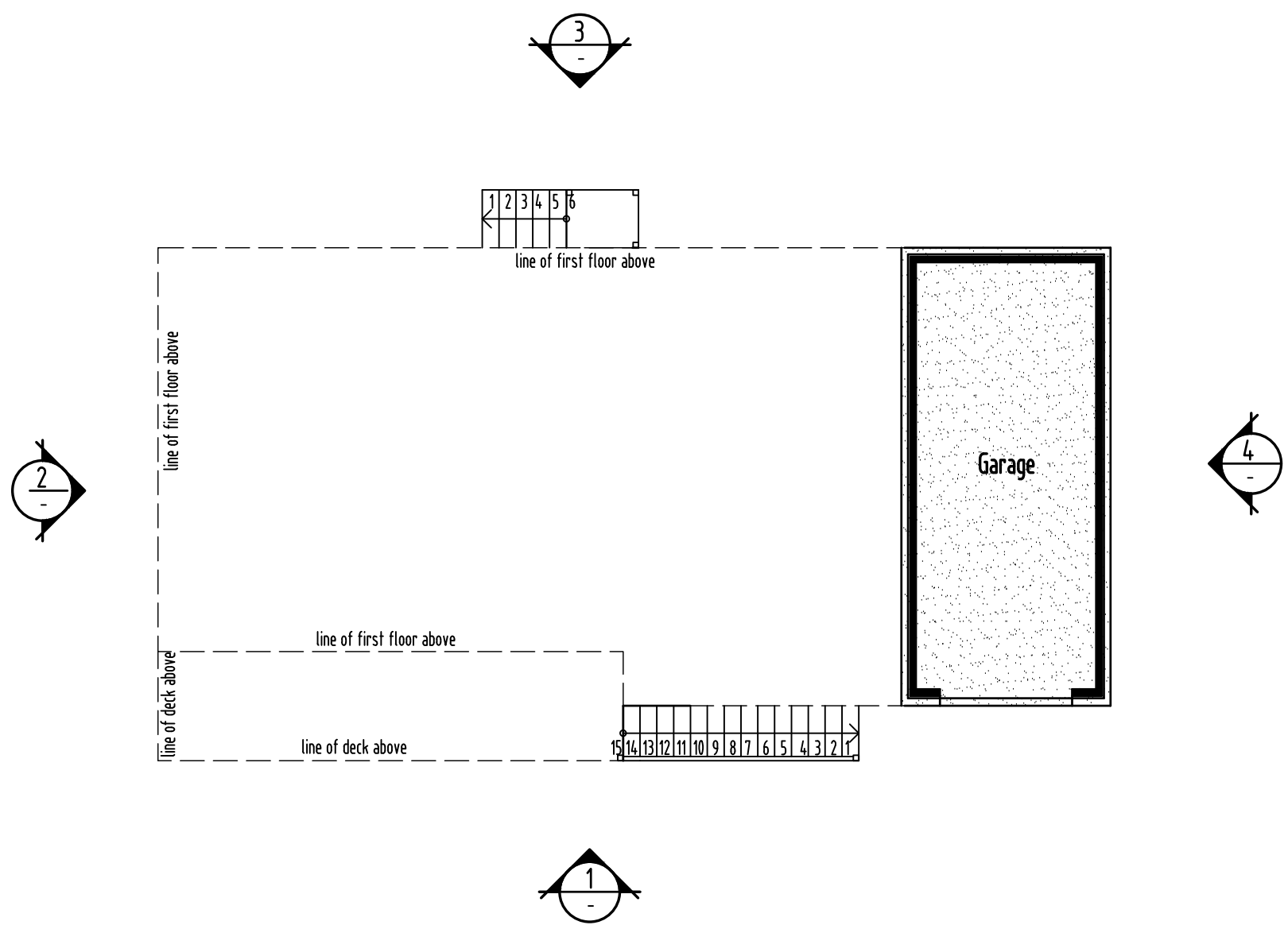
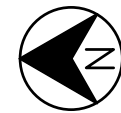
SCALE: As noted on A3 paper size

DRAWN BY: NY

CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



AREAS

Living:	19.60m ²
Garage:	26.51m ²
First Floor area:	113.81m ²
TOTAL FLOOR AREA:	154.36m ²

Proposed Porch = 14.04 m²

Existing Ground Floor Plan
scale: 1:100 @A3



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notes

notes	revision

stage	
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Existing Ground Floor Plans

REVISION NO. 0

DRAWING NO. 05

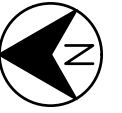
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CHECKED BY: Nicholas Young

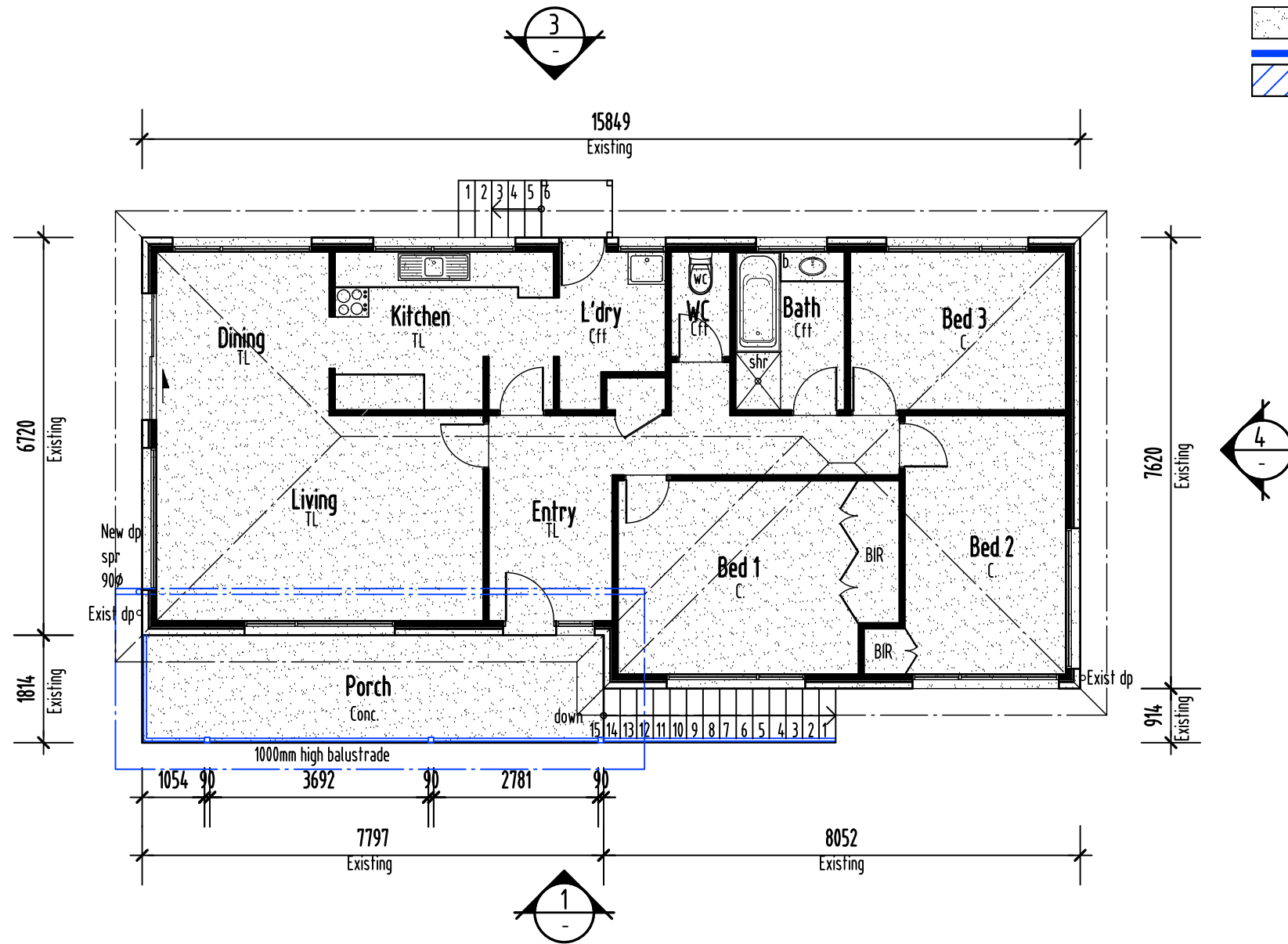
PROJECT NO. 25-029

Plot Date: 15.12.2025



EXISTING

PROPOSED INTERNAL WORKS



AREAS

Living:	113.75m ²
TOTAL FLOOR AREA:	113.75m ²

Proposed Porch = 14.14 m²

Proposed First Floor Plan
scale: 1:100 @A3



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notes	revision
DA issue	A

stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Proposed First Floor Plan

REVISION NO. 0

DRAWING NO. 07

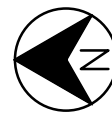
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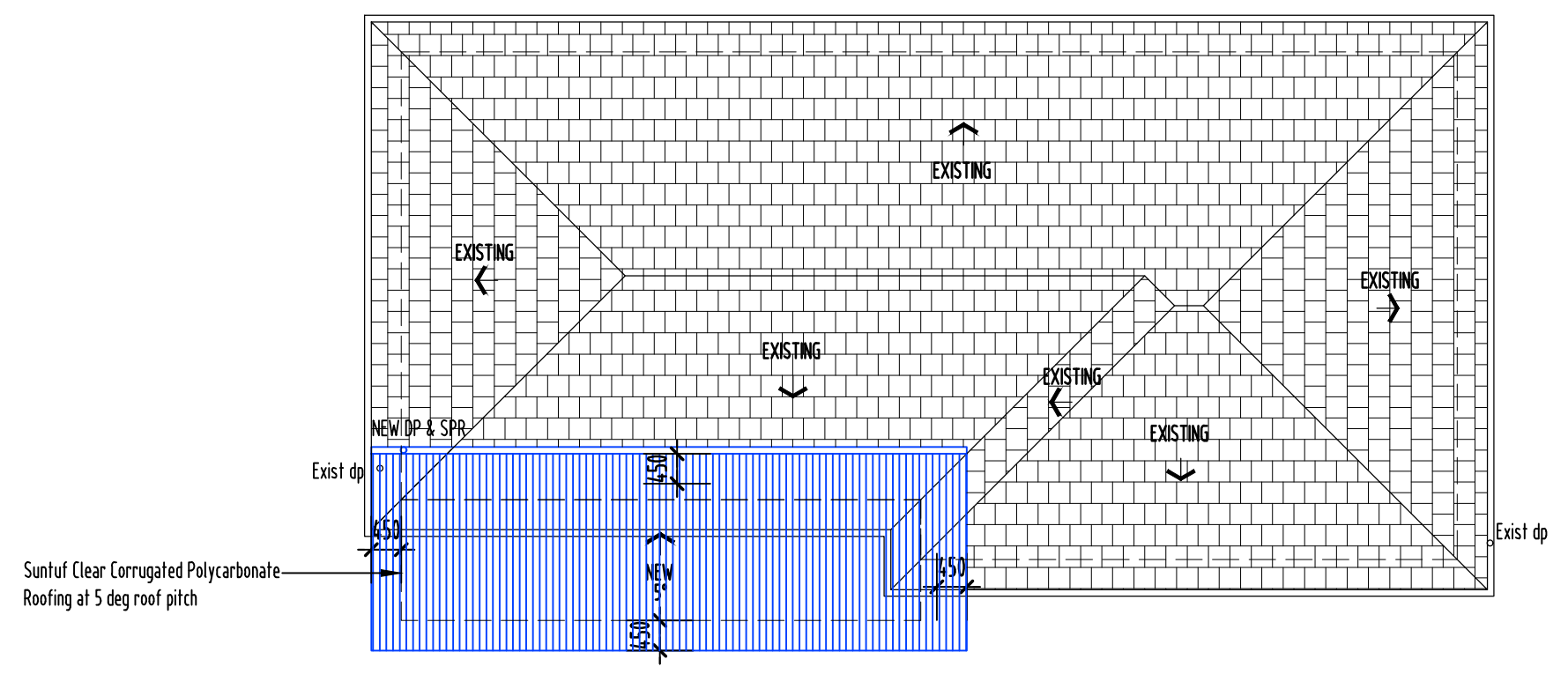
CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



 EXISTING
 PROPOSED INTERNAL WORKS




Proposed Roof Plan
 SCALE 1: 100 @A3



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 CONTACT: nick@islandlifedesigners.com

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stage	description
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PROJECT NAME:
Proposed Porch Roof

 CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

 DRAWING TITLE:
Proposed roof plan

REVISION NO. 0

 DRAWING NO. 08

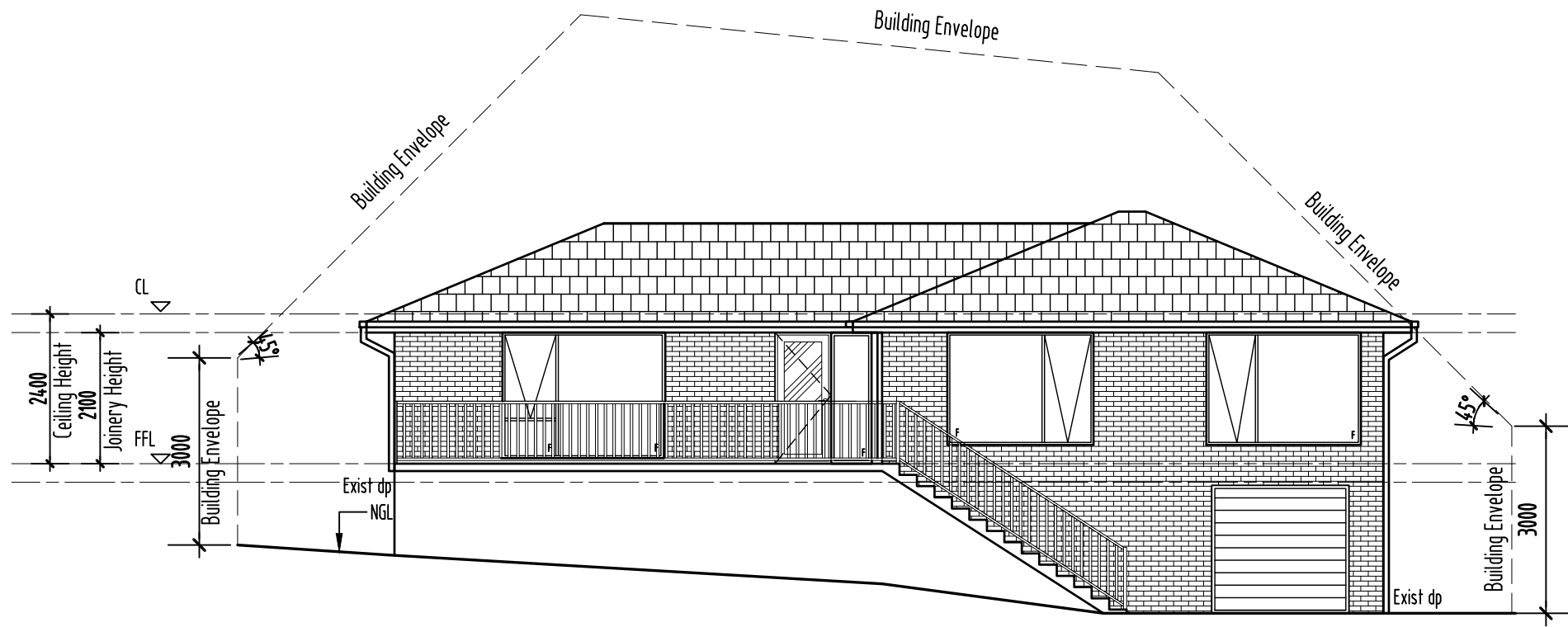
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DRAWN BY: NY

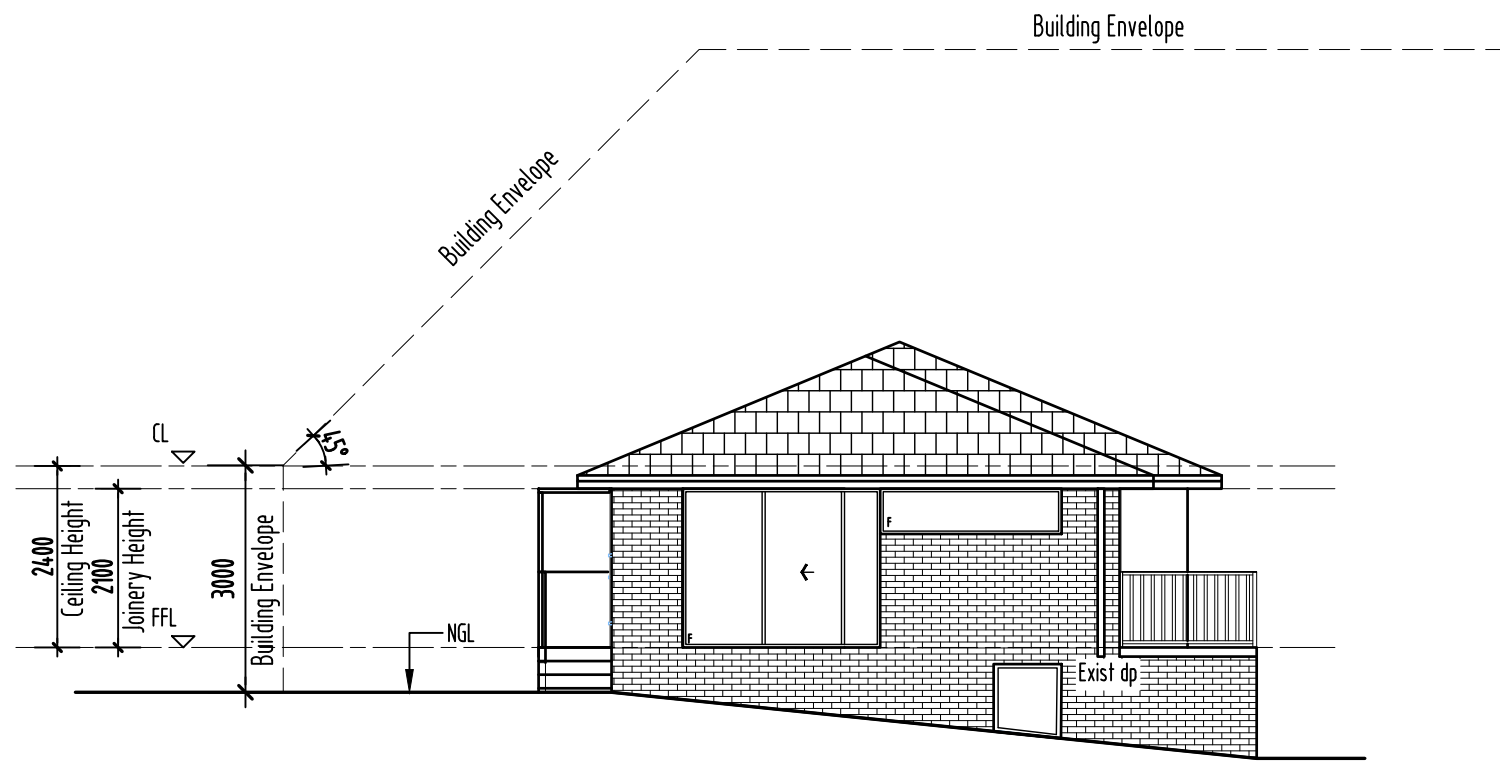
 CHECKED BY: Nicholas Young

 PROJECT NO. 25-029

 Plot Date: 15.12.2025



Existing Elevation 1
scale 1:100@A3



Existing Elevation 2
scale 1:100@A3



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PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Existing Elevations 1 & 2

REVISION NO. 0

DRAWING NO. 10

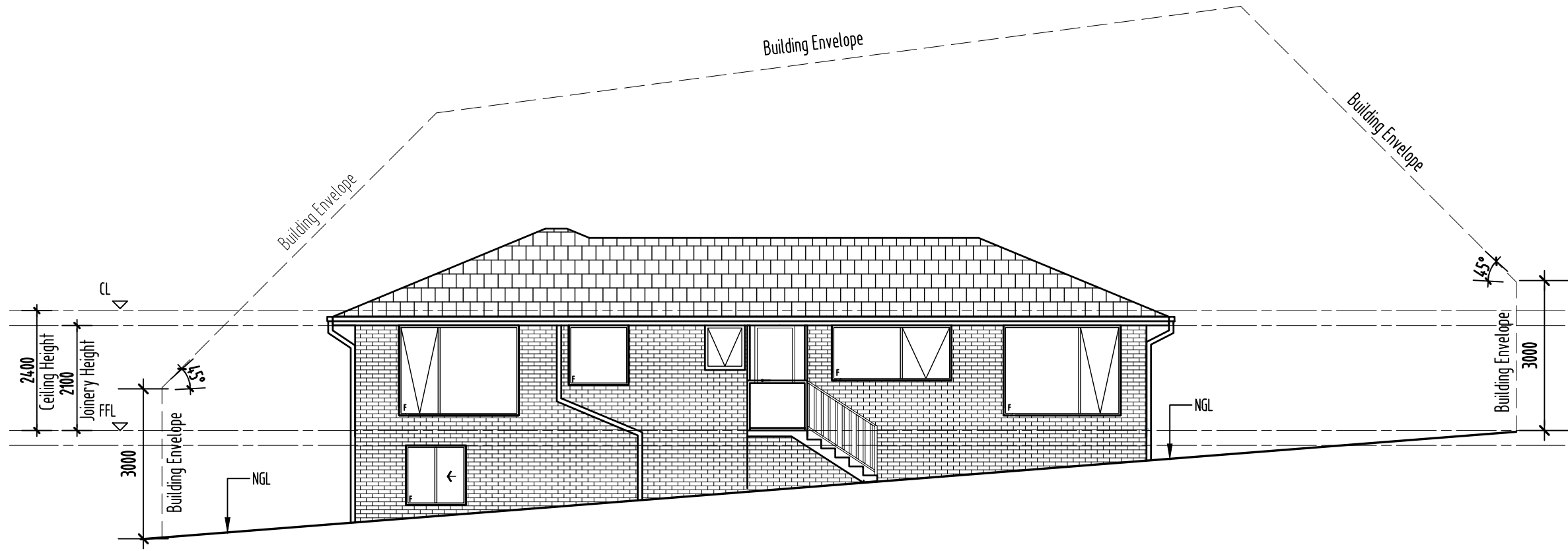
SCALE: As noted on A3 paper size

DRAWN BY: NY

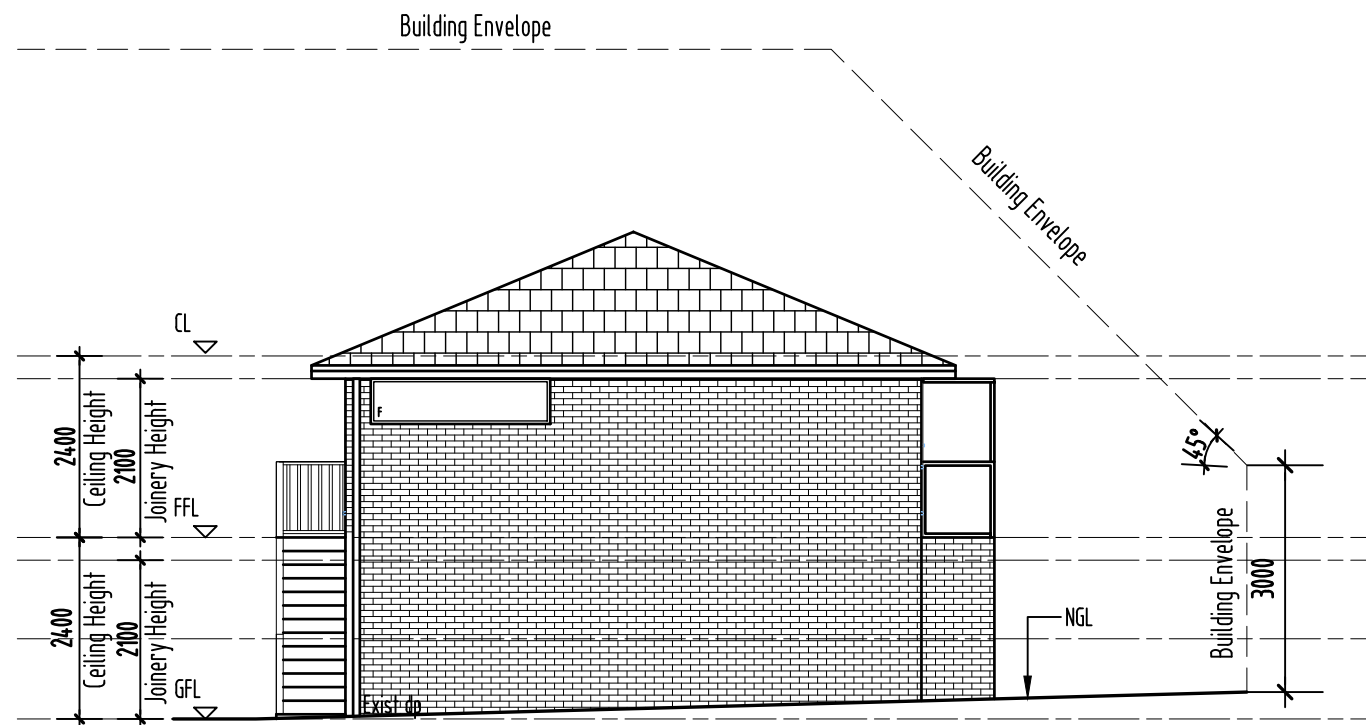
CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



Existing Elevation 3
scale 1:100@A3



Existing Elevation 4
scale 1:100@A3



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No. 456943079
CONTACT: nick@islandlifedesigners.com

General Notes
The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the building designer.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings.
All boundaries and contours subject to survey

notes

revision	description

stage	description
	sketch design
	design development
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Elevations 3 & 4

REVISION NO. 0

DRAWING NO. 10

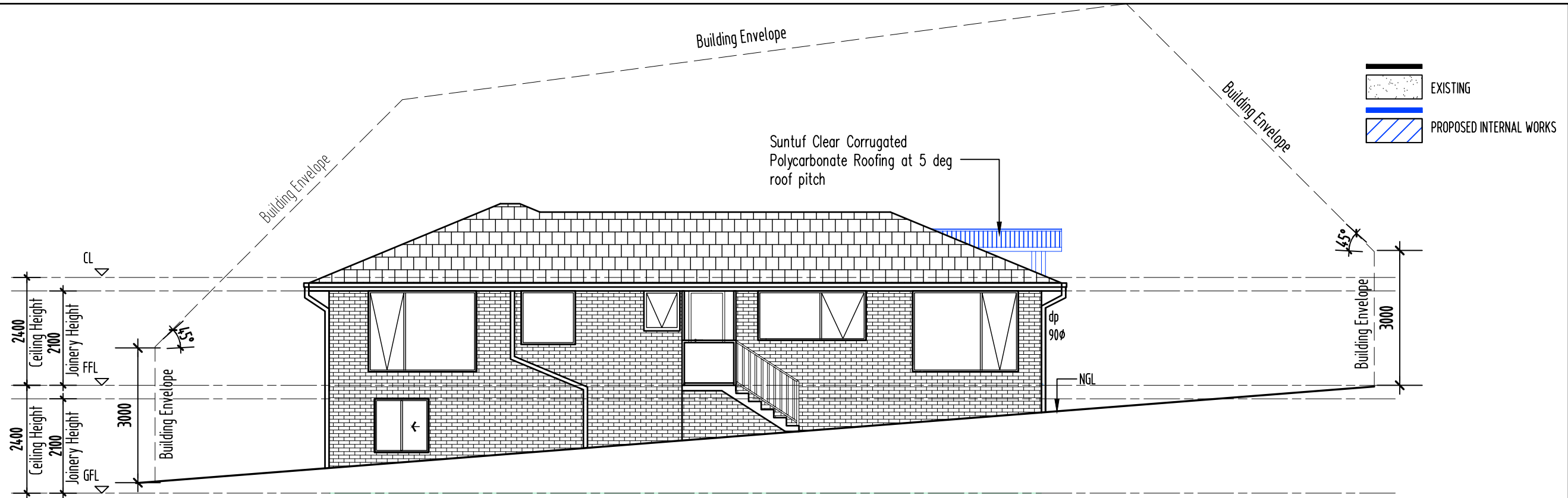
SCALE: As noted on A3 paper size

DRAWN BY: NY

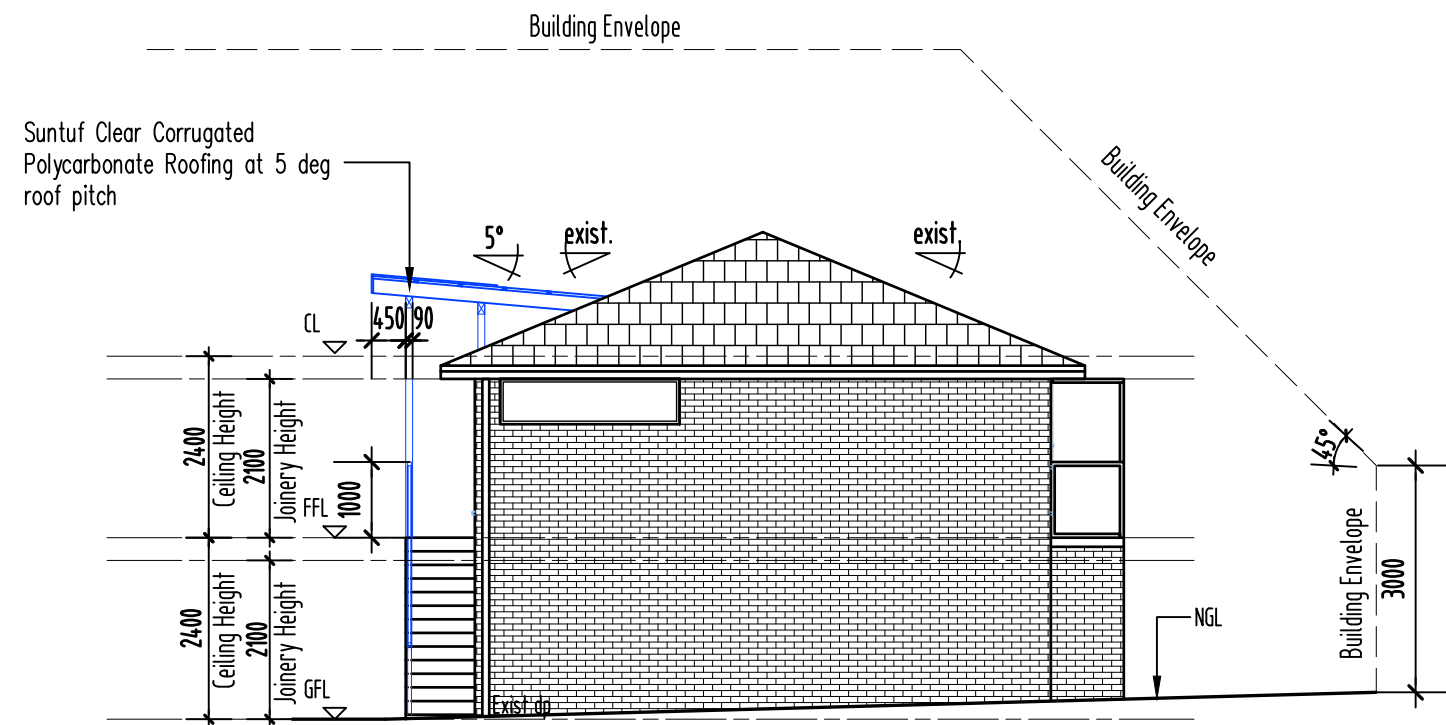
CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025



Proposed Elevation 3
scale 1:100@A3



Proposed Elevation 4
scale 1:100@A3



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notes	revision

stage	description
	sketch design
	design development
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME:
Proposed Porch Roof

CLIENT:
A. Jackson

SITE:
126 Allumba St Howrah TAS 7018

DRAWING TITLE:
Proposed Elevations 3 & 4

REVISION NO. 0

DRAWING NO. 12

SCALE: As noted on A3 paper size

DRAWN BY: NY

CHECKED BY: Nicholas Young

PROJECT NO. 25-029

Plot Date: 15.12.2025