



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058963

PROPOSAL: Alterations & Additions (Single Dwelling)

LOCATION: 1B Crown Street, Bellerive (with access over 3 Crown Street, Bellerive)

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/03/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/03/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/03/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Proposed Alterations & Adittions**

Location:

1B Crown Street,(with access over 3 Crown st. Bellerive)

Personal Information Removed

Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

No

Current use of site:

Residence

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 133987	FOLIO 1
EDITION 4	DATE OF ISSUE 01-May-2013

SEARCH DATE : 29-Jan-2026

SEARCH TIME : 12.20 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Plan [133987](#)

Derivation : Part of 1A-3R-14Ps. Gtd. to J.McMellon

Prior CT [247909/1](#)

SCHEDULE 1

[M412626](#) TRANSFER to ROHAN VINCENT WINDSOR and CLAIRE
ELIZABETH WINDSOR Registered 01-May-2013 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: Right of Carriageway over the Roadway
marked DEFG on Plan No. [133987](#)

BURDENING EASEMENT: Right of Carriageway for William Heather
over the Roadway marked CDGH on Plan No. [133987](#)

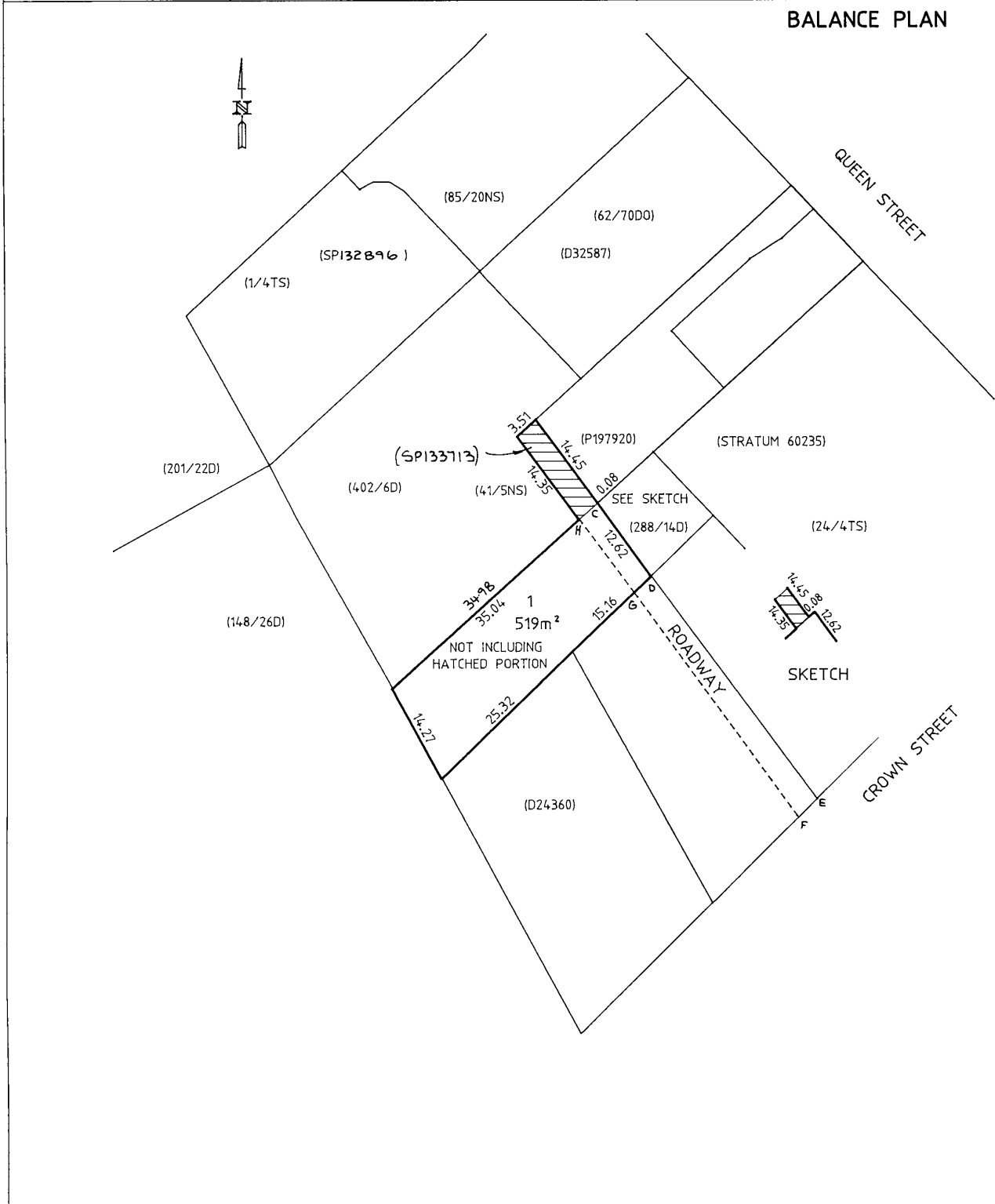
[D85951](#) MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 01-May-2013 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNERS ROBERT LOUIS CHARLES CONWAY & EVELYN FRANCES CONWAY FOLIO REFERENCE C/T 247909/1 GRANTEE PART OF 1A 3R 14P GRANTED TO JOHN McMELLON	PLAN OF TITLE		REGISTERED NUMBER P.133987
	LOCATION CITY OF CLARENCE	FIRST SURVEY PLAN No. 24/4TS COMPILED BY P. Binny SCALE 1: 500 LENGTHS IN METRES	APPROVED ...16 MAY 2000... <i>Alice Kawa</i> Recorder of Titles

MAPSHEET MUNICIPAL CODE No. 107 (5225-43)	LAST UPI No. FZE42	LAST PLAN No. 247909	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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SEARCH OF TORRENS TITLE

VOLUME 231134	FOLIO 1
EDITION 5	DATE OF ISSUE 01-May-2013

SEARCH DATE : 20-Feb-2026

SEARCH TIME : 10.37 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Plan [231134](#)

Derivation : Part of 1A-3R-14Ps. Gtd. to J. McMellon

Prior CT [3128/68](#)

SCHEDULE 1

[M412626](#) TRANSFER to ROHAN VINCENT WINDSOR and CLAIRE
ELIZABETH WINDSOR Registered 01-May-2013 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[D85951](#) MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 01-May-2013 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE - REGISTERED FOR OFFICE

CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

3129 68

Cert. of Title Vol. 747. Fol. 83.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

[Signature]

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF BELLERIVE,
FIVE PERCHES AND FOUR TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (Continued overleaf)

CHARLES WILLIAM GLATTE of Bellerive, Gentleman and

DORIS JEAN GLATTE his Wife

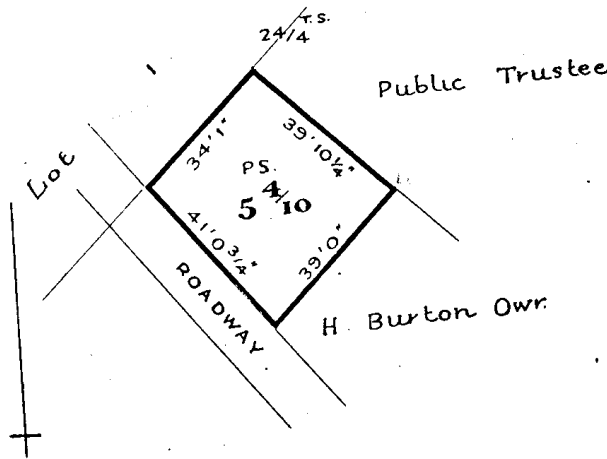
SECOND SCHEDULE (Continued overleaf)
NIL.

RECORDER OF TITLES ARE NO LONGER SUBSISTING.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

REGISTERED NUMBER

231134



Part of 1A-3R-14Ps. Gtd. to J. McMellon Meas. in Ft. & Ins. 288/14D.

FIRST Edition. Registered
Derived from C.T. Vol. 747. Fol. 83. Transfer A22584 The Public Trustee

SEARCH OF TORRENS TITLE

VOLUME 247724	FOLIO 1
EDITION 5	DATE OF ISSUE 26-Apr-2001

SEARCH DATE : 20-Feb-2026

SEARCH TIME : 10.28 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Plan 247724

Derivation : Part of 1A-3R-14Ps. Gtd. to J. McMellon

Prior CT 2705/76

SCHEDULE 1

C288145 TRANSFER to SHARON ALANA O'BEIRNE Registered
26-Apr-2001 at 12.02 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BURDENING EASEMENT rights of carriage way for William Heather,
The War Service Homes Commissioner, Horace Thomas
Whayman, Susannah Boylan Glock and Edward James Glock
and the registered proprietor for the time being of
the land firstly described in certificate of Title
Volume 464 Folio 158 over the land marked "Roadway"
passing through Lots 5 & 6 on Diagram No. 92982

C288146 MORTGAGE to Commonwealth Bank of Australia
Registered 26-Apr-2001 at 12.03 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended
NOTE-- REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book
Vol. Fol.
2705 76

Cert. of Title Vol. 505 Fol. 35.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF BELLERIVE
TWENTY SIX PERCHES AND EIGHT TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

ROBERT McKEAG of Bellerive, Manufacturers' Agent.

SECOND SCHEDULE (continued overleaf)

SUBJECT TO rights of carriage way for William Heather, The War Service Homes Commissioner, Horace Thomas Whayman, Susannah Boylan Glock and Edward James Glock and the registered proprietor for the time being of the land firstly described in Certificate of Title Volume 464 Folio 158 over the land marked "Roadway" hereon

NO. A36391..MORTGAGE to The Hobart Savings Bank. Produced 9th November, 1954 at 3.5 p.m. (Sgd.) T.E.HUTCHINSON, (L.S.) Deputy Recorder of Titles.
NO. A169996 MORTGAGE to Commonwealth Trading Bank of Australia. Registered 25th September, 1962 at Noon. (Sgd.) A. IMLACH, Recorder of Titles

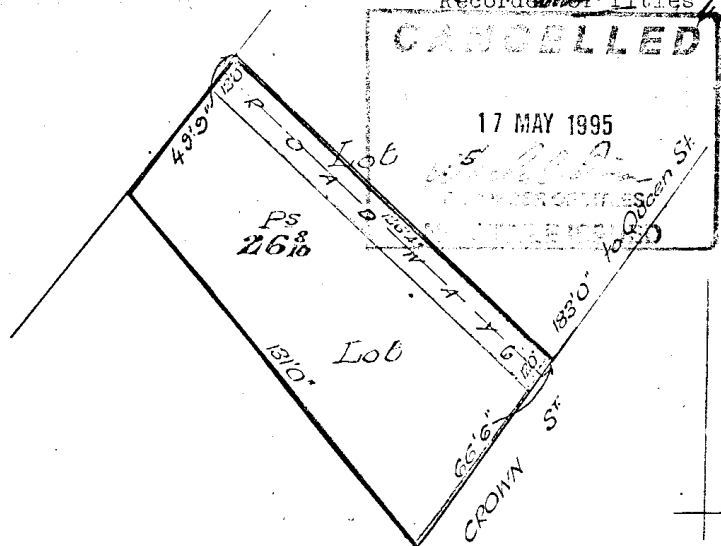
DISCHARGED A385304

DISCHARGED A474771 13.9.1975

Records

CANCELLED

17 MAY 1995



Part of 1ac.3rds.14ps. Gtd. to J.McMellon Meas. in Ft. & Ins. 24 1/4 T.S.
FIRST Edition. Registered 26 JUN 1870
Derived from C.T.Vol.505 Fol.35. Transfer A36390- R.P.Menton.
" A152586-M.F.McKeag

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER
247724

PROPERTY ID: 1971810
MUNICIPALITY: CLARENCE

PROPERTY ADDRESS: 1B CROWN STREET
 BELLERIVE TAS 7018

PROPERTY NAME:

TITLE OWNER: 231134/1 : ROHAN VINCENT WINDSOR, CLAIRE ELIZABETH WINDSOR
 133987/1 : ROHAN VINCENT WINDSOR, CLAIRE ELIZABETH WINDSOR

INTERESTED PARTIES: CLAIRE ELIZABETH WINDSOR, ROHAN VINCENT WINDSOR

POSTAL ADDRESS: 1B CROWN ST
(Interested Parties) BELLERIVE TAS 7018

MAIN IMPROVEMENTS SUMMARY

Improvements: DWELLING
Improvement Sizes (Top 3 by Size): Improvement: Area:
 DWELLING 158.0 square metres
 DECK 29.0 square metres
 VERANDAH 13.0 square metres

Number of Bedrooms: 3
Construction Year of Main Building: 1910
Roof Material: Colorbond
Wall Material: Weatherboard
Land Area: 0.0519 hectares

LAST SALES

Contract Date	Settlement Date	Sale Price
19/02/2013	23/04/2013	\$425,000
13/03/2003	13/03/2003	\$49,000

LAST VALUATIONS

Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
08/09/2021	01/07/2018	\$325,000	\$590,000	\$23,600	BPA-2018/614 ALTERATIONS & ADDITIONS, VALUES AMENDED
15/03/2019	01/07/2018	\$325,000	\$480,000	\$19,200	FRESH VALUATION

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.

LAND TITLES OFFICE www.dpiw.tas.gov.au

contact ldrbsearch@dpiw.tas.gov.au Ph 6233 3585

LTO COVER PAGE
FOR
SURVEY INFORMATION ONLY SURVEY NOTES
DEPOSITED FOR PUBLIC RECORD PER LTO CIRCULAR 1 OF 2007

Surveyor to complete this Section where shown thus * :

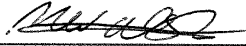
The attached survey notes deposit is for public record, and not for titling purposes directly. Would you please file with the MAIN LTO PLAN No. shown below.

*** NAME OF REGISTERED SURVEYOR:** Michael Robert Walsh

*** SURVEY FIRM:** Peter Binny Surveys

*** MAIN LTO PLAN:** *(enter the Volume No. of the main title affected):* *leave blank if unsure*
P 133987

*** No. OF PAGES DEPOSITED** - (including this sheet):
3

*** Signed by:** , **14.09.2022**
(Registered Land Surveyor) *(Date)*

SEE ATTACHED SURVEY NOTES FOR SURVEY PURPOSE


*** OPTIONAL SURVEY PURPOSE CONTINUATION - (*NB: NOT FOR SURVEYOR REPORTING*):-**

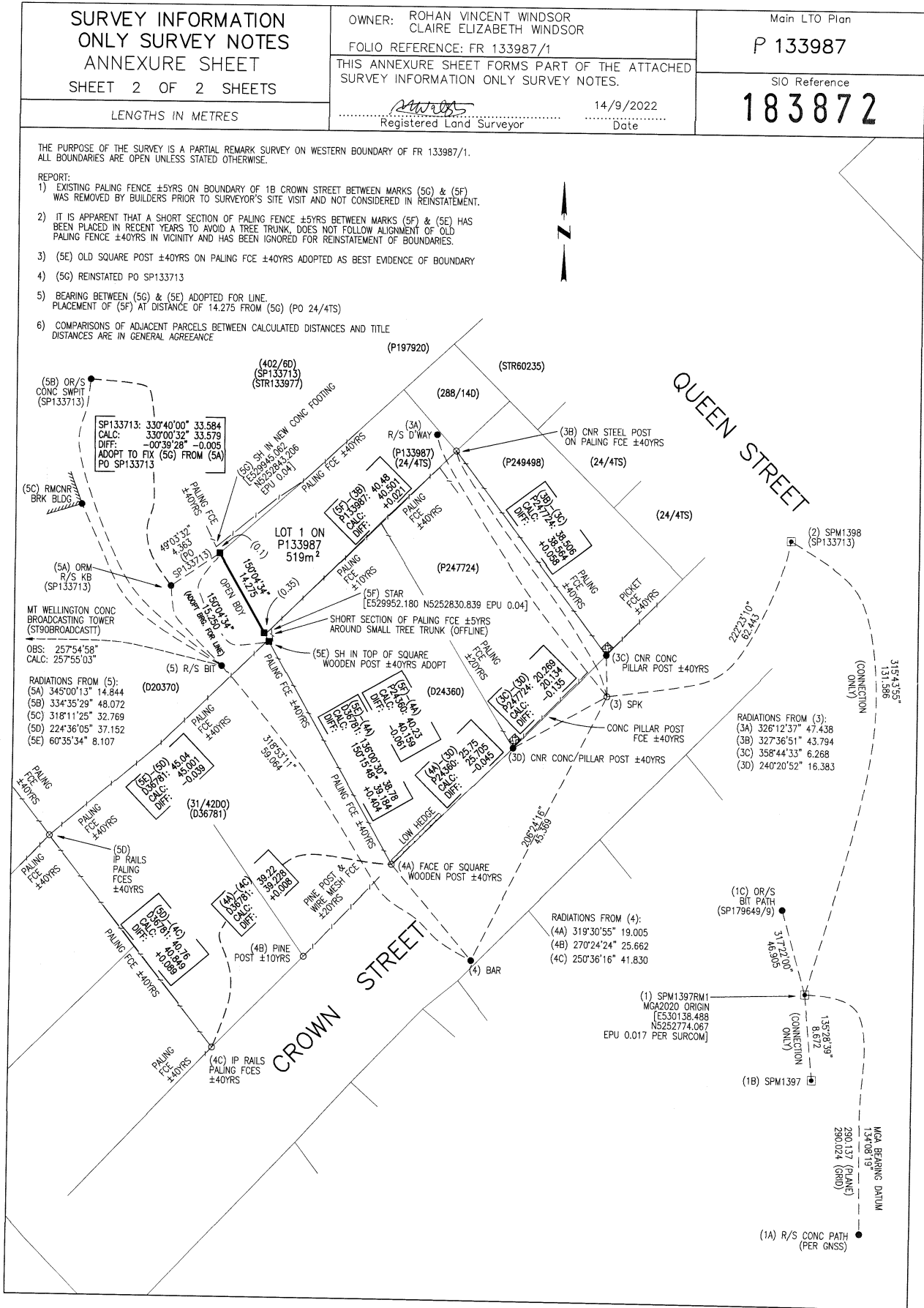
SIO REFERENCE (ALLOCATED BY LTO) : 183872

WARNING: ALWAYS SEARCH THE CURRENT CADASTRE.

Address: Level 1, 134 Macquarie Street, Hobart

Postal Address: PO Box 541, Hobart, 7001

<p>SURVEY INFORMATION ONLY SURVEY NOTES DEPOSITED FOR PUBLIC RECORD (SEE LTO CIRCULAR 1 OF 2007)</p> <p>SHEET 1 OF 2 SHEETS</p> <p>Owner: ROHAN VINCENT WINDSOR CLAIRE ELIZABETH WINDSOR</p> <p>Folio Reference: FR 133987/1</p>	<p>Main LTO Plan P 133987</p> <hr/> <p>SIO Reference 183872</p>	<p style="text-align: center;">SURVEY CERTIFICATE</p> <p>I, Michael Robert Walsh of Otago in Tasmania a Registered Land Surveyor HEREBY CERTIFY that:</p> <p>(a) this survey is based upon the best evidence that the nature of the case admits. (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.</p> <p style="text-align: right;">  Signature Date 14/9/2022 </p>			
<p>Purpose of Survey: PARTIAL REMARK SURVEY</p>		<p>LENGTHS IN METRES</p>			
Survey Commenced: 05/09/2022	Survey Completed: 06/09/2022	Surveyors Ref: 22077			
Horizontal Datum: GDA2020	Bearing Datum: MGA2020	Combined Scale Factor: 0.999609			
MGA2020 COORDINATE ORIGIN					
SURCOM	Mark ID: SPM1397RM1	E530138.488	N5252774.067	EPU 0.017	
AUSPOS	Local coordinated mark:	E	N	EPU	Measurement Duration:
NRTK	Local coordinated mark:	E	N	EPU	CORS provider:
Single base station CORS CORS provider:	Local comparison information SURCOM Check Mark ID:	SURCOM: E		N	EPU
		Measured: E		N	EPU
		Δ E		Δ N	
	Local coordinated mark:	E	N	EPU	
<p>MGA2020 BEARING ORIGIN [If bearing origin is determined from SURCOM marks or GNSS observations, state the line adopted (station identifiers and bearing between) and ground distance comparison (where appropriate)].</p> <p>134°08'19" SPM1397RM1 [SURCOM COORDINATE] TO (1A) RAMSET NAIL IN CONCRETE PATH [GNSS COORDINATE]</p>					
<p>BOUNDARY REINSTATEMENT REPORT</p> <p>(Where not documented in the body of these survey notes, describe all evidence, (including statements by interested parties), comparisons and other information relevant to the reinstatement of boundaries)</p> <p>Instrumentation used: - Trimble R12 GNSS Rover and base - Trimble S6 3" Total Station</p> <p>Survey method: - Total station traverse with exception of GNSS to record station (1A) and establish MGA bearing datum</p> <p>PSF 0.999611 HSF 0.999998 CSF 0.999609</p>					



DRAWING LIST

SO1	COVER SHEET
SO2	SITE PLAN
SO3	EXISTING CONDITIONS
SO4	FLOOR PLANS
SO5	ELEVATIONS (EXISTING NOT COLOURED)
SO6	ELEVATIONS (EXISTING / NEW COLOURED)
SO7	BUILDING ENVELOPE
SO8	SHADOW DIAGRAMS
SO9	ESD (ENVIRONMENTALLY SUSTAINABLE DESIGN)

KEY PROPOSAL STATISTICS PROJECT DATA

TITLE	VOLUME	FOLIO
	CT: 133987 / 1	3
LOCATION	1B CROWN STREET, BELLERIVE LOT 1	
AREAS: SITE	519M2	
GROUND FLOOR (EXIST)	107.42M2	
FIRST FLOOR (EXIST)	50.28M2	
VERANDAH (EXIST)	12.9M2	
DECK (EXIST)	28.77M2	
TOTAL FLOOR AREA EX. BUILDING ONLY	157.7M2	
GROUND FLOOR ADDITION	28.5M2	
FIRST FLOOR ADDITION	15.55M2	
PROPOSED NEW DECK	26.55M2	
TOTAL FLOOR AREA	201.75M2 (21.7 SQ)	
FOOT PRINT	227.9M2(44% RATIO)	
=HIGHEST POINT OF BUILDING ABOVE NGL 6,555M ABOVE NGL.		

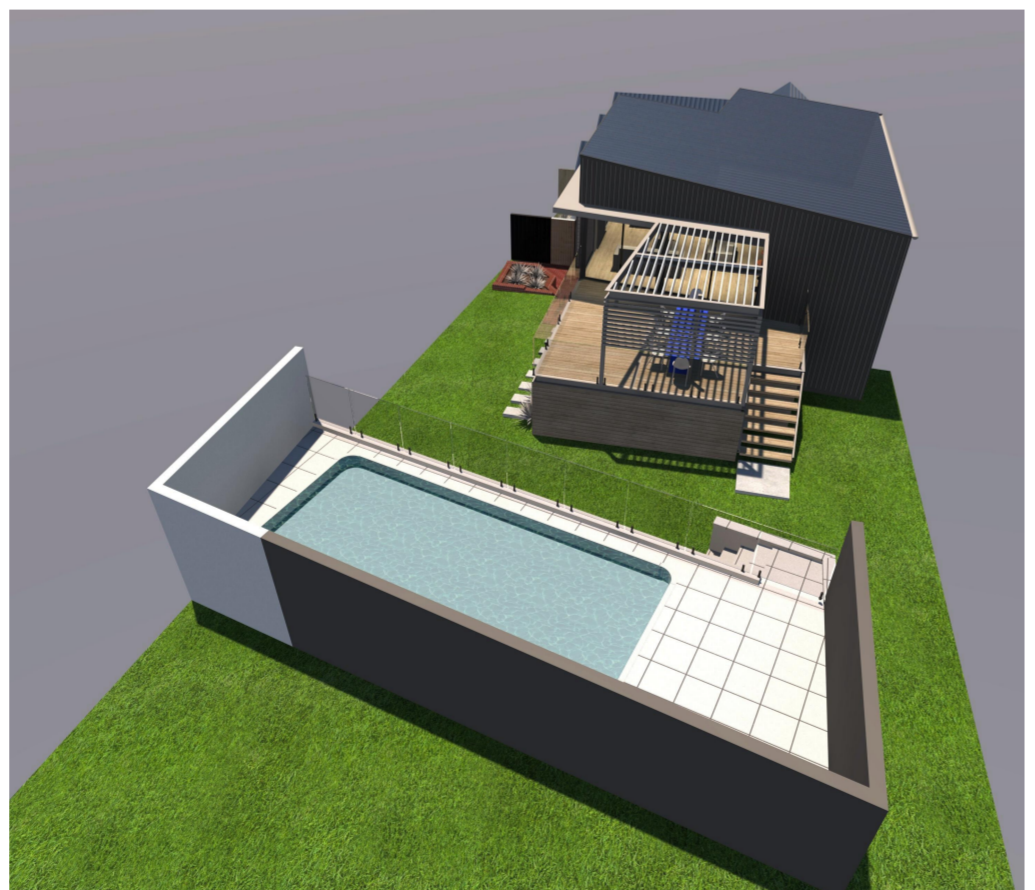
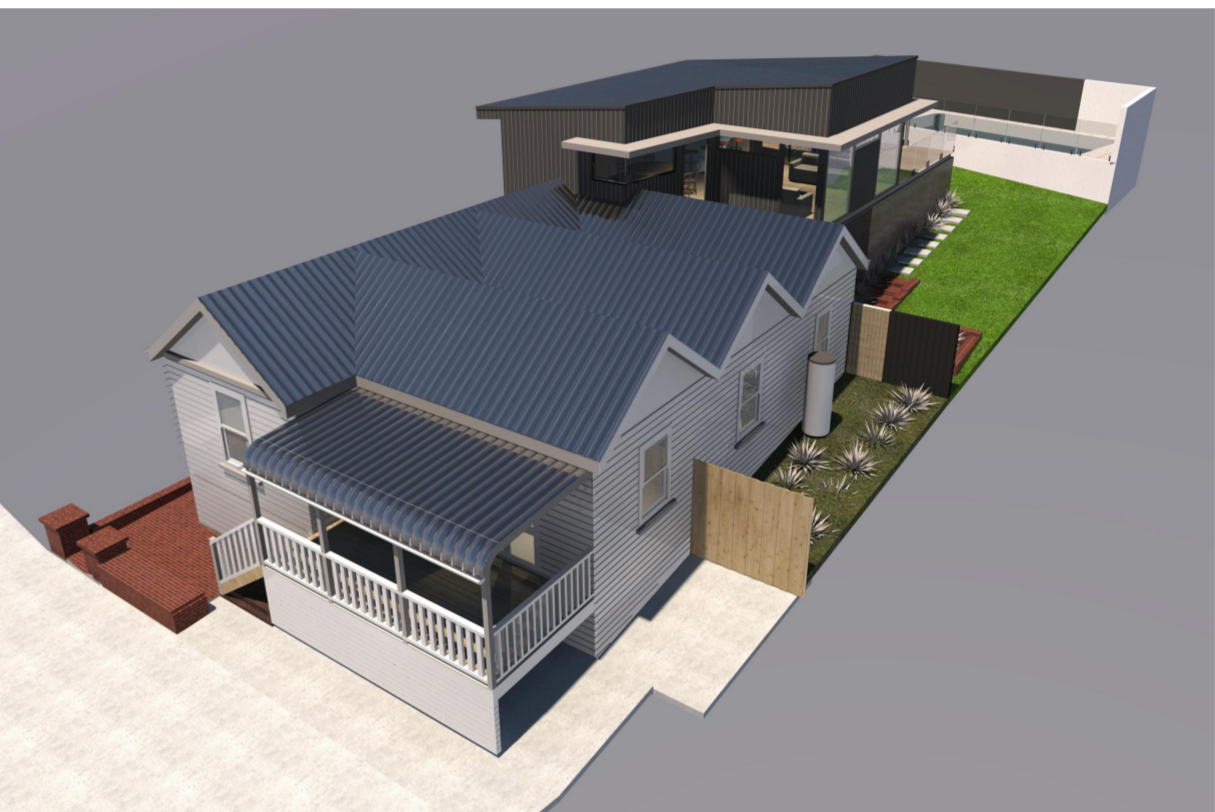
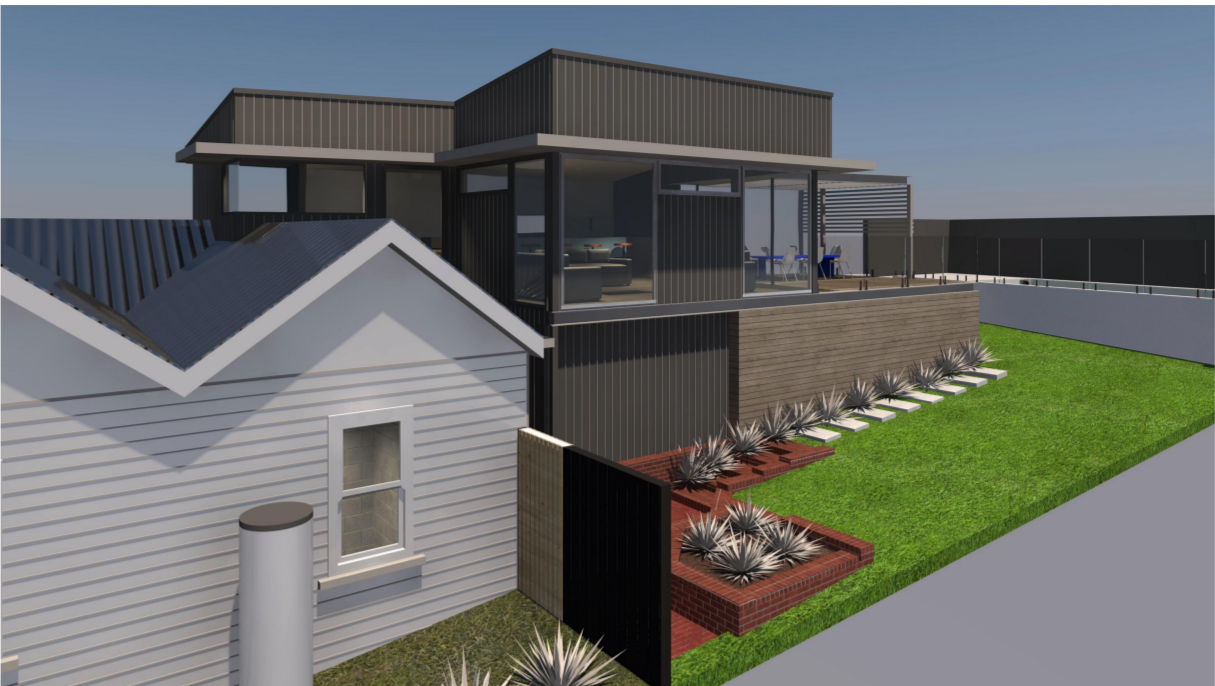
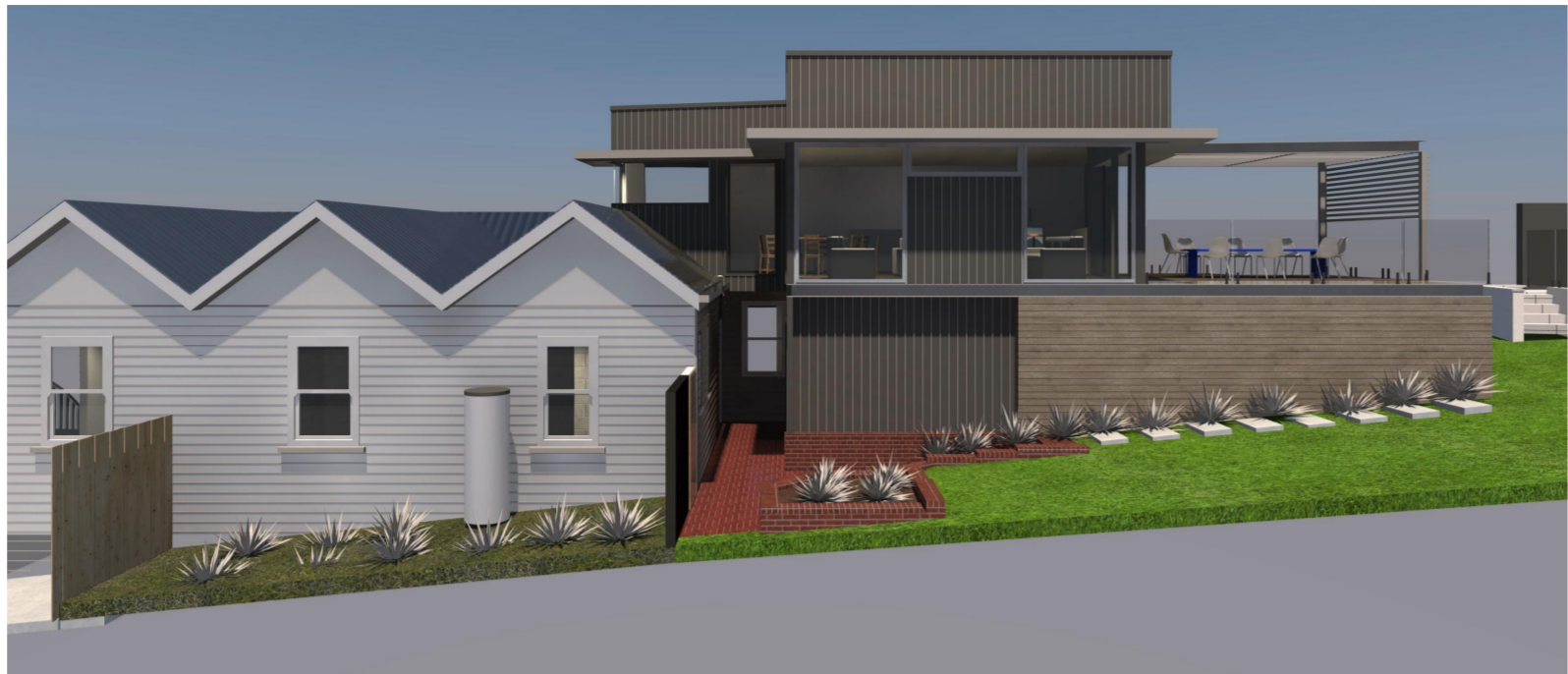
FINISHES

ROOF	- TO MATCH EXISTING
WINDOWS	- TO MATCH EXISTING
WALLS	- TO MATCH EXISTING
TRIM / SOFFIT	- TO MATCH EXISTING

AMENDMENT SCHEDULE

DATE	REV. N°	DETAIL
17/2/26	O1	<ul style="list-style-type: none"> NOTE: RW WALL HEIGHT SO2 21 JUNE WINTER SOLSTICE SO8

NOTES:
 THE INFORMATION CONTAINED IN THIS DOCUMENT IS COPYRIGHT AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PROJECT OR PURPOSE. VERIFY ALL DIMENSIONS AND LEVELS ON SITE AND REPORT ANY DISCREPANCIES TO MAP ARCHITECTS FOR DIRECTION PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. USE FIGURED DIMENSIONS ONLY. **DO NOT SCALE FROM DRAWINGS**
 THE COMPLETION OF THE ISSUE DETAILS CHECKED AND AUTHORISED SECTION BELOW IS CONFORMATION OF THE STATUS OF THE DRAWING. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED 'FOR CONSTRUCTION' AND ISSUED.
 MAP ARCHITECTS CANNOT GUARANTEE THE ACCURACY OF THE CONTENT AND FORMAT FOR COPIES OF DRAWINGS ISSUED ELECTRONICALLY. **IF IN DOUBT ASK**
 THE COMPLETION OF THE ISSUE DETAILS CHECKED AND AUTHORISED SECTION BELOW IS CONFORMATION OF THE STATUS OF THE DRAWING. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED 'FOR CONSTRUCTION' AND ISSUED.
 ELEVATIONS - THESE GIVE INFORMATION OF EXTERNAL FINISHES, WINDOWS, AND SO ON ALTHOUGH MOST DETAILED INFORMATION WILL BE IN THE PLANS AND SECTIONS, THE ELEVATIONS TEND TO BE MORE OF A VISUAL AID.



RENDERS SHOWING THE EXISTING BUILDING PLUS PROPOSED ALTERATIONS AND ADDITIONS

Client:
 Rohan & Claire Windsor

Site Address:
 1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:
 LJ

GENERAL NOTES:
CHECK ALL DIMENSIONS AND MEASUREMENTS ON SITE PRIOR TO FABRICATION AND OR CONSTRUCTION. DIMENSIONS ARE IN MILLIMETERS "FRAME TO FRAME" AND DO NOT ALLOW FOR INTERIOR LININGS.
DO NOT SCALE DRAWINGS. **IF IN DOUBT ASK.**
ALL WORK IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA) AS AMENDED, RELEVANT AUSTRALIAN STANDARDS (AS) CODES AND GOOD BUILDING PRACTICES. DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULES.

ISSUE	DESCRIPTION	DATE

File Number:
 JENARC/02/05/25

Title:
 Specifications & detailing for certification & permit issue of residential construction

Sheet Original:
 A - 2

Scale:
 As Shown



Registered Architects
Leon Jenkins
 34 Silwood Avenue
 Howrah Tas 7018
 Mobile 0419 894 623
 Email: maparch@netspace.net.au

TCC No: 1003
 QCC No: 4833
 ARBV N°: 20048

Drawing Number:
 SO1

DA SUBMISSION

Client:

Rohan & Claire Windsor

Site Address:

1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:

LJ

GENERAL NOTES:

CHECK ALL DIMENSIONS AND MEASUREMENTS ON SITE PRIOR TO FABRICATION AND OR CONSTRUCTION. DIMENSIONS ARE IN MILLIMETERS "FRAME TO FRAME" AND DO NOT ALLOW FOR INTERIOR LININGS.

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Sheet Original:

A - 2

Scale:

As Shown



Registered Architects

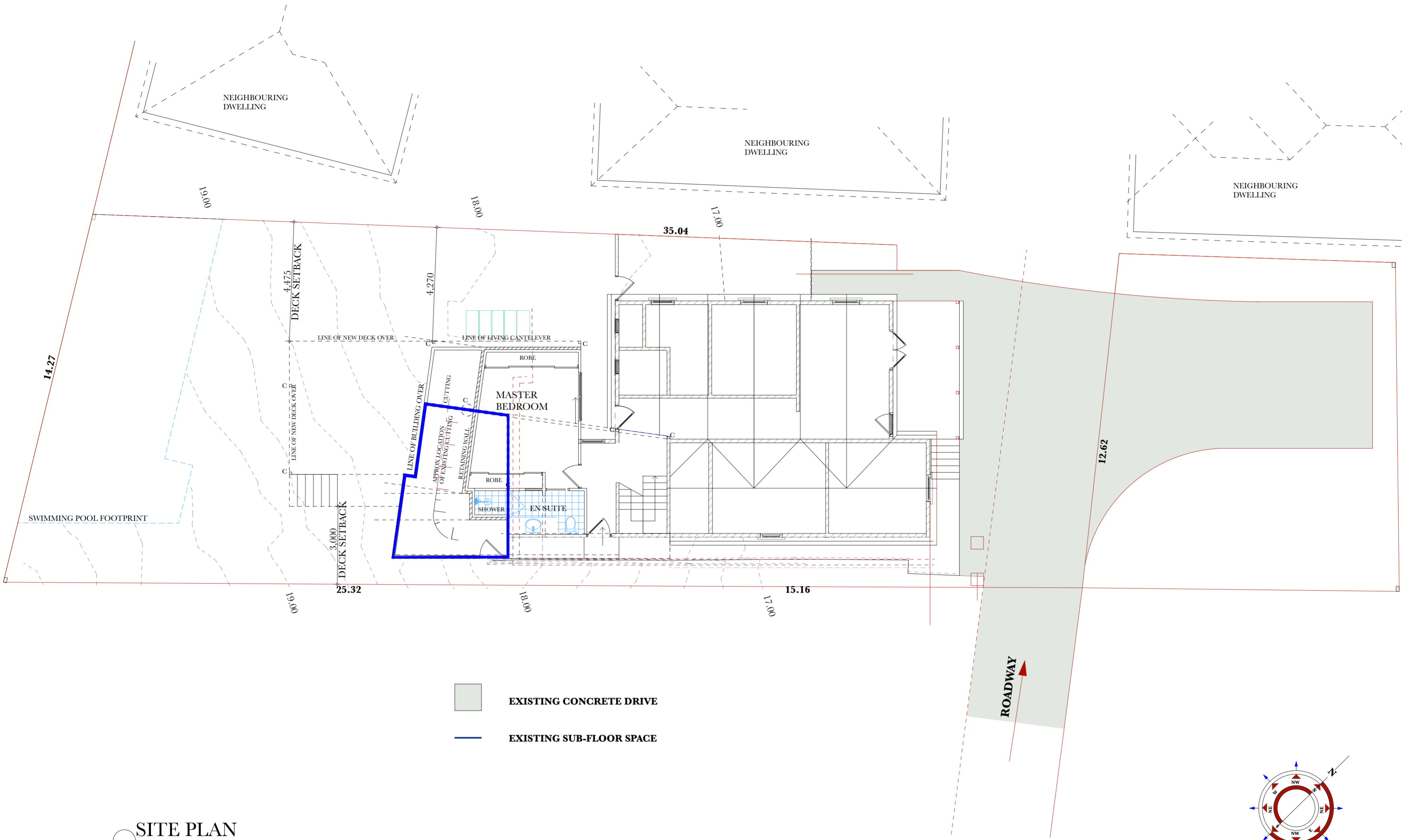
Leon Jenkins

34 Silwood Avenue Howrah Tas 7018 Mobile 0419 894 623 Email: maparch@netspace.net.au

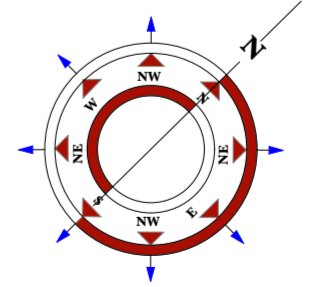
TCC No: 1003 QCC No: 4833 ARBV N: 20048

Drawing Number:

SO2



- EXISTING CONCRETE DRIVE
- EXISTING SUB-FLOOR SPACE



DA SUBMISSION

SITE PLAN SCALE 1:100

PROJECT CONSULTANTS:

Engineer:

Surveyor:

Client:

Rohan & Claire Windsor

Site Address:

1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:

LJ

GENERAL NOTES:

CHECK ALL DIMENSIONS AND MEASUREMENTS ON SITE PRIOR TO FABRICATION AND OR CONSTRUCTION. DIMENSIONS ARE IN MILLIMETERS "FRAME TO FRAME" AND DO NOT ALLOW FOR INTERIOR LININGS.

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Specifications & detailing for certification & permit issue of residential construction

Sheet Original:

A - 2

Scale:

As Shown



Registered Architects

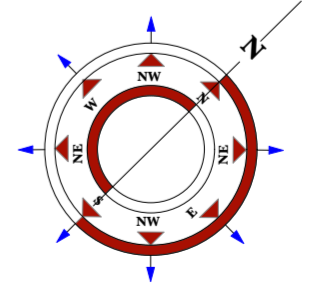
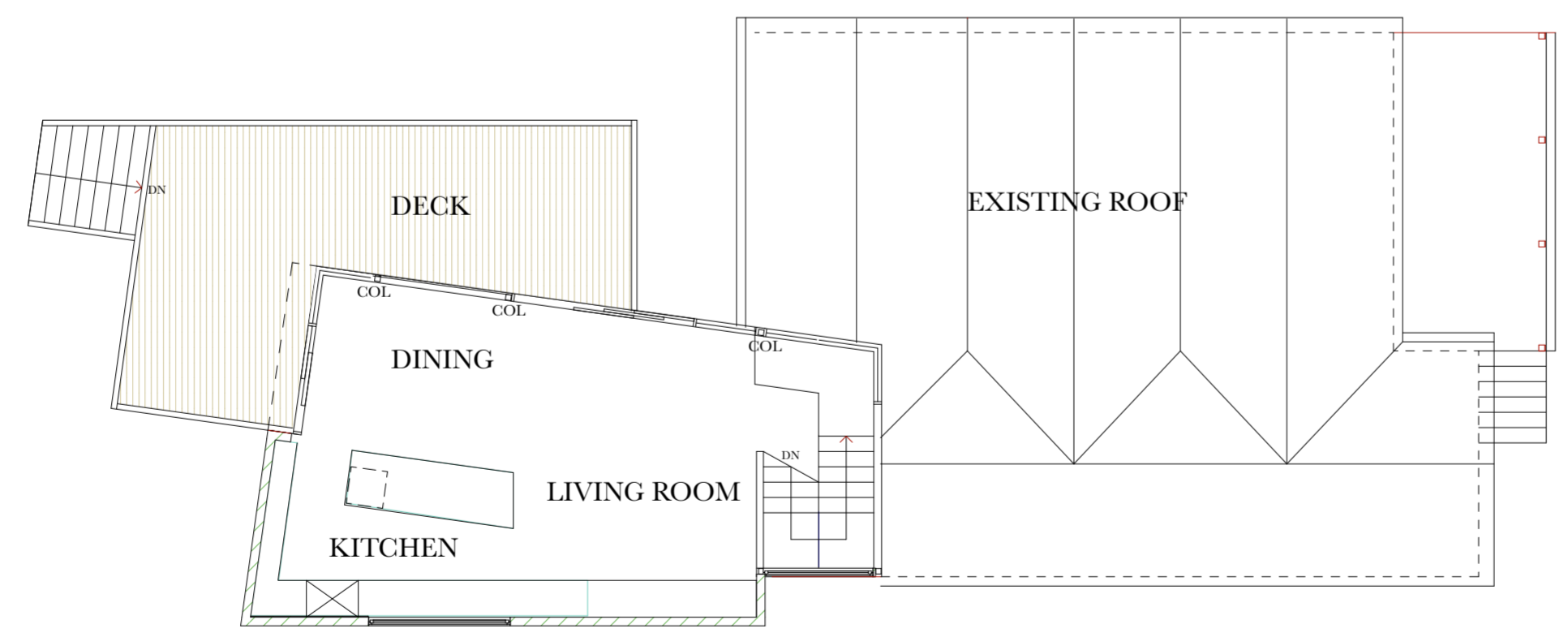
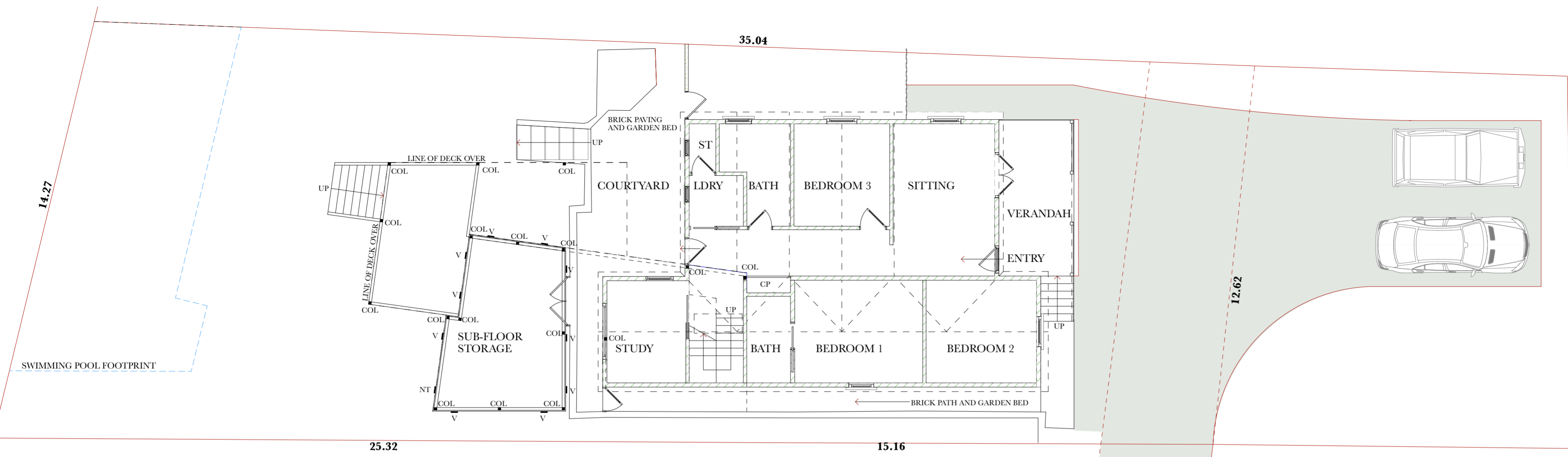
Leon Jenkins

34 Silwood Avenue Howrah Tas 7018 Mobile 0419 894 623 Email: maparch@netspace.net.au

TCC No: 1003 QCC No: 4833 ARBV N: 20048

Drawing Number:

SO3



DA SUBMISSION

PROJECT CONSULTANTS:

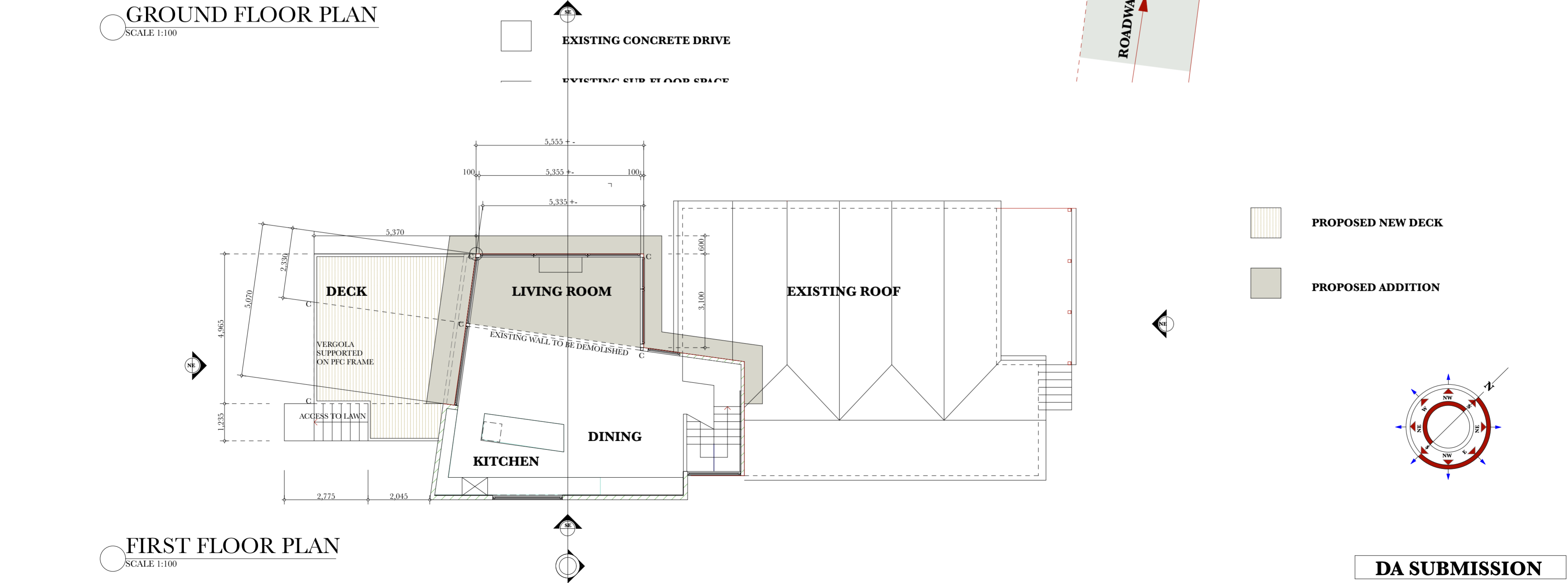
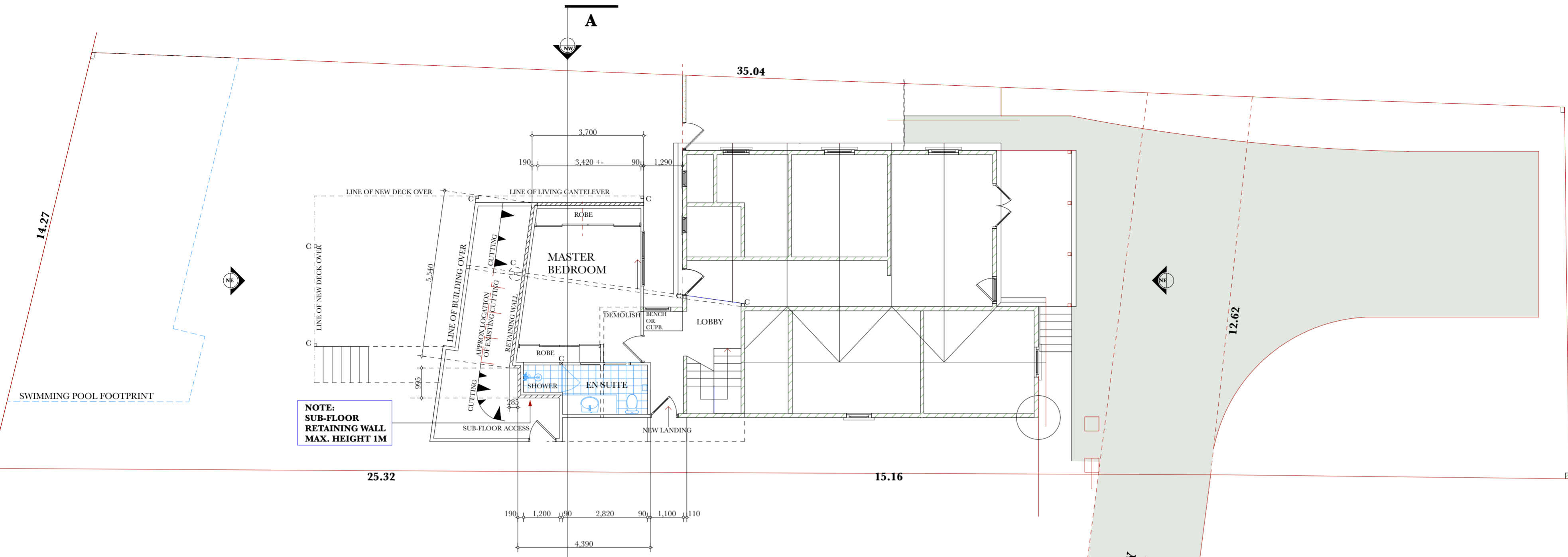
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Surveyor:

PLOT DATE: FEBRUARY 5, 2026



Client:
Rohan & Claire Windsor

Site Address:
1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:
LJ

GENERAL NOTES:

CHECK ALL DIMENSIONS AND MEASUREMENTS ON SITE PRIOR TO FABRICATION AND OR CONSTRUCTION. DIMENSIONS ARE IN MILLIMETERS "FRAME TO FRAME" AND DO NOT ALLOW FOR INTERIOR LININGS.

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ISSUE	DESCRIPTION	DATE
CCC	RW HEIGHT	17/2/26

File Number:
JENARC/02/05/25

Title:
Specifications & detailing for certification & permit issue of residential construction

Sheet Original:
A - 2

Scale:
As Shown

map
modern architecture practice

Registered Architects
Leon Jenkins
34 Silwood Avenue
Howrah Tas 7018
Mobile 0419 894 623
Email: maparch@netspace.net.au

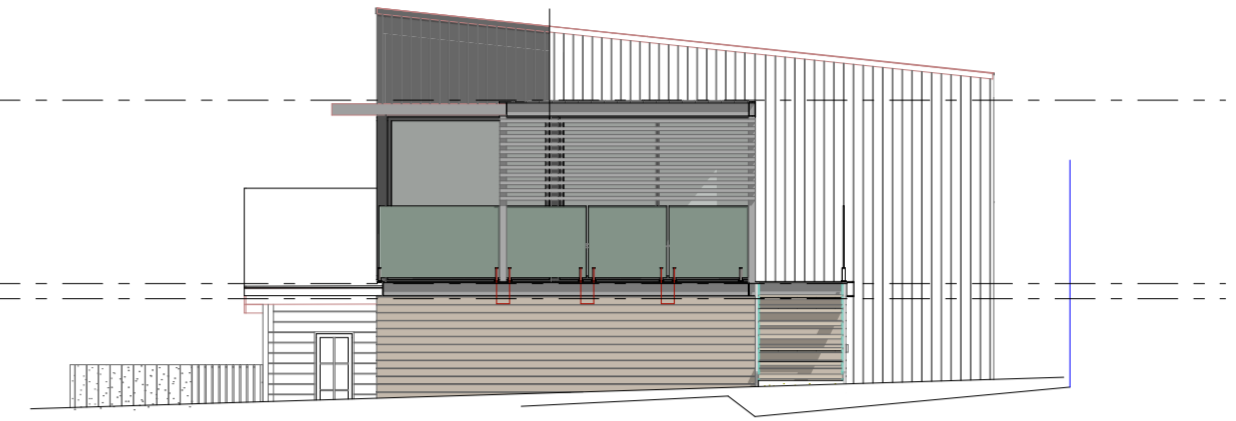
TCC No: 1003
QCC No: 4833
ARBV N: 20048

Drawing Number:
SO4

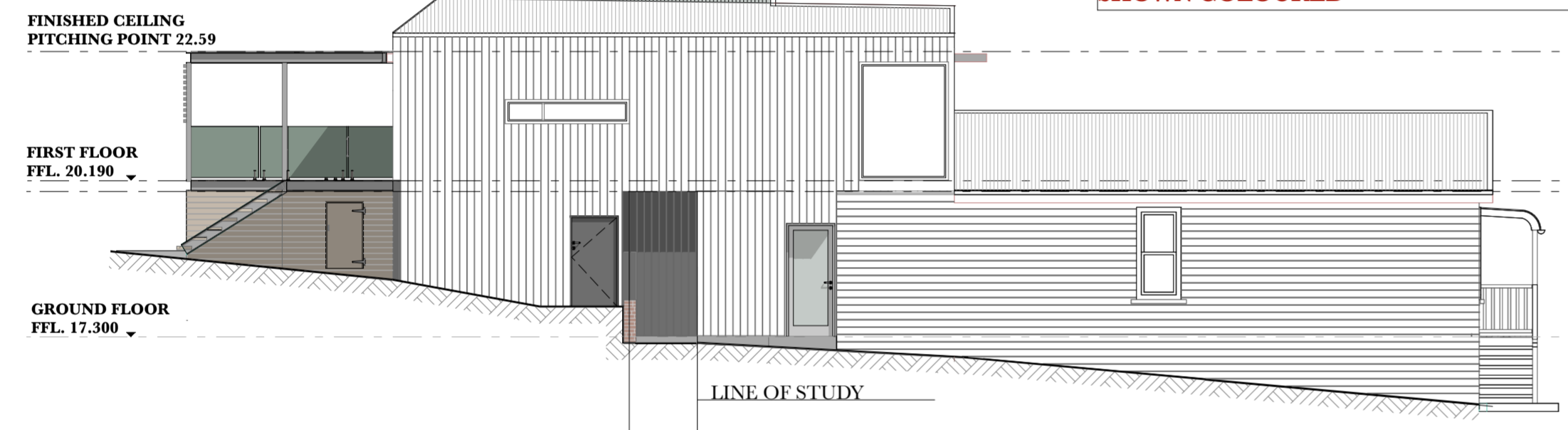
DA SUBMISSION



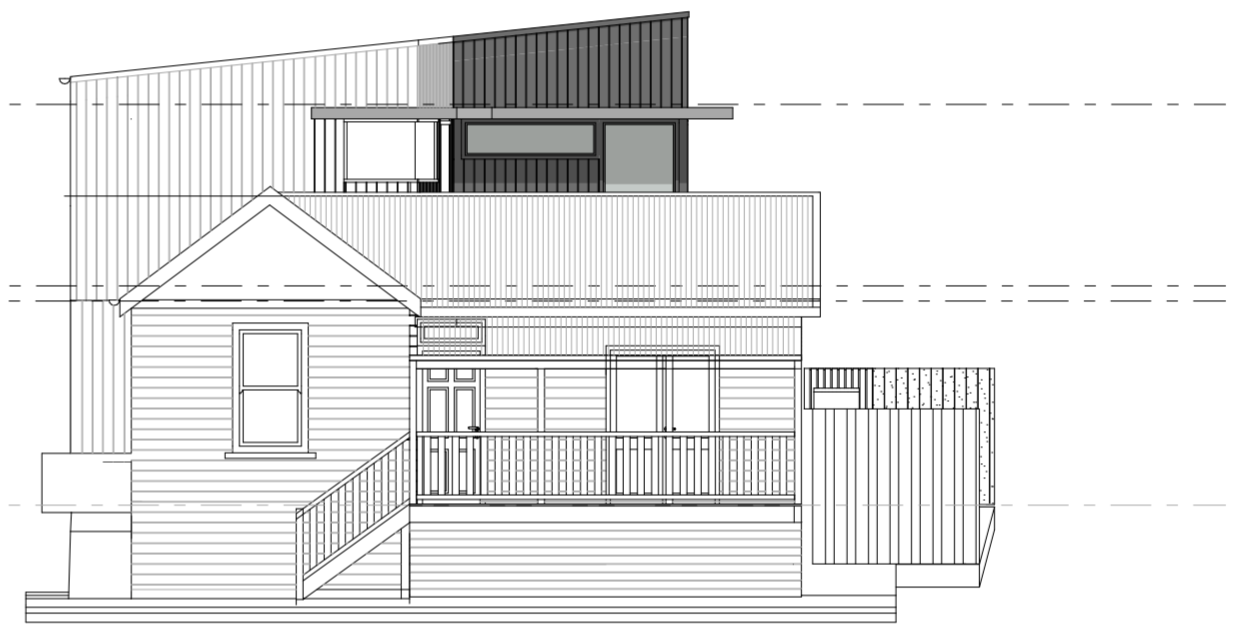
NORTH WEST ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

NOTE:
PROPOSED ADDITIONS/ ALTERATIONS
SHOWN COLOURED



NORTH EAST ELEVATION (INTERNAL)
SCALE 1:100

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Client:

Rohan & Claire Windsor

Site Address:

1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:

LJ

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TCC No: 1003
QCC No: 4833
ARBV N°: 20048

Drawing Number:

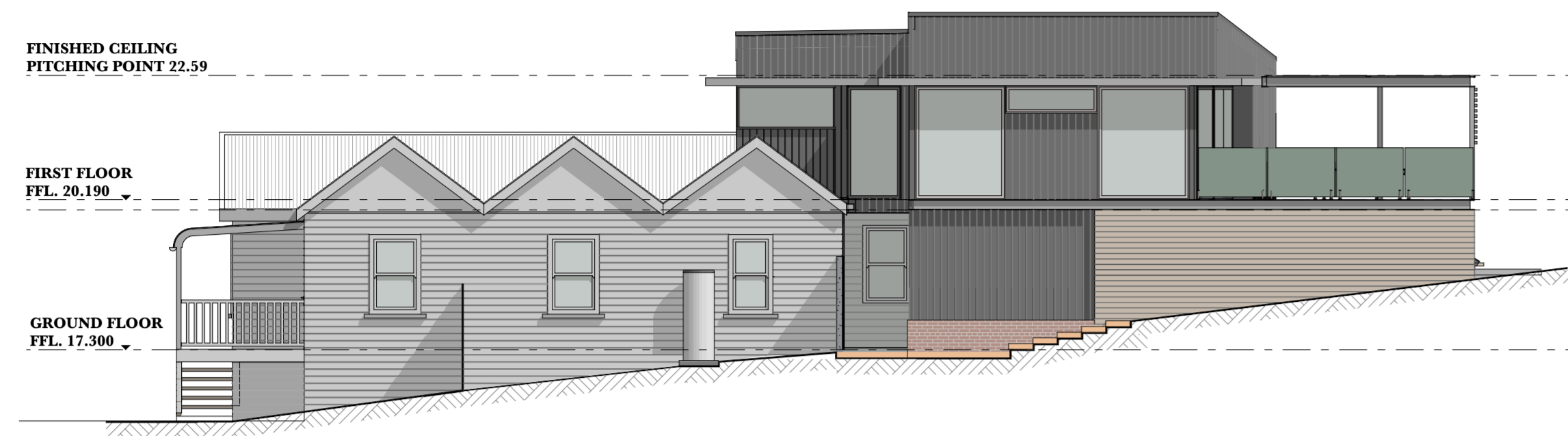
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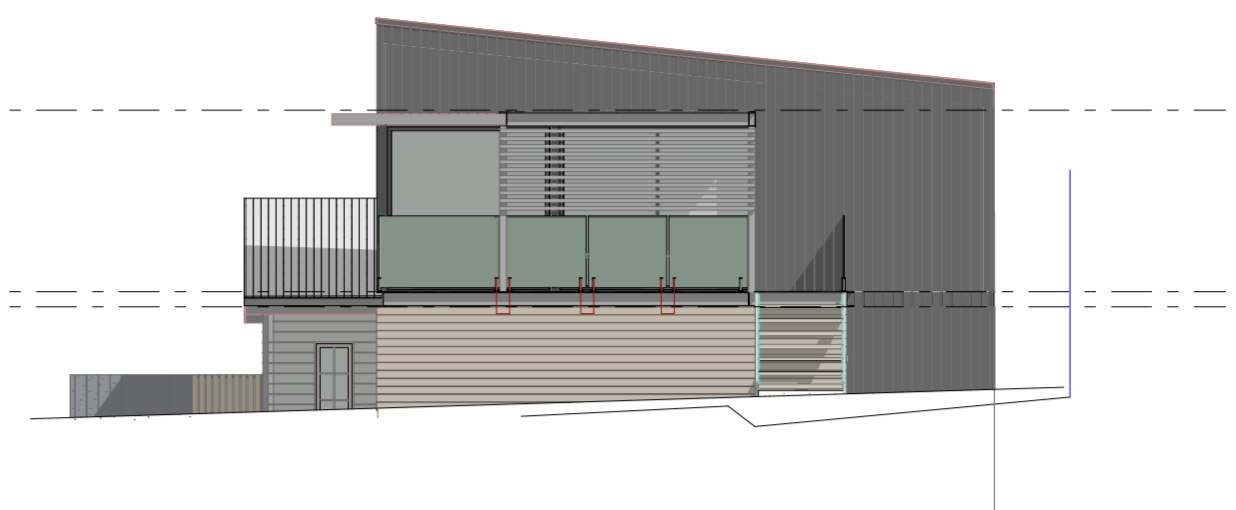
PROJECT CONSULTANTS:

Engineer:

Surveyor:



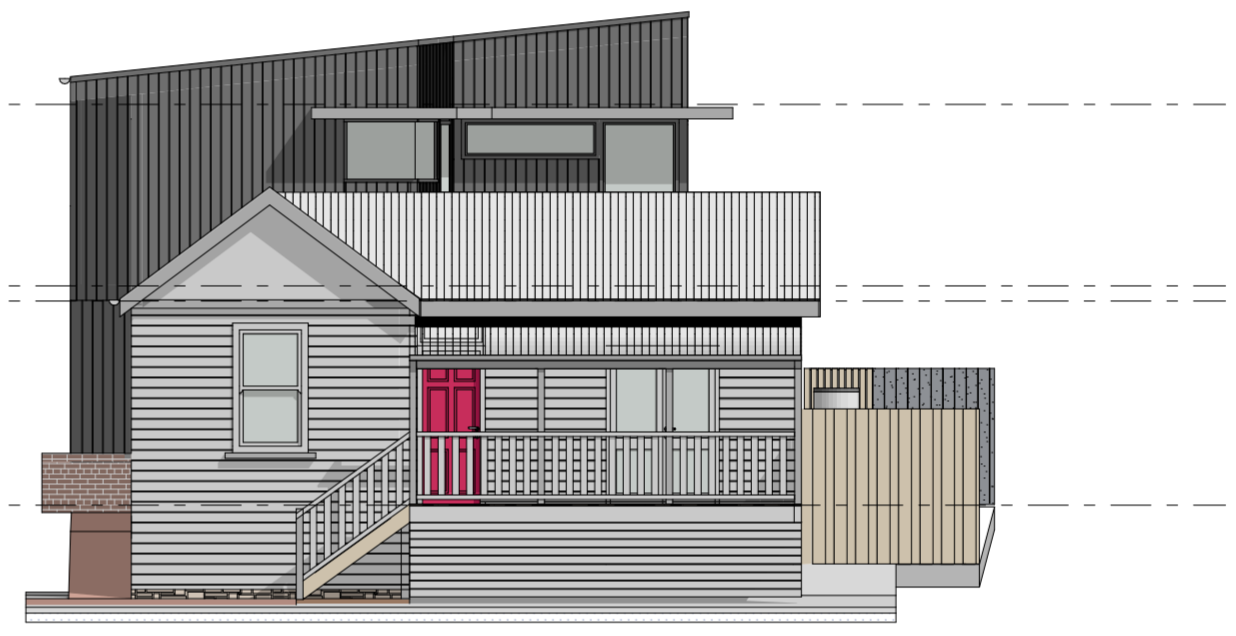
NORTH WEST ELEVATION



SOUTH WEST ELEVATION

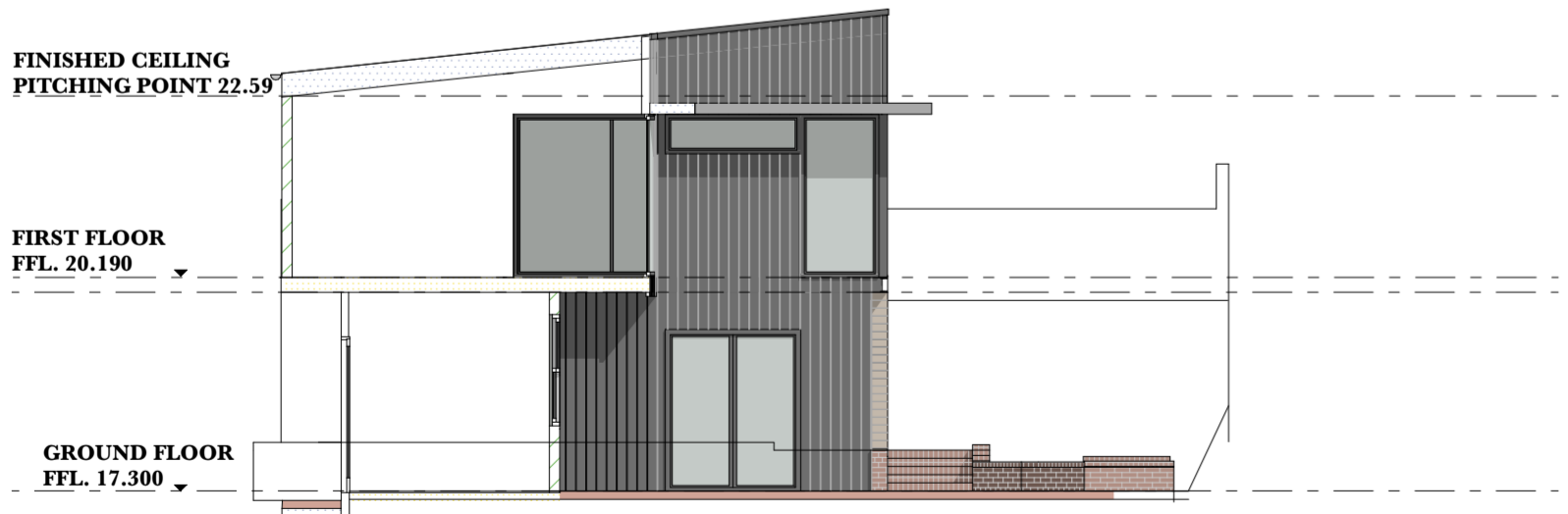


SOUTH EAST ELEVATION



NORTH EAST ELEVATION

NOTE:
PROPOSED AND EXISTING BUILDING
SHOWN COLOURED



NORTH EAST ELEVATION (INTERNAL)

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Site Address:

1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by:

LJ

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 ARBV N°: 20048

Drawing Number:

SO6

DA SUBMISSION

PROJECT CONSULTANTS:

Engineer:

Surveyor:

Client:

Rohan & Claire Windsor

Site Address:

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Drawn by:

LJ

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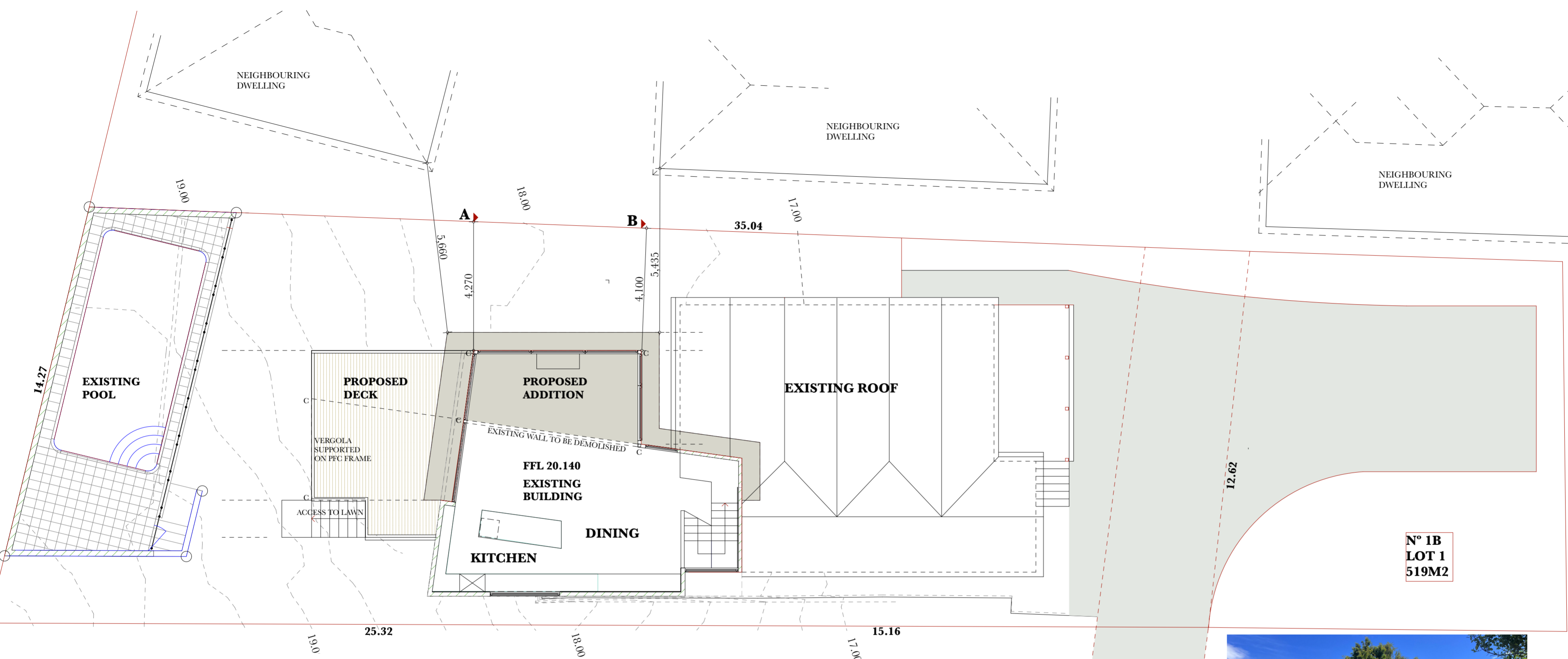
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Drawing Number:

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N° 1B LOT 1 519M2

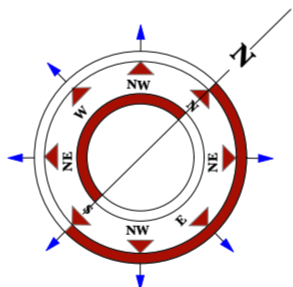


EXISTING TREES ON BOUNDARY @ A/B

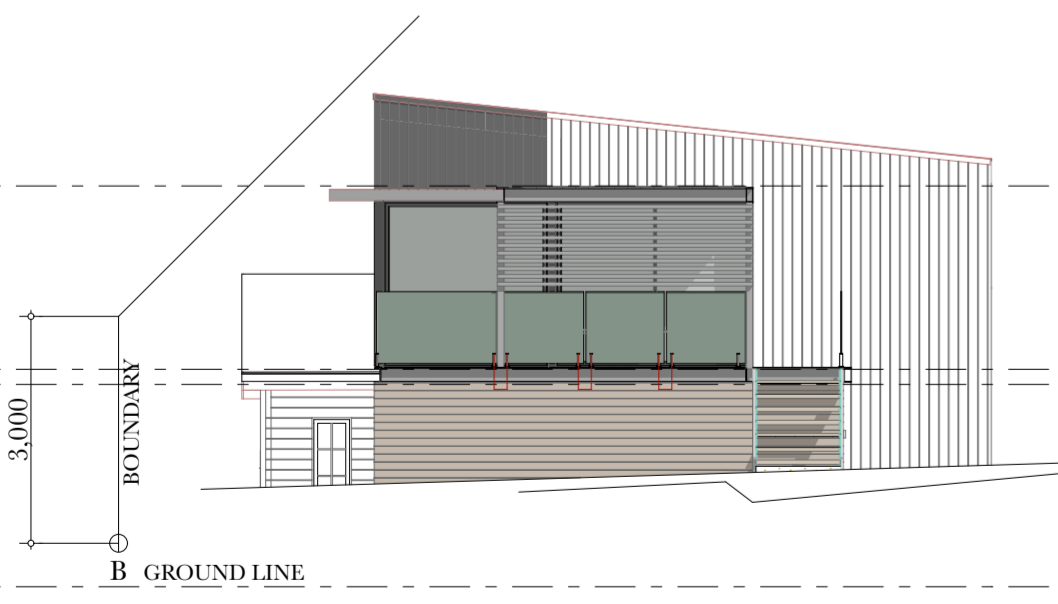
SITE PLAN (BUILDING ENVELOPE)

SCALE 1:100

- TIMBER DECK
- PROPOSED ADDITION
- EXISTING CONCRETE DRIVE

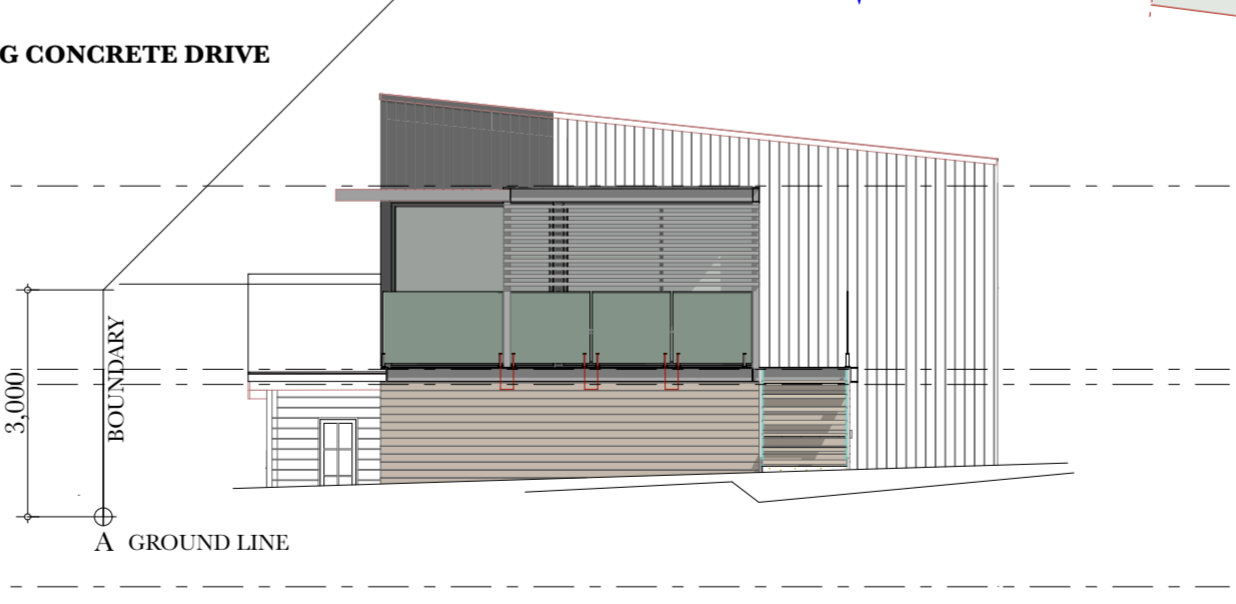


ROADWAY



BUILDING ENVELOPE (B)

SCALE 1:100



BUILDING ENVELOPE (A)

SCALE 1:100

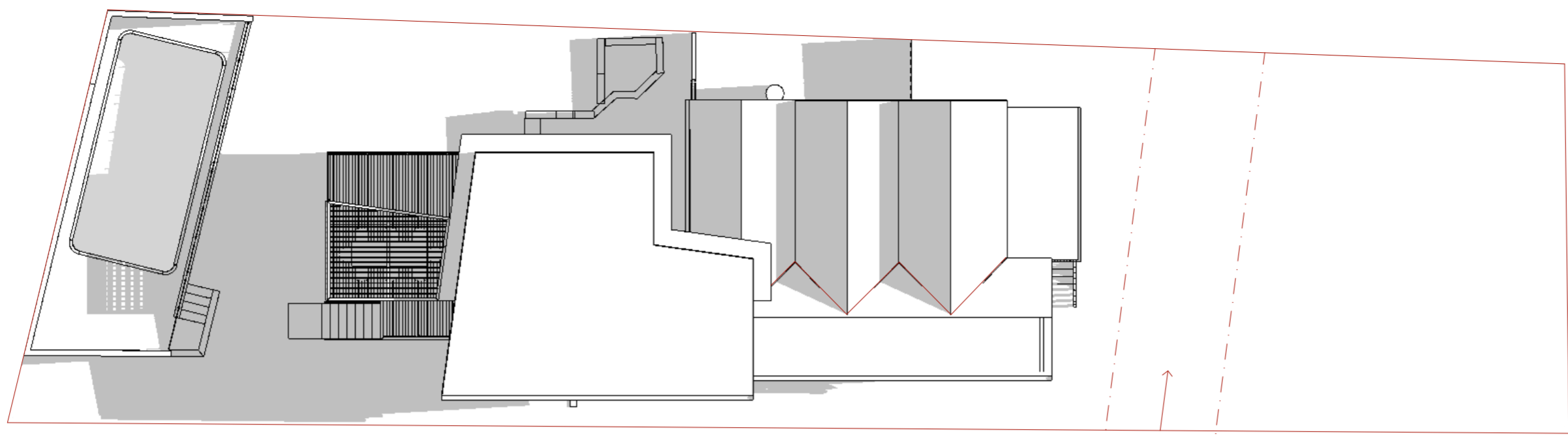
PROJECT CONSULTANTS:

Engineer:

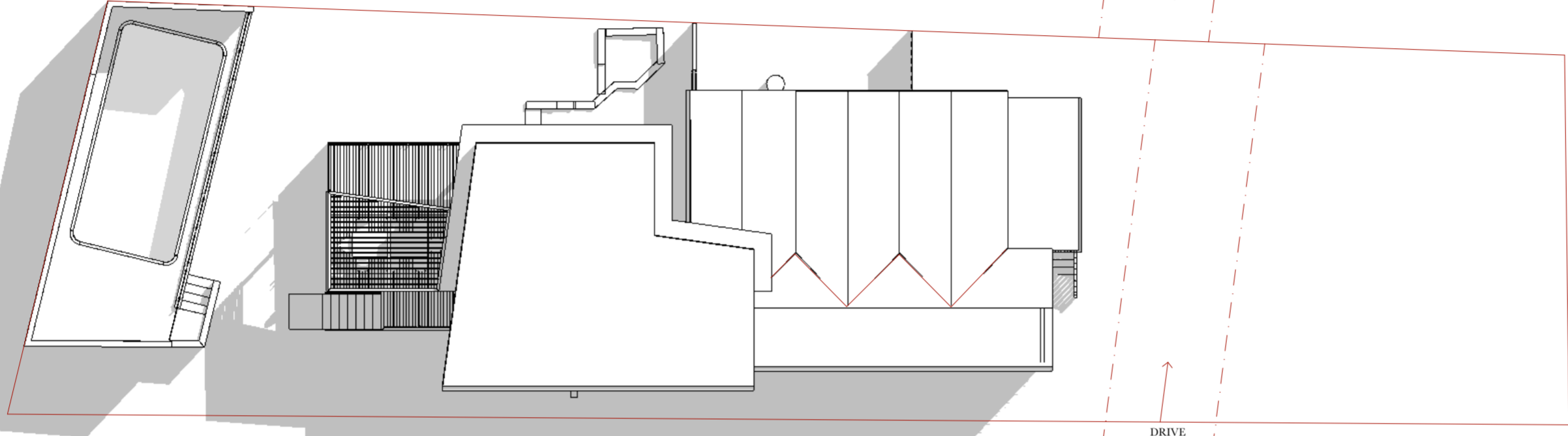
Surveyor:

DA SUBMISSION

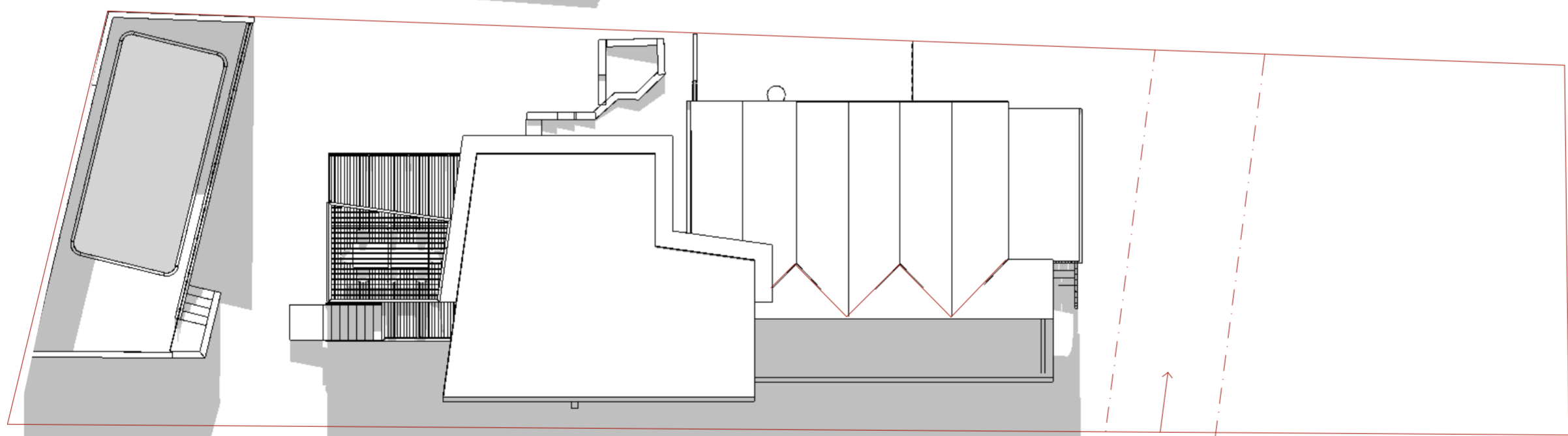
21 JUNE (WINTER SOLSTICE) SHADOW DIAGRAM 9AM SCALE 1:200



21 JUNE (WINTER SOLSTICE) SHADOW DIAGRAM 12PM SCALE 1:200



21 JUNE (WINTER SOLSTICE) SHADOW DIAGRAM 3PM SCALE 1:200



NOTE: A COMPREHENSIVE SHADOW EVALUATION FOR 1B AND SURROUNDING PROPERTIES WAS PREPARED FOR A DA SUBMISSION IN 2018. COUNCIL PERMIT N° 2018/155. OUR PROPOSAL IS A SMALL ADDITION. THE NEW ROOF HEIGHT IS ONLY 300MM HIGHER THE PREVIOUSLY APPROVED APPLICATION. REFERENCE TO THE DIAGRAM BELOW CONFIRMS THE DIFFERENCE IS MINOR.

Client: Rohan & Claire Windsor Site Address: 1B Crown Street, Bellerive with access over 3 Crown St.

Drawn by: LJ

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Table with 3 columns: ISSUE, DESCRIPTION, DATE. Row 1: CCC, WINTER SOLSTICE, 17/2/26

SUN DIAGRAM PRESENTED IN PREVIOUS DA APPLICATION.

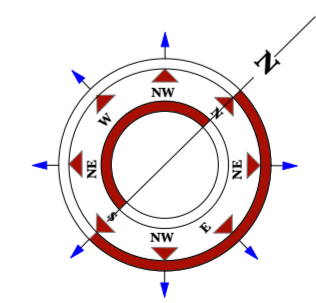
SHADOW DIAGRAM 3PM NTS



BOUNDARY TREES S/E ELEVATION



VIEW OF ADJOINING PROPERTY FROM DRIVE (NOTE: N° 3 IS LOCATED WELL BACK FROM ADJOINING BOUNDARY)



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map modern architecture practice

Registered Architects Leon Jenkins 34 Silwood Avenue Howrah Tas 7018 Mobile 0419 894 623 Email: maparch@netspace.net.au

TCC No: 1003 QCC No: 4833 ARBV N°: 20048

Drawing Number: SO8

PROJECT TITLE:**Date:** 17/2/2026**ESD DESIGN CRITERIA**Water & Stormwater Management

- WSUD catchment plan showing roof catchment to tank, to raingarden, permeable area and impermeable area in line with the WSUD report – If required, the use of charged pipe system will be explicitly acknowledged on the drawings and charged pipes will not be running underneath the building footprint
- Location and size of each Rainwater tank proposed
- Note showing connection to the toilets and laundry
- Note showing use of native or drought tolerant species for landscaped area. Watering will not berequired after an initial period when plants are getting established. If irrigation is required, it will be connected to rainwater tanks.
- Note showing WELS rating for water fittings/fixtures (refer to report) – Fixtures (e.g. dishwasher) provided as part of base building work have to be chosen within one WELS star of best available at the time of purchase.

Energy Efficiency

- Note showing commitment to 4W/m² lighting density in the dwellings
- Retractable external clothes drying line
- Lighting sensors for external lighting (motion detectors, timers etc.)

Indoor Environment Quality

- Note showing double glazing on all habitable rooms (floor plans and elevations)
- Adjustable/Improved fixed shading on East/West/North glazing

Waste

- Three bins system including Rubbish, recycling and organic/garden waste.

Urban Ecology

- Show extent of vegetated areas around the site (includes lawn)

INDOOR ENVIRONMENT QUALITY

Indoor Environment Quality and its key elements should be integrated into the design of the proposed development. These elements play a significant role in the health, wellbeing and satisfaction of the development occupants. Facilitating a good (IEQ) design provides a naturally comfortable indoor environment and less dependence on building services such as, artificial lighting, mechanical ventilation and heating and cooling device.

Volatile Organic Compounds

All paints, adhesives and sealants and flooring will have low VOC content. Alternatively, products will be selected with no VOC's. Paints such as colour, or equivalent should be considered.

Formaldehyde Minimisation

All engineered wood products will have 'low' formaldehyde emissions. Certified as EO or better. Alternatively, products will be specified with no Formaldehyde. Products such as ecological -panel 100% post-consumer recycled wood (or similar) will be considered for use within the development.

Daylight Levels

Daylight penetration will be enhanced with the use of light internal colours to improve daylight reflection. All bedrooms and living rooms will be provided with windows to allow for natural sunlight and ventilation. There are no bedrooms which rely on borrowed daylight. Installation of mirrored wardrobe doors could improve even further the daylight spread within the bedrooms.

Double Glazing

Glazing will be chosen in accordance with the energy rating requirements at the building approval stage. However, as a minimum double glazing will be provided to all living areas and bedrooms. This will provide better thermal performance and reduce condensation which helps prevent the formation of mould within the dwellings.

Task Lighting

A higher illuminance level (300Lux) will be provided for all task areas (e.g. kitchen bench, bathroom basin) to ensure appropriate light is provided to do any tasks in these areas.

Shading

External adjustable shading (e.g. retractable awning, external blinds etc.) will be provided on all habitable room glazing (except highlight windows) on the west, east and north facades. Alternatively, fixed shading (horizontal shading) could be installed on the north façade. This will help to reduce glare and control solar gains, improving the thermal comfort of the townhouses.

Ventilation

The kitchen will have a separate dedicated exhaust fan (range-hood) which will be directly exhausted out of the building.

ESD DESIGN CRITERIA

Energy and its key elements should be integrated into the design of the proposed development. These elements contribute to reducing greenhouse gas emissions by utilising energy efficient appliances, energy conservation measures and renewable energy.

Thermal Performance

Full energy ratings will be carried out at the building approval stage. All dwellings will achieve 6.0 Stars each. This will be achieved using appropriate insulation level in all external walls (minimum R2.0), roof (minimum R4.0) and floors as well as the use of double glazing windows throughout habitable rooms. For the purpose of BESS assessment, minimum compliance figures have been assumed which will be met at the building approval stage

Heating and Cooling Systems

Heating and cooling systems can account to up to 40% of a household's energy use. Therefore, to reduce the energy consumption heating and cooling will be provided by energy efficient air conditioners (chosen **within one star of the best available** product in the range at the time of purchase).

Hot Water Heating

Hot water for the residence will be provided with gas instantaneous hot water units chosen within one star of the best available

Internal Lighting

Energy consumption from artificial lighting within the townhouses will be reduced by using LED lighting. A lighting level of 4W/m² will not be exceeded in the residence. The use of light internal colours will improve daylight penetration thus reducing the need for artificial lighting.

External Lighting

External lighting for the residence and common areas (driveway) will be LED and will include controls such as motion detectors or timers to minimise consumption during off-peak times.

Clothes Drying

External retractable clothes drying lines or racks will be provided within the identified private open spaces.

The residence will have access to effective cross flow ventilation. It will provide fresh air to the occupants and reduce the need for mechanical cooling. Window locks and door catches will be included to encourage and improve natural ventilation in the dwellings.

CONSTRUCTION, BUILDING & WASTE MANAGEMENT

Building Management and its key elements should be integrated into the design of the proposed development. These principles contribute to ensuring efficient and effective on-going building performance. Waste management and its key elements should be integrated into the design of the proposed development. These principles contribute to ensuring minimal waste is transported to landfill by means of disposal, recycling and on-site waste storage and/or collection methods.

Metering and Monitoring

Separate utility meters (water, gas and electricity) will be provided for each residence. This will allow residents to monitor and reduce their consumption.

Construction Waste Management

A waste management plan will be introduced to all on-site staff at a site orientation session to ensure that the waste generated on site is minimised and disposed of correctly. A minimum 80% of all construction and demolition waste generated on site will be reused or recycled.

Construction Environmental Management

The builder will identify environmental risks related to construction and include management strategies such as maintaining effective erosion and sediment control measures during construction and operation and ensure that appropriate staging of earthworks (e.g. avoid bare earthworks in high risk areas of the site during dominant rainfall period).

Operational Waste

The residence will be provided with bins for both general, recycling waste and garden/organic waste. Council will provide garden/organic waste collection.

ESD DESIGN CRITERIA

Water saving - use and reuse and its key elements should be integrated into the design of the proposed development. These principles contribute to reducing the water demand in addition to promoting water reuse. Stormwater management and its key elements should be integrated into the design of the proposed development. These principles contribute to ensuring natural systems are protected and enhanced whilst promoting on-site retention and aims to reduce runoff or peak flows.

Water Efficient Fittings

The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following WELS star ratings will be specified;

- Toilets + 4 star;
- Taps (bathroom) - 5 star Taps (kitchen) - 4 star; and
- showerhead - 3star with aeration device (7.5-9L/min)

Rainwater Collection & Use

Rainwater runoff from part of the roof area of each townhouse will be collected and stored in 2,500L tanks (1)

If required, a charged pipe system omultiple tanks will be installed to collect water from part of the roof of each dwelling.

In the case of a charged pipe system, the charged pipes will not be running underneath the building footprint (slab) and the stakeholders (builder/developer/architect) will be required to explicitly acknowledge this solution and have the capacity to install it.

Rainwater collected will be used for toilet flushing and laundry in each townhouse. These initiatives will reduce significantly the stormwater impacts of the development and help achieve compliance with the STORM calculator

Water Efficient Appliances

Dishwasher provided as per of the base building work will be chosen with minimum 3 WELS star

Water Efficient Landscaping

Native or drought-tolerant plants will be implemented for the landscaped areas on site. Use of water or irrigation will not be required after an initial period when plants are getting established. If irrigation is required, it will be connected to rainwater tanks.

Please note that any stormwater detention volume requirement for the site will be in addition to the proposed rainwater retention and that the proposed tank will be directly topped up by mains water

BUILDING MATERIALS

Materials selection should be integrated into the design of the proposed development. The criteria for appropriate materials used are based on economic and environmental cost.

Timber

All timber used in the development will be Forest Stewardship Council (FSC) or Program for the Endorsement of Forest Certification (PEFC) certified, or recycled / reused.

Flooring

The use of timber flooring will be preferred for all living areas and bedrooms. Wherever possible, flooring will be selected from products/materials certified under any of the following:

- Carpet Institute of Australia Limited, Environmental Certification Scheme (ECS) v1.2;
- Ecospecifier GreenTag GreenRate V3.2; and/or
- Good Environmental Choice (GECA).

Alternatively, flooring must be durable, include some eco-preferred content, be modular and/or come from a manufacturer with a product stewardship program and ISO 14001 certification.

Joinery

Wherever possible, joinery will be manufactured from materials/products certified under any of the following:

- Ecospecifier GreenTag GreenRate V3.1;
- Good Environmental Choice (GECA); and/or
- The Institute for Market Transformation to Sustainability (MTS) Sustainable Materials Rating Technology standard Version 4.0 – Smart 4.0.

The use of Ecological Panel (or equivalent) will be investigated, which is created from 100% post consumer recycled products.

Nontoxic and Durable External Materials

All external materials used to construct the building will be long lasting and will be non-toxic.

Client:

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Site Address:

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Drawn by:

LJ

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Drawing Number:

SO9

DA SUBMISSION**PROJECT CONSULTANTS:****Engineer:****Surveyor:**