



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0168
Proposed Use or Development:	Residential (single dwelling) - retrospective approval
Address of the Land:	2 Old Coast Road, Don
Date of Notice:	22/11/2025

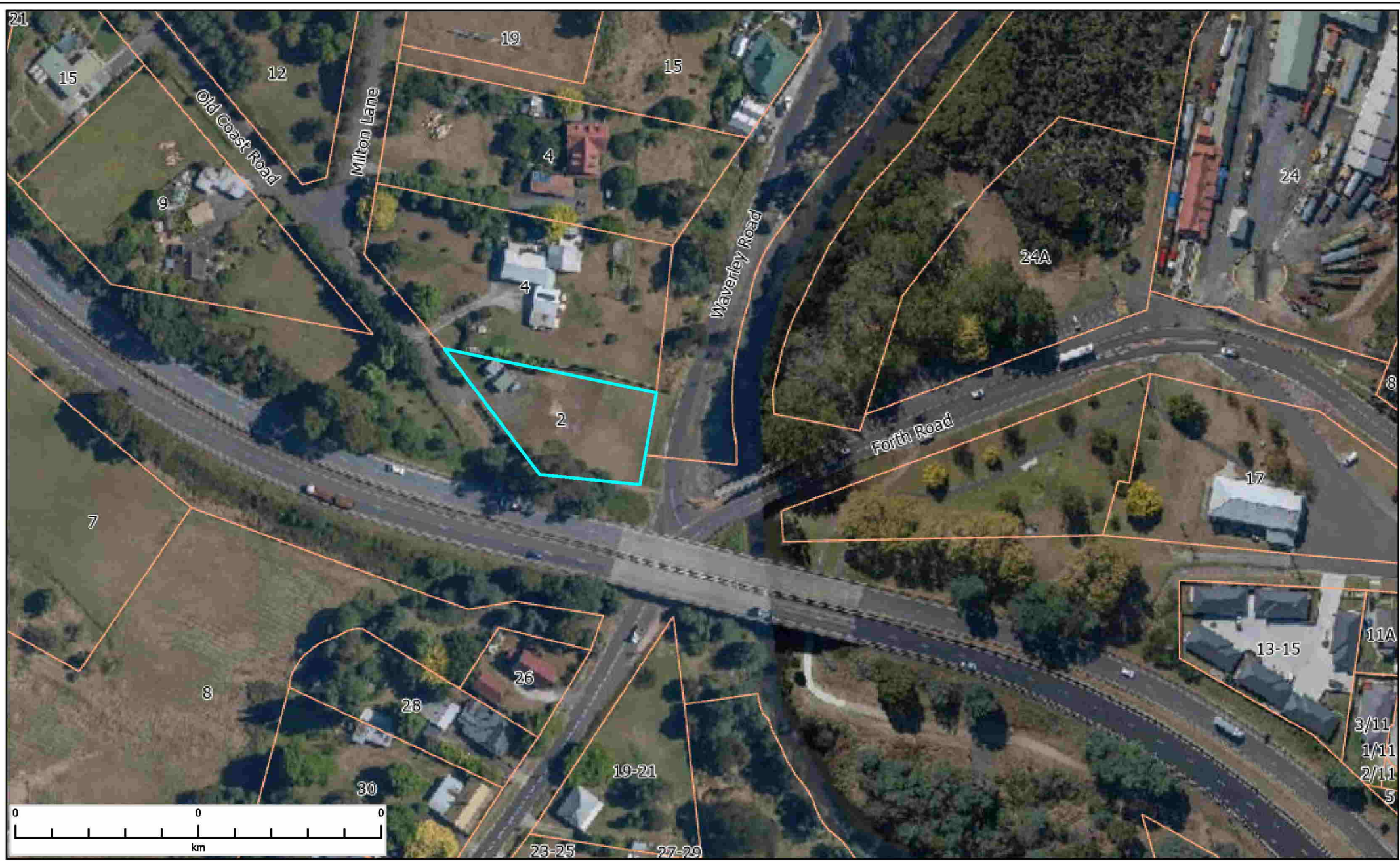
You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **09/12/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



2 Old Coast Road Don



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 19-11-2025 09:40:18



Retrospective Works (Utilities & Living Area Buildings) at 2 Old Coast Road, Don 7310 for : Mrs. K.J. Turner

Planning Approval Drawings :

Drawing No.	Drawing Title
P.24.05 A-01	Cover Sheet
P.24.05 A-02	NCC Compliance Notes
P.24.05 A-03	Site Plan - 1: 250
P.24.05 A-04	Drainage Plan - Waste Water 1: 200
P.24.05 A-05	Floor Plans
P.24.05 A-06	Roof Plans
P.24.05 A-07	Elevations - Utilities
P.24.05 A-08	Elevations - Living Area

General Site Information :

Property I.D. : PID # 638 5837, 2 Old Coast Road, Don 7310
 Allotment # 1, Title Reference 204 984/1
 Parish of Northam, District of Devon
 Bushfire Attack Level = BAL -12.5 (refer Tammy Smith Energy Report # B2425-009)
 Site design wind speed = N2 (33m/sec)
 Soil Classification = 'M' (determination by inspection of existing structures)

Zone : Rural Living

Local Historic Landscape Precinct
 Airport Obstacle Limitation Area
 Waterway and Coastal Protection Area
 Bushfire Prone Area : BAL -12.5
 Priority Vegetation Area

Floor Area of Existing Utilities Building = 13.61 sq metres
 Floor Area of Existing Living Area Building = 18.06 sq metres
 Total Floor Areas = 31.67 sq metres

Rev	Details	Date
A	Planning Approval	Nov '24

Accredited Building Designer : Paul Barker
 Licence No : 4554 64 719 (Architectural)

do not scale A4 size prints	Client: Mrs. K. J. Turner		
	Project: Retrospective Works, 2 Old Coast Road, Don 7310		
	Scale: nts	Project North: 	Title: Cover Sheet
	 Accredited Building Designers Phone 04 00 619 385 Email: bardraft@internode.on.net Accredited Building Designer Lic. No 4554 64719		Drawn: paul barker Date: Nov '24 Project No.: P.24.05 Drawing No.: A-01 Issue No.: A

General Notes :

This drawing is to be read in conjunction with Engineers drawings when applicable.

Check all levels, datum and dimensions on site prior to commencing any work or shop drawings. Notify necessary disciplines of any discrepancies prior to commencement of works.

Ensure drawings are stamped approved by the Local Authority or Building Surveyor.

Ensure that any conditions of approval issued at the time of council approval have been conveyed to the Building Contractor.

Drainage shall be to council approval.

Materials and workmanship shall conform with current relevant SAA codes, building regulations, local authority by-laws, standard MBA of Tasmania specifications and manufacturers written instructions.

All work to generally comply with the practices set out in "The guide to standards and tolerances 2017".

Written dimensions are to take precedence over scaled.

Electrical installation shall be to SAA 3000 Wiring Rules and Aurora approval.

All footings shall comply with AS 2870 - SAA Footings code, with minimum concrete strength 25MPa unless noted otherwise.

All site preparation to be in accordance with NCC Vol 2 Part 3.2.

Site Services :

Electricity, gas, telephone, water, stormwater and sewer services locations are to be determined on site and connected as per local authorities requirements.

Steelwork :

Generally in accordance with AS 4100 - steel structures and AS 1544 - welding in building.

Steelwork to be coated with anti-rusting paint prior to erection.

All steel in exposed conditions to be galvanised or proprietary galvanised product.

Any structural steel framing in accordance with BCA part H106, AS 1552, AS 4386, manufacturers specifications and structural engineers design and specifications.

Siteworks :

Site to be prepared in accordance with engineers or surveyors report if applicable.

Site to be excavated or filled to indicated levels.

Excavation and filling of the site to be in accordance with NCC Vol 2, HD3 and Part 3.2 and AS 2470.

Drainage works to be in accordance with NCC Vol 2, HD2, Part 3, and AS 3580.3.2.

Surface drainage - finished ground to fall away from building for minimum distance of 100mm at 1 in 20 minimum fall and to the point where ponding will not occur.

Downpipes to be connected into council stormwater as soon as the roof is installed.

Install an drain prior to footing excavation.

Excavated material placed up-slope of any drain, to be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the down-slope side of material.

Construction vehicles to be parked on the street only, to prevent transferring debris onto the street.

Finished slab level to be : 150mm above finished ground level, 50mm above paved surfaces, and to prevent ponding of water under suspended floors.

Joinery Notes :

On-site measurements are to be taken prior to set out of any joinery.

Sites of all appliances to be built in, are to be provided to joiner prior to set out of any joinery.

Builder shall provide white melamine shelving to robes and linen cupboards at 350mm centres and is to allow for hanging space in robes and coat cupboards to wardrobe doors/directs.

10mm plasterboard to walls and ceilings generally. Ceiling plasterboard to be fitted to metal furring channels at 450 centres.

Villaboard to wet areas to manufacturers specifications and to comply with NCC Vol 2 Part 10.2.

All doors, windows architraves, skirtings, wall and floor surfaces, and all fittings and fixtures as specified by owner.

Landscaping Notes :

Green shading generally indicates lawn.

Light Grey shading generally indicates concrete.

Cross hatching generally indicates selected pavers.

Dark Brown shading indicates 100mm selected garden mulch...120mm aggregate or hammermill pine bark.

Provide treated pine edging to assist mulch retention unless adjacent to building, paving, retaining walls, fences or concrete.

Developer to provide boundary fences at 1800mm high minimum...timber palings or colorbond steel.

Plumbing Notes :

All plumbing work to comply with AS 3501 parts 1-4 incl and the Local Councils plumbing regulations.

Hot water from the HWC is to be tempered to 59° C.

Hot and cold/coldwater lines are to be DN20 with DN15 branches to individual fixtures.

Drain all surface water away from footings.

The building contractor must locate the connection points to the mains to verify that their positions and depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.

Installation of HD15 is to comply with AS 3504 part 2 clauses 4.4.4.6 (min height below lowest fixture = 150mm) and 4.4.4.7 (min height above surrounding ground level = 75mm).

New sewer - DN100 upst at 1 in 49 minimum fall.

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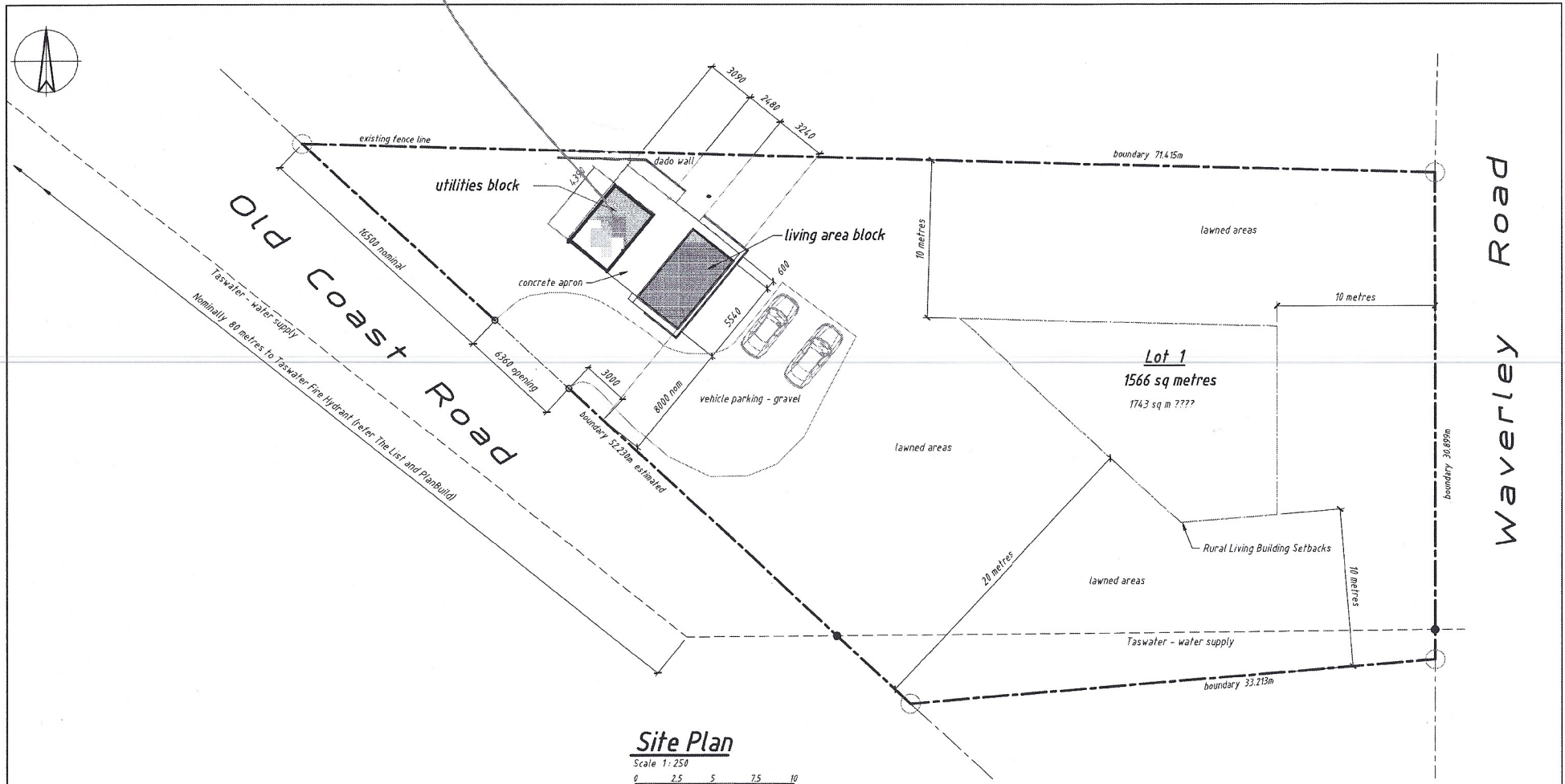
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Villaboard to wet areas to manufacturers specifications and to comply with NCC Vol 2 Part 10.2.



Site Plan



Note - Allotment boundary lengths have been provided on Titles Documents however their bearings are unknown and may need ascertaining in future.

Survey Information

Allotment No. : 1 1566 square metres
 Certificate of Title : 204 984/1
 Parish of Northam
 Land District of Devon
 Property I.D. : 638 5837

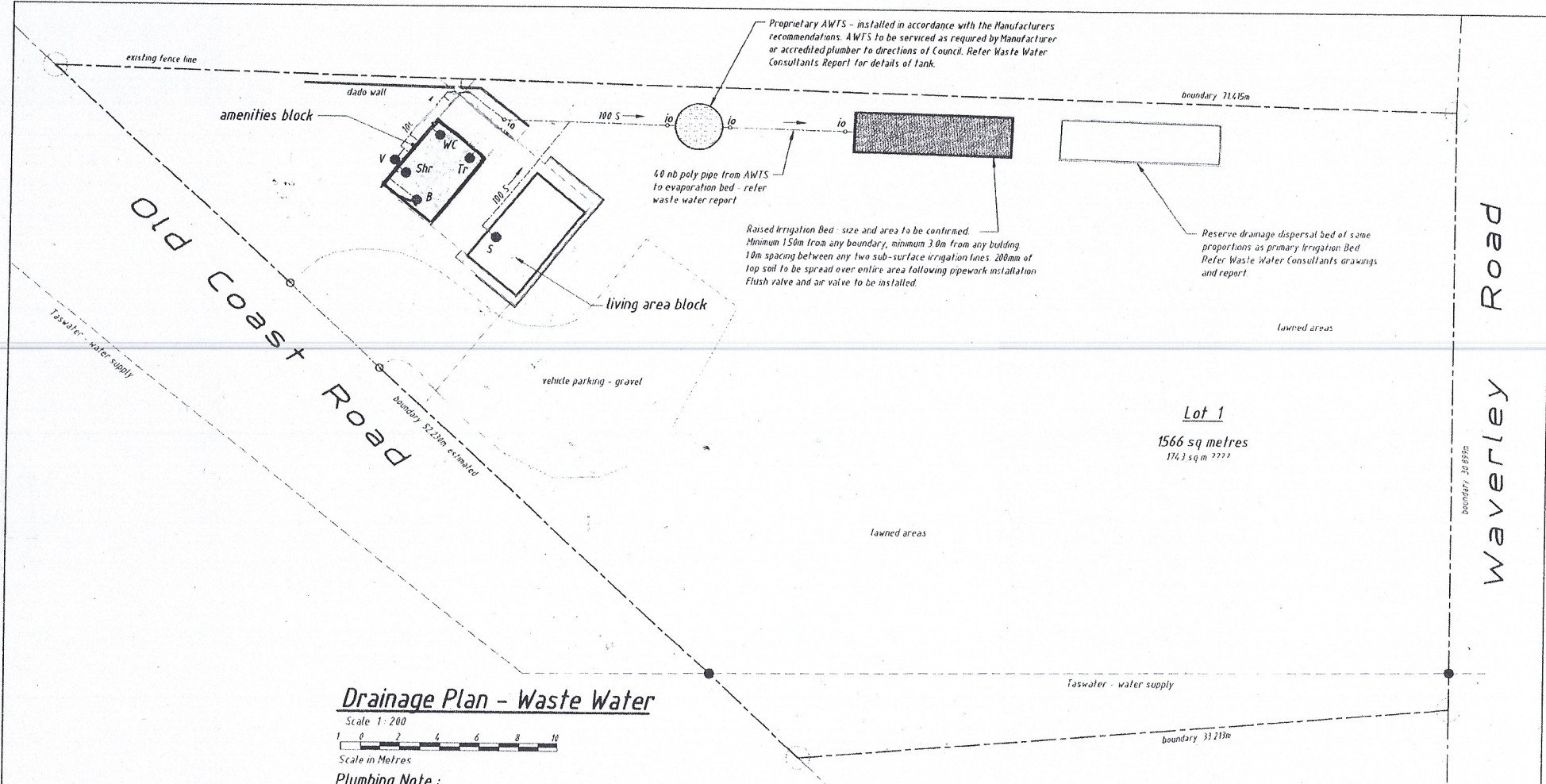
Accredited Building Designer : Paul Barker
 Licence No: 4554 64 719 (Architectural)

Rev	A	Planning Approval	Nov '24
		Details	Date

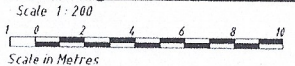
do not scale A4 size prints	Client: Mrs. K. J. Turner	
	Project: Retrospective Works, 2 Old Coast Road, Don 7310	
	Scale: 1:250	Title: Site Plan 1:250
Accredited Building Designers Mobile 0400 619 386 Email : bardraft@inferrmode.com.au Accredited Building Designer Lic. No 4554 64719		Drawn: paul barker Project No.: P.24.05 Drawing No.: A-03 Issue No.: A
		Date: Nov '24

Waverley Road

boundary 26 897m



Drainage Plan - Waste Water



Plumbing Note:
 At present no authorised plumbing from fixtures exists.
 All drainage works where indicated are required to be carried out as part of Building Approval and must be in accordance with the requirements of the Devonport Council Plumbing Inspectors directions.

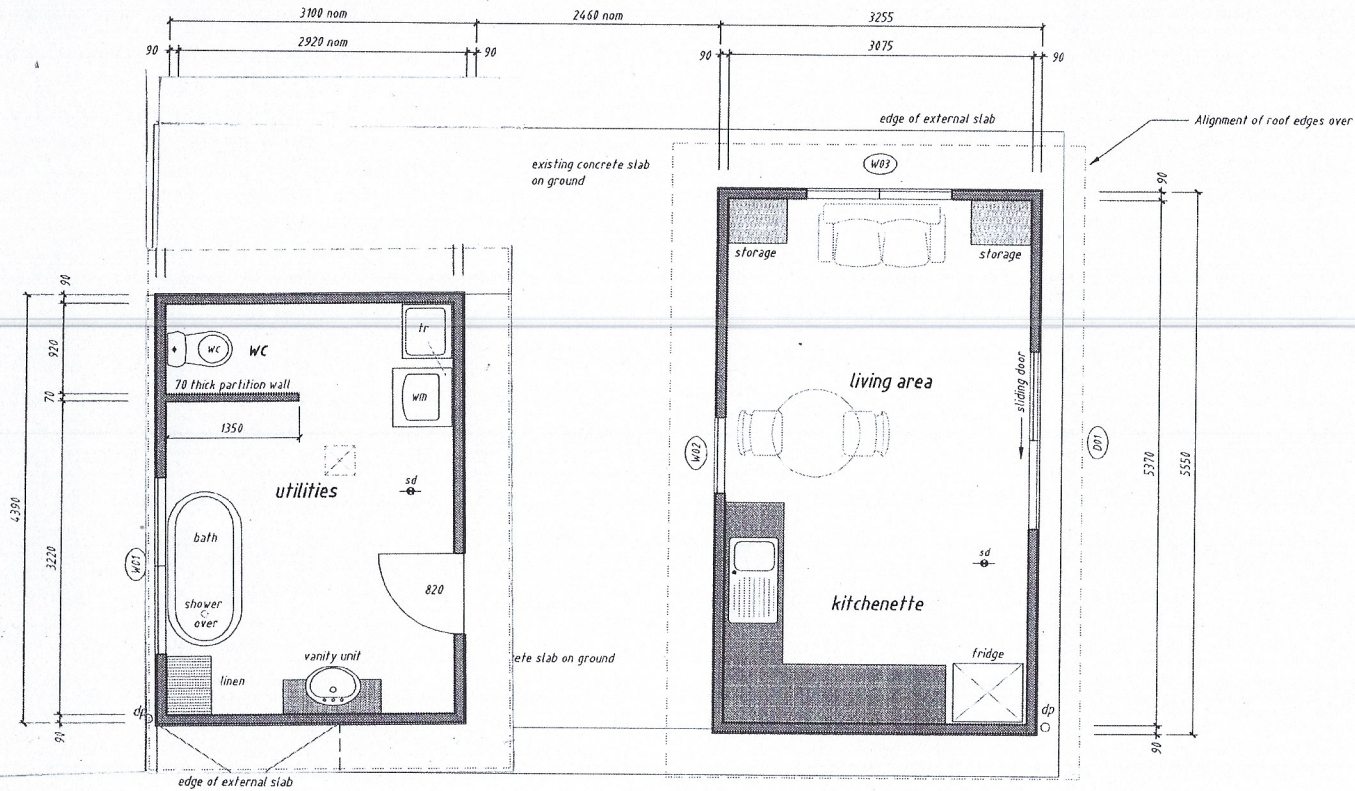
Sewer Notes

- 100 S → denotes 100Ø sewer pipe to fall
- B - Vanity Unit - DN40 discharge
- Shr - Shower - DN40 discharge
- WC - Toilet Pan - DN100 discharge
- Tr - Trough - DN65 discharge
- S - SS Sink - DN65 discharge
- V - Vent - DN65 vertical to 100
- io - Inspection Opening and rodding access
- org - Overflow Relief Gully

All work including backfilling must be in accordance with AS3500.2:2021 (all sections) and any other Local Authority's Provisions to the National Plumbing and Drainage Code.
 All sewer pipes to be uPVC Sewer Grade. All plumbing to be a fully vented modified system.
 All sewer pipes are to be laid in natural ground and tested, inspected and approved by the Local Authority prior to backfilling.
 All drainage and plumbing must be carried out by a Licensed and Registered Plumber

A	Planning Approval	Nov '24
Rev	Details	Date

do not scale A4 size prints	Client: Mrs. K. J. Turner
	Project: Retrospective Works, 2 Old Coast Road, Don 7310
	Scale: 1:200
	Title: Drainage Plan - Waste Water 1:200
bardraft design Accredited Building Designers Mobile 0449 519 185 Email bardraft@bardraftdesign.net Accredited Building Designer Lic. No 4554 64719	Drawn: paul barker
	Date: Nov '24
	Project No: P.24.05
	Drawing No: A-04
	Issue No: A



Floor Plan - Existing

Scale - 1:50

sd : hard-wired smoke detector to comply with AS 3786

mech ventilation/ heater and light - simultaneous elec switching

Design Notes

All construction methods and details are to be in accordance with AS1684.2-2010 "Residential timber-framed construction" for Non-Cyclonic areas, BCA Vol 2, and the latest version of the NCC

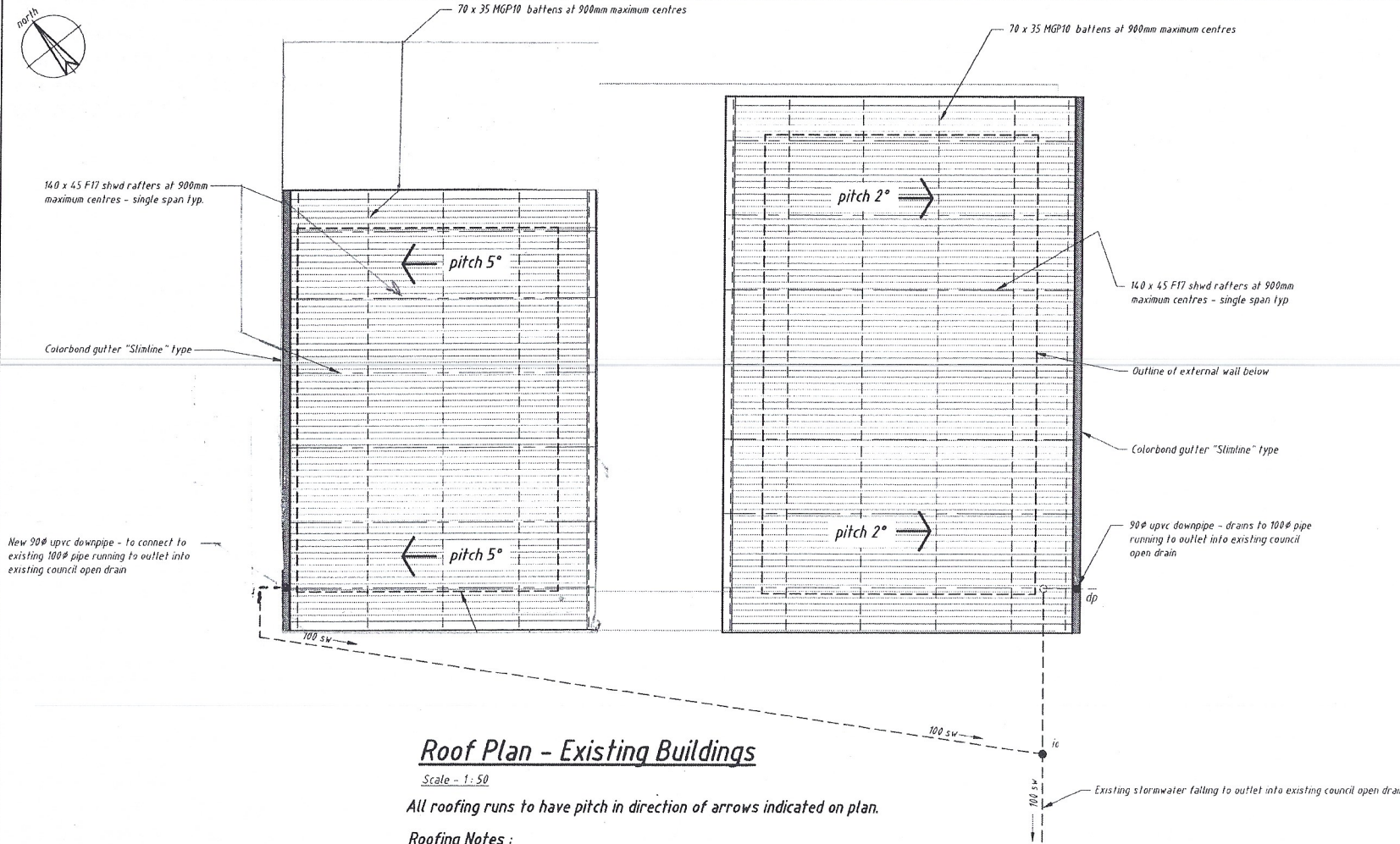
Structural design criteria :

Geographic region = 'A' ; Topographic classification = 'T1'
 Terrain category = 'TC2.0' ; Shielding = Partial (PS)
 Wind Classification = 'N2' ; Max design gust speed = 33 m/sec (psm)

Total Floor Area of both buildings = 31.67 square metres

Rev	A	Planning Approval	Nov '24
		Details	Date

do not scale A4 size prints	Client:	Mrs. K. J. Turner		
	Project:	Retrospective Works, 2 Old Coast Road, Don 7310		
	Scale:	1:50	Project North:	
	Title:	Floor Plan 1:50		
bardraft design		Drawn:	paul barker	
Accredited Building Designers <small>Mobile 0440 619 385 Email : bardraft@retrosds.onnet Accredited Building Designer Lic. No 4554 64719</small>		Project No.:	P.24.05	Date: Nov '24
		Drawing No.:	A-05	Issue No.:
				A



Roof Plan - Existing Buildings

Scale - 1:50

All roofing runs to have pitch in direction of arrows indicated on plan.

Roofing Notes :

Roofing : Colorbond Custom Orb - min 0.42 total coated thickness fixed in accordance with the manufacturer's recommendations. Roofing to be in full length sheets running from ridge to gutter. All flashings, cappings, screw fixing heads, guttering, barges and fascias to match colour.

Maximum roof catchment area per downpipe must not exceed 55 square metres approx for Quad 115 Gutter installation, and/or 78 square metres for Sheerline gutter installation.

Downpipes spacings must not exceed 12 metre centres

Stormwater Notes

100 sw denotes 100mm stormwater pipe to fall

dp - downpipe location size : 90mm
io - inspection opening size : DN 100

All works including backfilling must be in accordance with AS 3500.2 and any other Local Authority's Provisions to The National Plumbing and Drainage Code AS 3500. All stormwater pipes to be UPVC Sewer grade. All stormwater pipes are to be laid in natural ground and tested, inspected and approved by the Local Authority prior to backfilling. All drainage and plumbing must be carried out by a Licenced and Registered Plumber

Design Notes

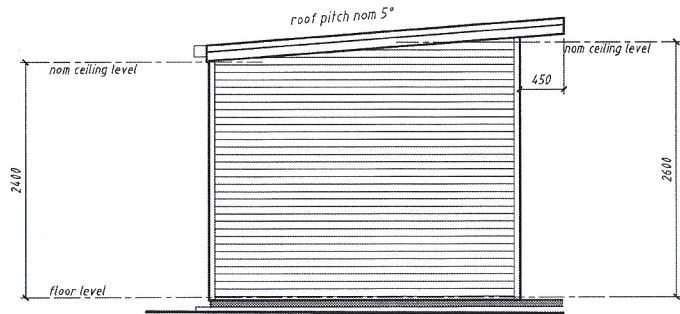
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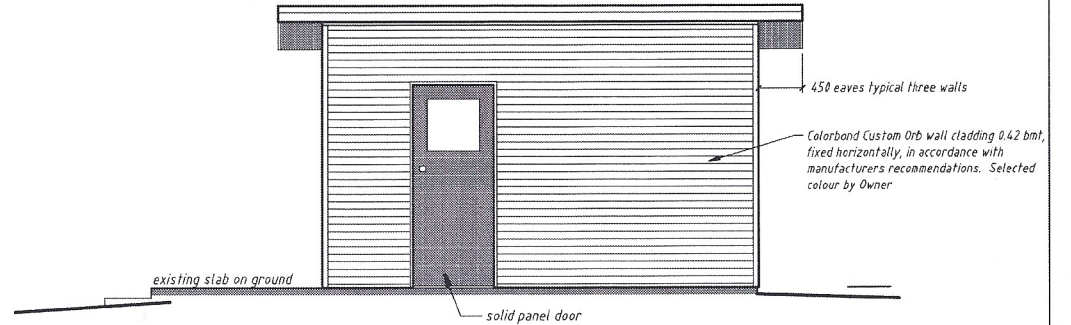
Geographic region = 'A' : Topographic classification = 'T1'
Terrain category = 'TC2.0' : Shielding = Partial (PS)
Wind Classification = 'N2' : Max design gust speed = 33 m/sec (psm)

Rev	A	Planning Approval	Nov '24
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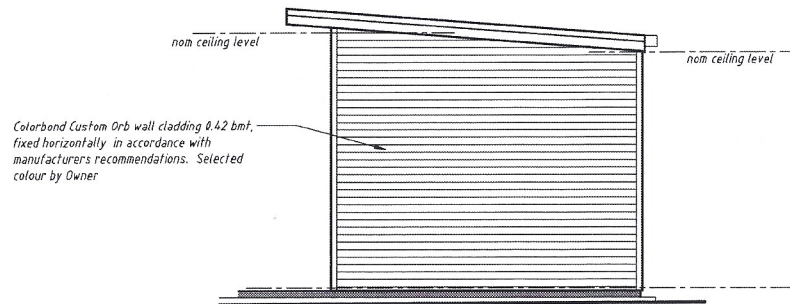
do not scale A4 size prints	Client: Mrs. K. J. Turner		
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	Scale: 1:50	Project North	Title: Roof Plan 1:50
Accredited Building Designers Mobile 04 00 619 386 Email : bardraft@internode.on.net Accredited Building Designer Lic. No 4554 64719		Drawn: paul barker	Date: Nov 24
Project No. P.24.05	Drawing No. A-06	Issue No. A	



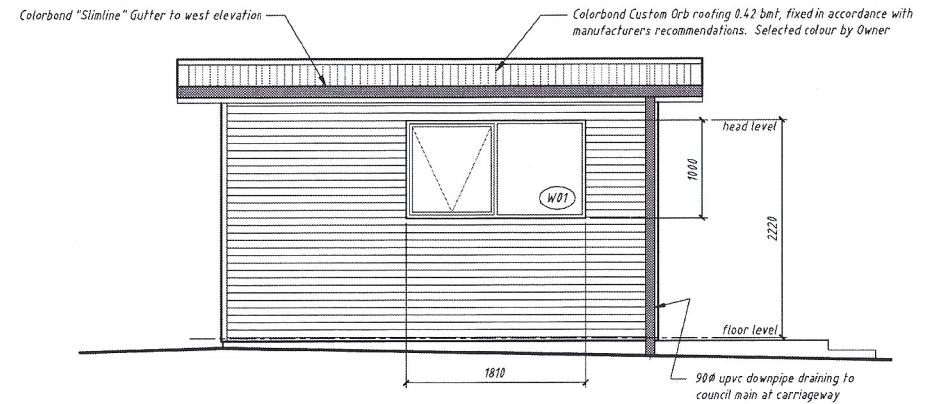
South Elevation



East Elevation



North Elevation



West Elevation

W01 1000 h x 1810 w Lintel: 140 x 35 F17 shwd

A	Planning Approval	Nov '24
Rev	Details	Date

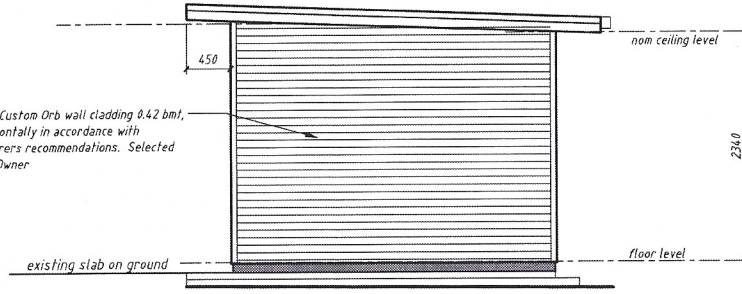
Design Notes

All construction methods and details are to be in accordance with AS1684.2-2010 "Residential timber-framed construction" for Non-Cyclonic areas, BCA Vol 2, and the latest version of the NCC

Structural design criteria :

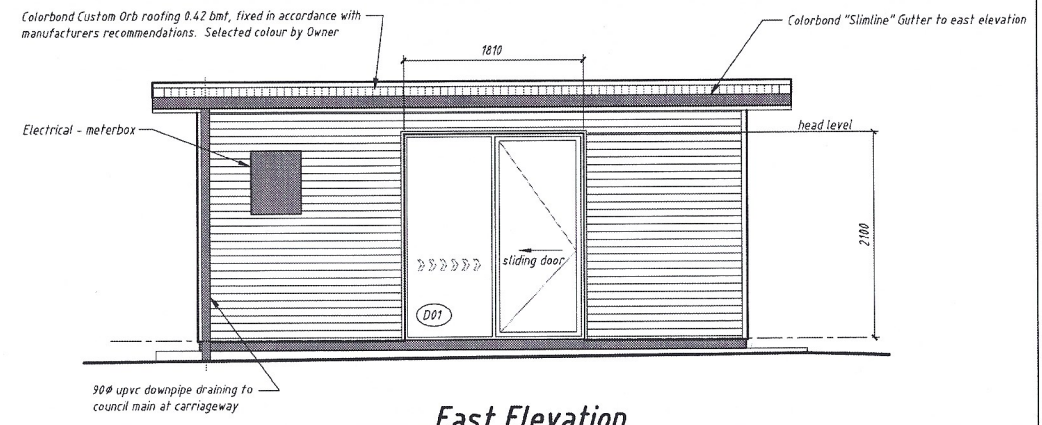
Geographic region = 'A': Topographic classification = 'T1'
Terrain category = 'TC2.0': Shielding = Partial (PS)
Wind Classification = 'W2': Max design gust speed = 33 m/sec (psm)

do not scale A4 size prints	Client: Mrs. K. J. Turner	
	Project: Retrospective Works, 2 Old Coast Road, Don 7310	
	Scale: 1:50	Project North:
	bardraft design Accredited Building Designers Mobile 04 00 519 380 Email: bardraft@interodo.com.au Accredited Building Designer Lic. No 4554 64719	
Title: Elevations - Retrospective Works Utilities Block		Drawn: paul barker
Project No.: P.24.05		Date: Nov '24
Drawing No.: A-07		Issue No.: A



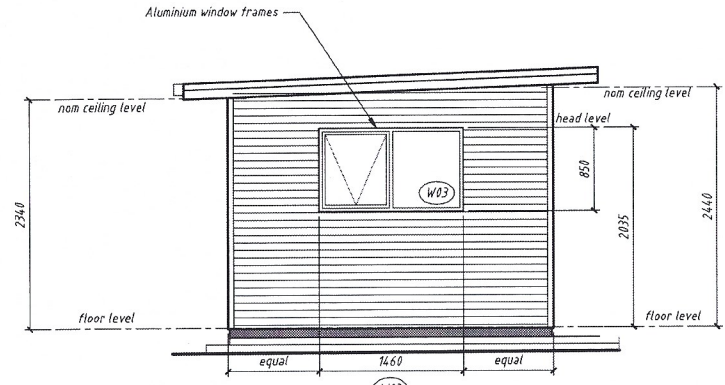
Colorband Custom Orb wall cladding 0.42 bmf, fixed horizontally in accordance with manufacturers recommendations. Selected colour by Owner

South Elevation



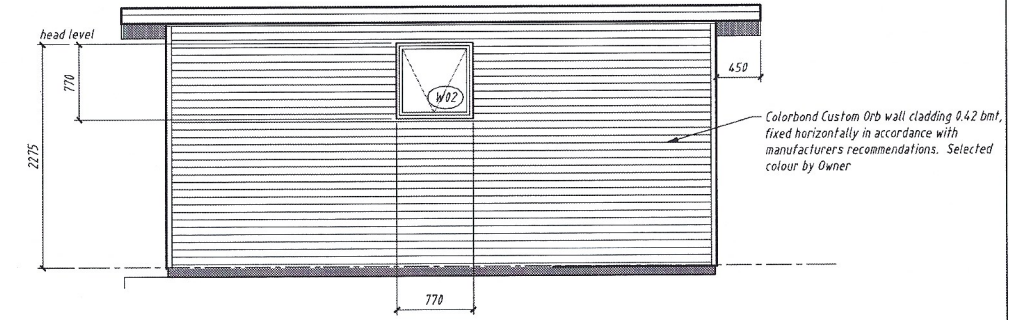
East Elevation

D01 2100 h x 1810 w Lintel: 140 x 35 F17 shwd



North Elevation

W03 850 h x 1460 w Lintel: 140 x 35 F17 shwd



West Elevation

W02 770 h x 770 w Lintel: 90 x 35 F17 shwd

A	Planning Approval	Nov '24
Rev	Details	Date

Design Notes

All construction methods and details are to be in accordance with AS1684.2-2010 "Residential timber-framed construction" for Non-Cyclonic areas, BCA Vol 2, and the latest version of the NCC

Structural design criteria :

Geographic region = 'A': Topographic classification = 'T1'
 Terrain category = 'TC2.0': Shielding = Partial (PS)
 Wind Classification = 'N2': Max design gust speed = 33 m/sec (psm)

do not scale A4 size prints	Client: Mrs. K. J. Turner	
	Project: Retrospective Works, 2 Old Coast Road, Don 7310	
	Scale: 1:50	Project North:
	Title: Elevations - Retrospective Works Living Block	
bardraft design		
Accredited Building Designers Mobile 04 00 619 386 Email: bardraft@internode.on.net Accredited Building Designer Lic. No 4554 64719		
Drawn: paul barker	Date: Nov '24	
Project No.: P.24.05	Issue No.: A	
Drawing No.: A-08		