



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056419

PROPOSAL: Dwelling

LOCATION: 33 Merindah Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence... a brighter place

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Dwelling & Carport

Location:

Address 33 Merindah St
Suburb/Town Howrah Postcode 7018

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of (if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

none

Current Use of Site:

vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 187439	FOLIO 1
EDITION 1	DATE OF ISSUE 14-Apr-2025

SEARCH DATE : 03-Jun-2025

SEARCH TIME : 09.48 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 1 on Sealed Plan 187439
 Derivation : Part of 390 Acres Gtd to William Stanley Sharland,
 William Tarleton and William Lovett
 Prior CTs 62918/35 and 62918/36

SCHEDULE 1

E343575 HOMES TASMANIA Registered 14-Apr-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP187439 EASEMENTS in Schedule of Easements
 SP187439 COVENANTS in Schedule of Easements
 SP62918 COVENANTS in Schedule of Easements
 SP62918 FENCING COVENANT in Schedule of Easements
 A225200 COVENANTS in Agreement
 A225199 FENCING PROVISION in Transfer
 B330343 PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935 Registered 9-Feb-1990 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 187439

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

(herein defined)

Lot 1 is subject to a pipeline and services easement in gross in favour of TasWater over the land marked 'Pipeline and Services Easement 4.00 wide' ~~Lot 1~~ shown on the Plan ("the Easement Land").

Lot 1 is subject to a wayleave easement (herein defined) in favour of Tasmanian Networks Pty Ltd over the land marked 'Wayleave Easement variable width' shown on the Plan.

formerly comprised in Lot 35 on Sealed Plan 62918

That part of Lot 1 on the Plan is together with a right of drainage over 'Drainage Easement 'B' 1.83 wide' passing through ~~Lot 34 on (SP1925)~~ and shown on this Plan.

formerly comprised in Lot 36 on Sealed Plan 62918

That part of Lot 1 on the Plan is together with a right of drainage over 'Drainage Easement 'A' 1.83 wide' passing through ~~Lot 37 on (SP1925)~~ and shown on this Plan.

Covenants

Lot 1 on the Plan is burdened by the restrictive covenants created by Sealed Plan 62918 in the following terms:

~~The owner of each lot covenants firstly with Charles Terence Martin and Marlene Joan Martin that the Vendor the said Charles Terence Martin and Marlene Joan Martin shall not be required to fence and secondly with Charles Terence Martin and Marlene Joan Martin (and the owners for the time being of every other Lot shown on the Plan to the intent that the burden of this covenant may run with and bind the~~

.....


(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Homes Tasmania	PLAN SEALED BY:
FOLIO REF: 62918/35 & 62918/36	DATE:
SOLICITOR
& REFERENCE: Crown Solicitor 031832-23(MGS)	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 187439</p>
<p>SUBDIVIDER: Homes Tasmania FOLIO REFERENCE: 62918/35 & 62918/36</p>	

~~covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the Plan (and with the balance of the land comprised in Certificate of Title Registered Vol. 2173 Fol. 98 and each and every part thereof) to observe the following stipulations:-~~


- (a) that he will not erect on the boundary of the Lot within a distance of 25 feet of the frontage thereof any fence of a height greater than 3 feet; and
- (b) that he will not erect on the Lot any hoarding advertisement commercial sign or poster of a permanent nature;
- (c) that he will not erect on the Lot a house constructed of other than brick or brick veneer ("brick" to exclude "Besser brick") and at a cost of less than \$9000.00.

Interpretation

"Pipeline and Services Easement ~~4.00 wide~~" is defined as follows:-

FIRSTLY, THE FULL RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;

.....

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 187439</p>
<p>SUBDIVIDER: Homes Tasmania FOLIO REFERENCE: 62918/35 & 62918/36</p>	

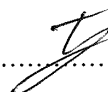
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structure, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land without the prior written consent TasWater to the intent that the burden of the covenant may run with and bind the service land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns.



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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 187439</p>
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Wayleave Easement and restriction as to user of land means:

FIRSTLY all the full and free right and liberty for TasNetworks Group (Tasmanian Networks Pty Ltd or any of its subsidiaries) and its successors with the registered proprietor/s for themselves and their successors and its and their servants and agents and contractors (hereinafter called 'TasNetworks') at all times hereafter:

- (a) to maintain lay erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including power lines (overhead or underground), substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called 'electricity infrastructure') of which materials and type as TasNetworks may determine above, on or under the land respectively marked 'Wayleave Easement variable width' on the Plan (described as 'the servient land');
- (b) to enter into and upon the servient land for the purpose of examining, operating, maintain, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby;
- (c) to erect fencing and signs, barriers or other protective structures upon the servient land if in the opinion of TasNetworks these are necessary for reasons of safety;
- (d) to cause or permit electrical energy to flow or to be transmitted or distributed through the said electricity infrastructure;
- (e) to enter into and upon the servient land for all or any of the above purposes, with or without all necessary plant equipment and machinery and the means of transporting the same, and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land;
- (f) nothing herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land Provided that such use does not derogate from this grant or, in the opinion of TasNetworks compromise the safe operation of TasNetworks electricity infrastructure located on, above or under the service land.

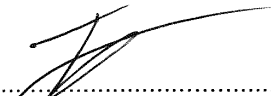


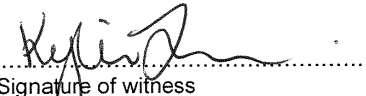
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 187439
SUBDIVIDER: Homes Tasmania FOLIO REFERENCE: 62918/35 & 62918/36	

SECONDLY the benefit of a covenant for TasNetworks and its successors with the registered proprietor/s for themselves and their successors not to erect any buildings or place any structures or objects within the servient land without the prior written consent of TasNetworks or its successors to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

Signed by Julian David Gill)
 being and as Acting General Manager, PWS)
 and pursuant to an Instrument of delegation)
 dated 29 July 2024)
 in the presence of:


 Signature


 Signature of witness

Kylie Ann Lemin
 Name of witness (block letters)

134 Macquarie St
Hobart Tas 7000
 Address of witness

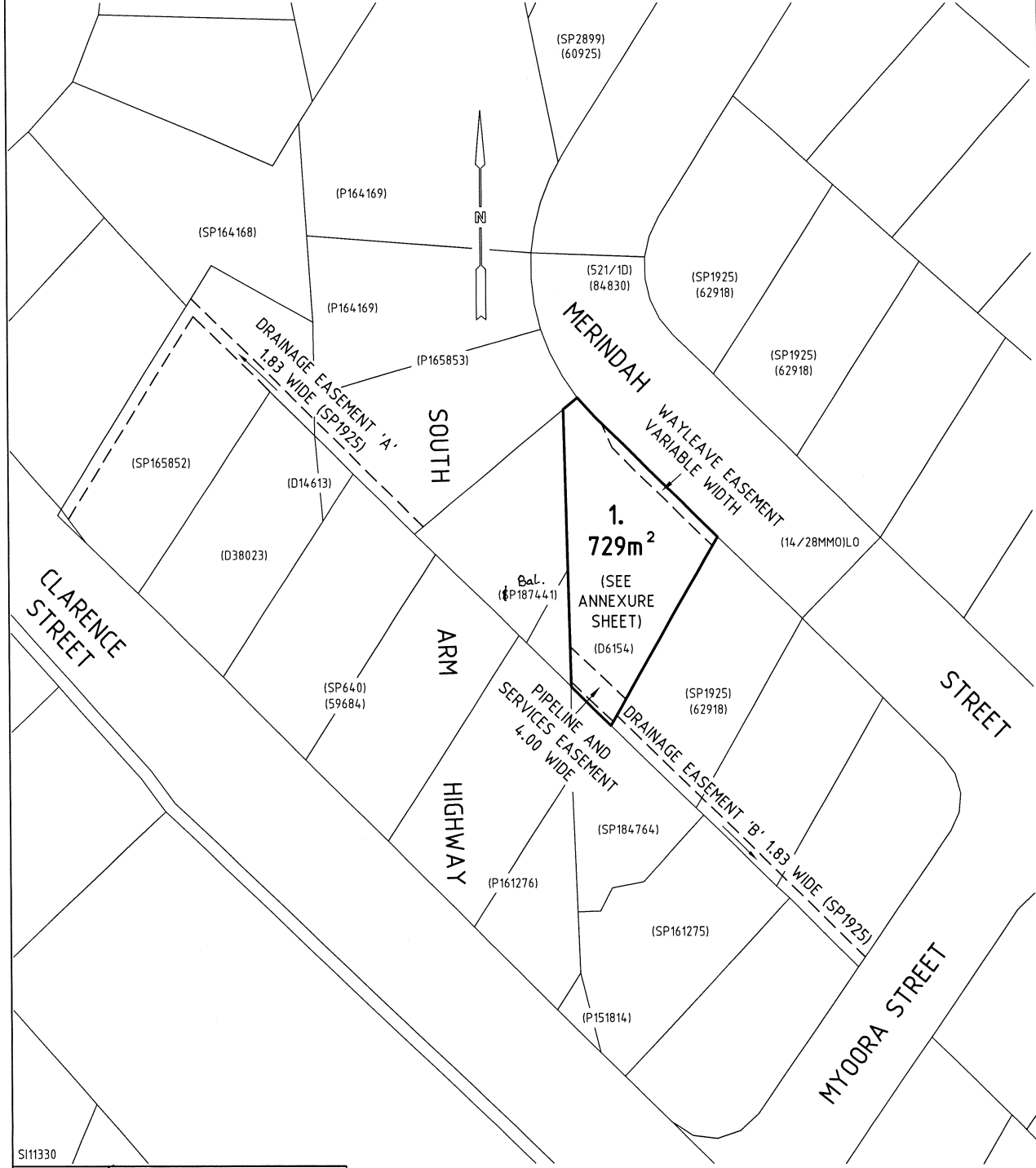
Unit Manager - Sales
 Occupation

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>OWNER: THE CROWN</p> <p>FOLIO REFERENCE: F/R 62918/35; F/R 62918/36</p> <p>GRANTEE: PART OF 390 ACRES GRANTED TO WILLIAM STANLEY SHARLAND, WILLIAM TARLETON & WILLIAM LOVETT.</p>	<p align="center">PLAN OF SURVEY</p> <p>BY SURVEYOR: JOEL ZEBULAN MURRAY (OFFICE OF THE SURVEYOR GENERAL)</p> <p>LOCATION: CITY OF CLARENCE</p> <p>SCALE 1: 600 LENGTHS IN METRES</p>	<p align="right">Registered Number</p> <p align="center">SP187439</p> <p>APPROVED EFFECTIVE FROM 14 APR 2025</p> <p align="right"><i>Joel Murray</i> Recorder of Titles</p>
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INDEX SHEET

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



SI11330

Joel Murray
Registered Land Surveyor

~~4/12/2024~~
Date

P I N N A C L E

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

33 Merindah Street, Howrah 7018












Owner(s) or Clients	Homes Tasmania	Title Reference	187439/1
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	729m ²
Total Floor Area (Combined)	202.42m ² Deck 70.69m ²	Design Wind Speed	N3
Alpine Area	N/A	Soil Classification	M
Other Hazards	Road & Rail Assets Code, Safeguarding of Airports Code, Flood-prone Hazard Areas Code	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	Low

(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	DA-02: import updated site survey	24/09/25	MM
Ch - 02	Moved dwelling outside of Wayleave easement	03/10/25	JRN
Ch - 03	DA-03: revise front facade cladding, revise floor coverings, revise laundry layout, add note to dishwasher space, add TV point to living room	06/10/25	MM
Ch - 04	DA-04: finish changes made in Ch-02, revise colour selection	17/10/2025	MM
Ch - 05	Revise colour selection	17/10/2025	MM
Ch - 06	DA-05: Council RFI: add shadow diagrams. Show water main	06/11/2025	MM
Ch - 07	DA-06: Add building envelope plans	11/11/2025	MM

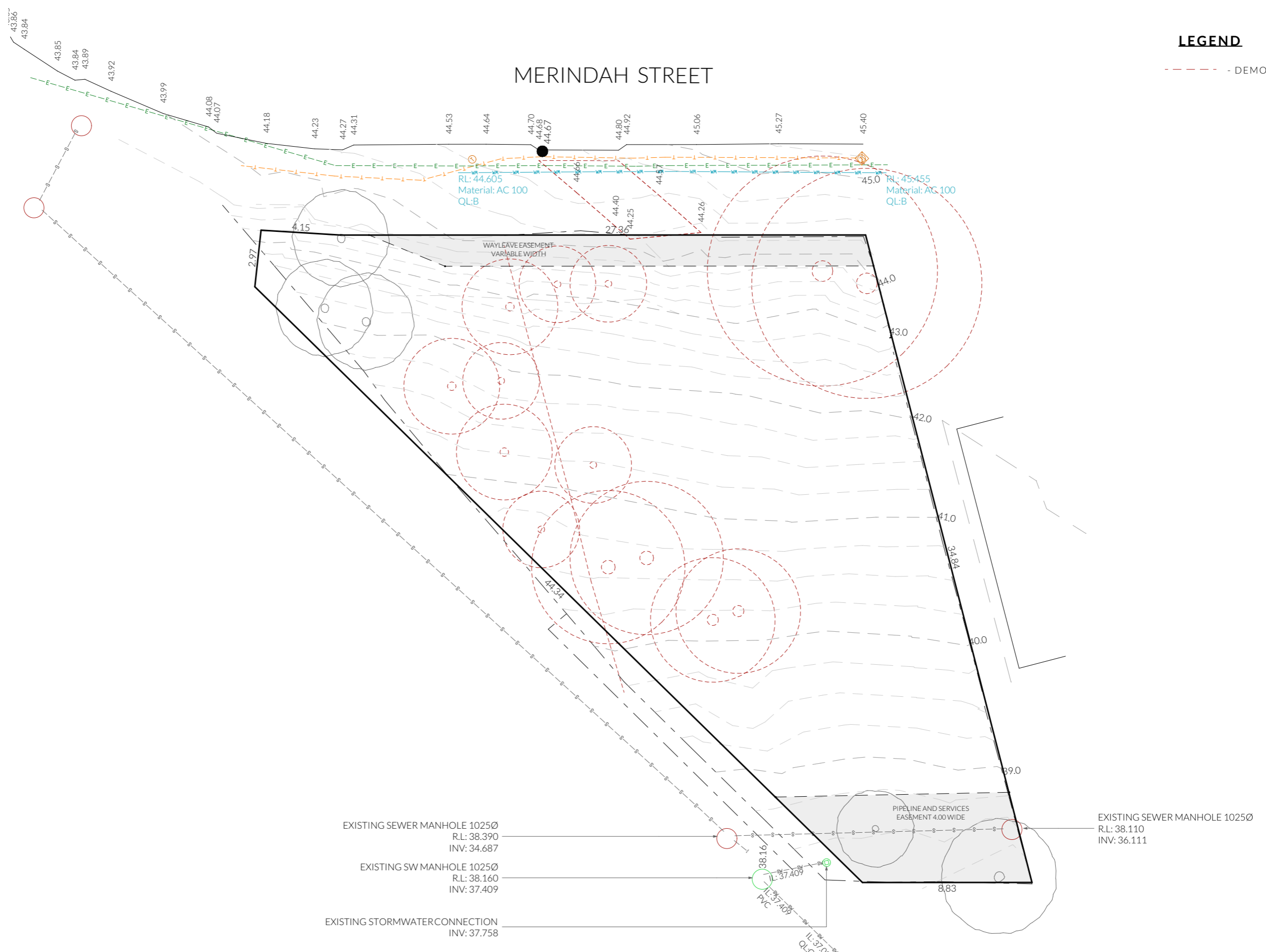
ID	Sheet Name	Issue
A.01	Existing Site Plan	DA - 06
A.02	Site Plan	DA - 06
A.03	Building Envelope	DA - 06
A.04	Shadow Diagrams 21st June	DA - 06
A.05	Shadow Diagrams 21st June	DA - 06
A.06	Shadow Diagrams 21st June	DA - 06
A.07	Shadow Diagrams 21st June	DA - 06
A.08	Shadow Diagrams 21st June	DA - 06
A.09	Shadow Diagrams 21st June	DA - 06
A.10	Shadow Diagrams 21st June	DA - 06
A.11	Floor Plan - Lower	DA - 06
A.12	Floor Plan - Upper	DA - 06
A.13	Elevations	DA - 06
A.14	Elevations	DA - 06
A.15	Roof Plan	DA - 06
A.16	Electrical Plan - Lower	DA - 06
A.17	Electrical Plan - Upper	DA - 06

Legend




-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

LEGEND

-  - DEMOLITION



NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Existing Site Plan Revision: DA - 06 Approved by: JRD	Scale: 1:200 @ A3 Pg. No: A.01	Proposal: Proposed Dwelling Client: Homes Tasmania Address: 33 Merindah Street, Howrah 7018	Date: 22/09/25 Drawn by: JRN Job No: 041-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 0.8em;"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr><td>Ch - 01</td><td>24/09/25</td><td>MM</td></tr> <tr><td>Ch - 02</td><td>03/10/25</td><td>JRN</td></tr> <tr><td>Ch - 03</td><td>06/10/25</td><td>MM</td></tr> <tr><td>Ch - 04</td><td>17/10/2025</td><td>MM</td></tr> <tr><td>Ch - 05</td><td>17/10/2025</td><td>MM</td></tr> <tr><td>Ch - 06</td><td>06/11/2025</td><td>MM</td></tr> <tr><td>Ch - 07</td><td>11/11/2025</td><td>MM</td></tr> </tbody> </table> <p style="font-size: 0.7em;">NOTE: Refer to cover page for further details on changes.</p>	Issue	Date	Designer	Ch - 01	24/09/25	MM	Ch - 02	03/10/25	JRN	Ch - 03	06/10/25	MM	Ch - 04	17/10/2025	MM	Ch - 05	17/10/2025	MM	Ch - 06	06/11/2025	MM	Ch - 07	11/11/2025	MM		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
	Issue	Date	Designer																														
Ch - 01	24/09/25	MM																															
Ch - 02	03/10/25	JRN																															
Ch - 03	06/10/25	MM																															
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Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
 - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

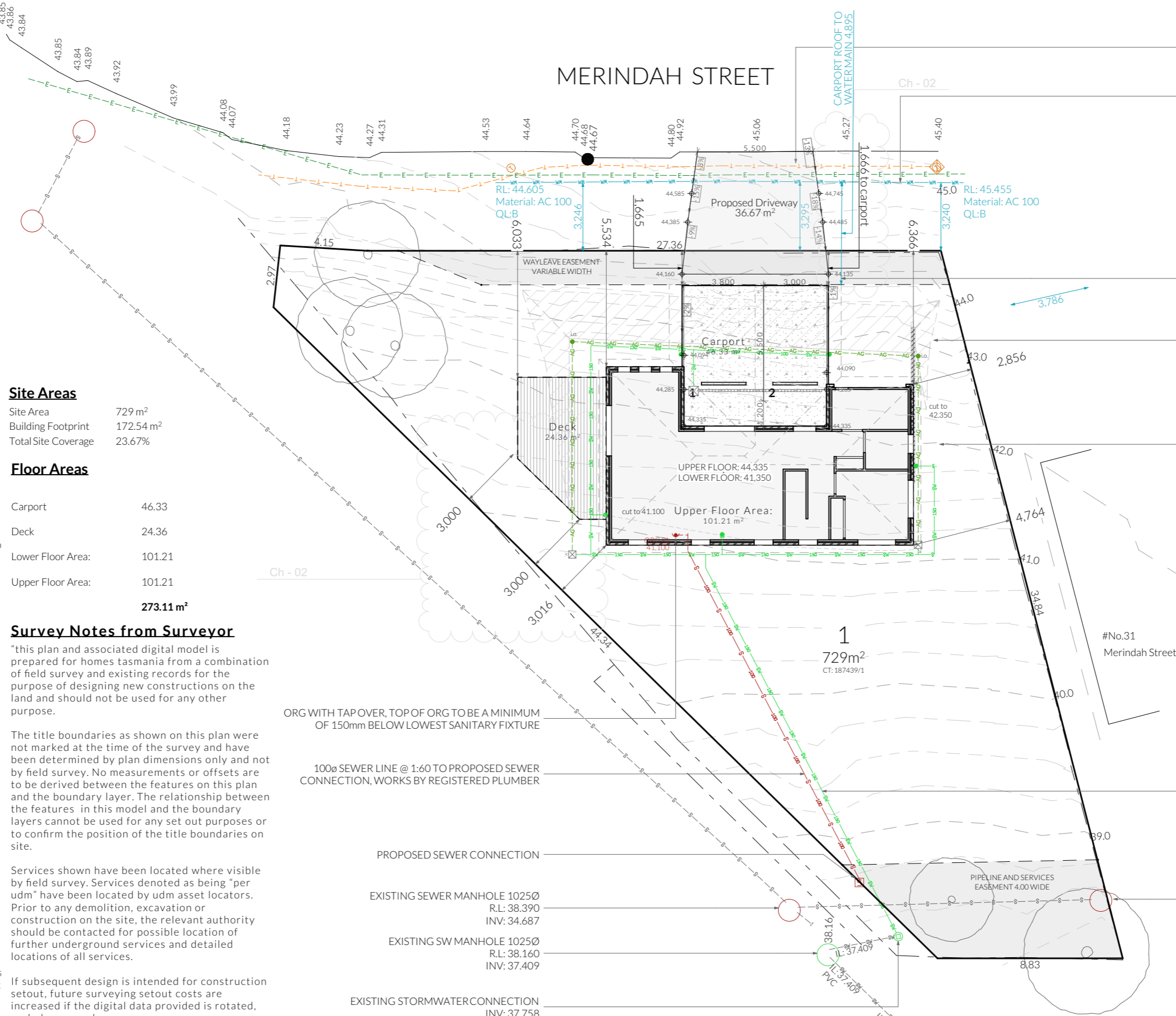
is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-
- (a) be graded with a uniform fall of not less than 1:300; and
 - (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.



Site Areas

Site Area	729 m ²
Building Footprint	172.54 m ²
Total Site Coverage	23.67%

Floor Areas

Carport	46.33
Deck	24.36
Lower Floor Area:	101.21
Upper Floor Area:	101.21
Total	273.11 m²

Survey Notes from Surveyor

"this plan and associated digital model is prepared for homes tasmania from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "per udm" have been located by udm asset locators. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

If subsequent design is intended for construction setout, future surveying setout costs are increased if the digital data provided is rotated, scaled or moved.

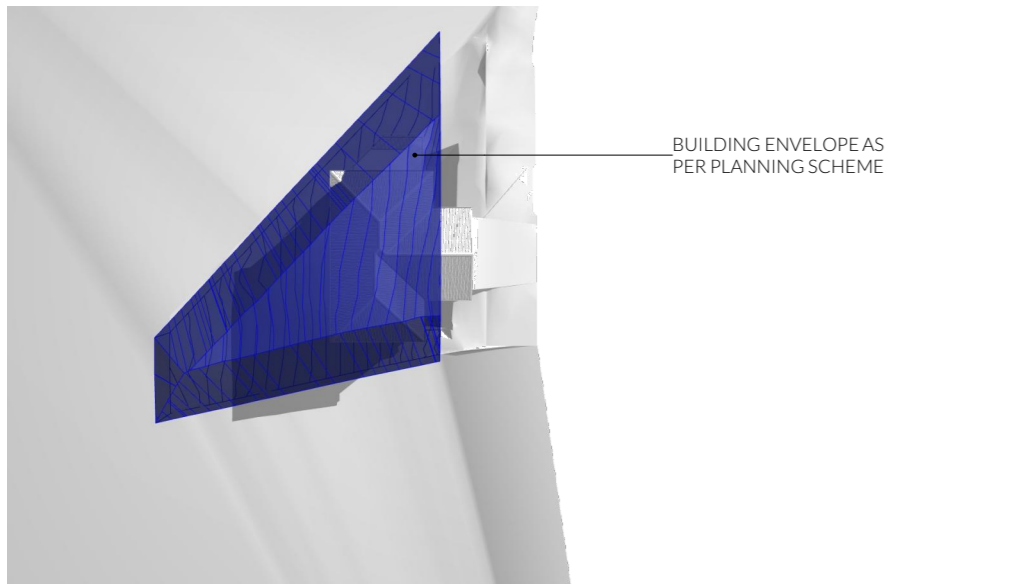
This note forms an integral part of the plan/data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

- ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM OF 150mm BELOW LOWEST SANITARY FIXTURE
- 100ø SEWER LINE @ 1:60 TO PROPOSED SEWER CONNECTION, WORKS BY REGISTERED PLUMBER
- PROPOSED SEWER CONNECTION
- EXISTING SEWER MANHOLE 1025Ø
R.L: 38.390
INV: 34.687
- EXISTING SW MANHOLE 1025Ø
R.L: 38.160
INV: 37.409
- EXISTING STORMWATER CONNECTION
INV: 37.758

- NEW 5.5m CROSSOVER TO LGAT STANDARD DRAWINGS TSD-R09
- WATER MAIN. LOCATION AS PER SITE SURVEY BY ROGERSON AND BIRCH. LOCATED BY UDM
- RED FILL SHOWS EXTENT OF CARPORT INSIDE OF EASEMENT
- EARTHWORKS TO BE DESIGNED AND APPROVED BY ENGINEER. ALTERNATIVELY DESIGN BATTER ON SITE TO COMPLY WITH NCC 2022 3.2.1 & TABLE 3.2.1
- FALL GROUND AWAY FROM HOUSE A MINIMUM OF 50mm OVER FIRST 1000mm IN ACCORDANCE WITH AS2870, NCC 2022 PART 3.3.3 & FIGURE 3.3.3a
- STORMWATER LINE @ 1:100 TO EXISTING STORMWATER CONNECTION, WORKS BY REGISTERED PLUMBER
- EXISTING SEWER MANHOLE 1025Ø
R.L: 38.110
INV: 36.111

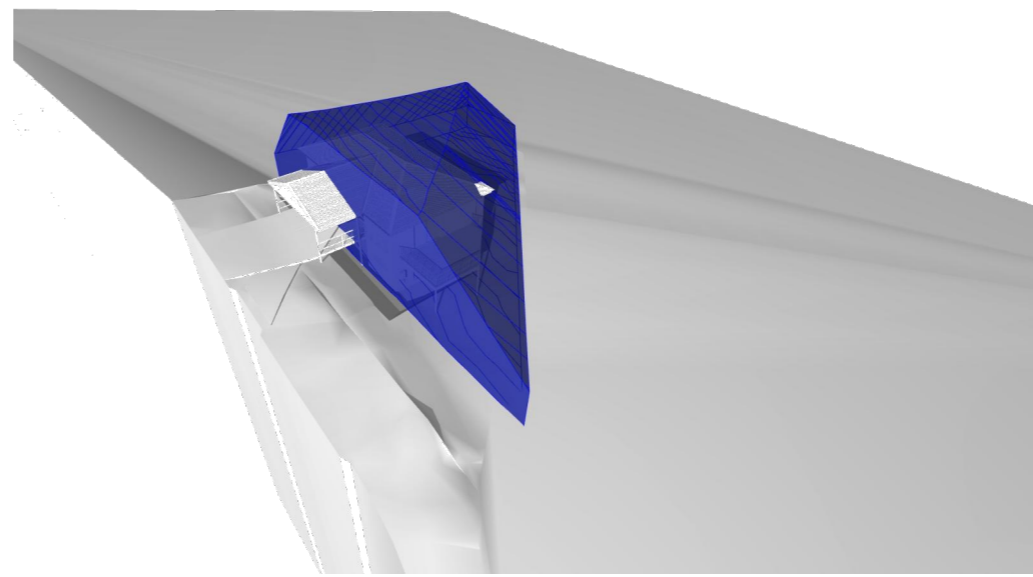
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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan Revision: DA - 06 Approved by: JRD	Scale: 1:200 @ A3 Pg. No: A.02	Proposal: Proposed Dwelling Client: Homes Tasmania Address: 33 Merindah Street, Howrah 7018	Date: 22/09/25 Drawn by: JRN Job No: 041-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td>Ch - 01</td> <td>24/09/25</td> <td>MM</td> </tr> <tr> <td>Ch - 02</td> <td>03/10/25</td> <td>JRN</td> </tr> <tr> <td>Ch - 03</td> <td>06/10/25</td> <td>MM</td> </tr> <tr> <td>Ch - 04</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 05</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 06</td> <td>06/11/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 07</td> <td>11/11/2025</td> <td>MM</td> </tr> </tbody> </table> <p style="font-size: 6px;">NOTE: Refer to cover page for further details on changes.</p>	Issue	Date	Designer	Ch - 01	24/09/25	MM	Ch - 02	03/10/25	JRN	Ch - 03	06/10/25	MM	Ch - 04	17/10/2025	MM	Ch - 05	17/10/2025	MM	Ch - 06	06/11/2025	MM	Ch - 07	11/11/2025	MM	These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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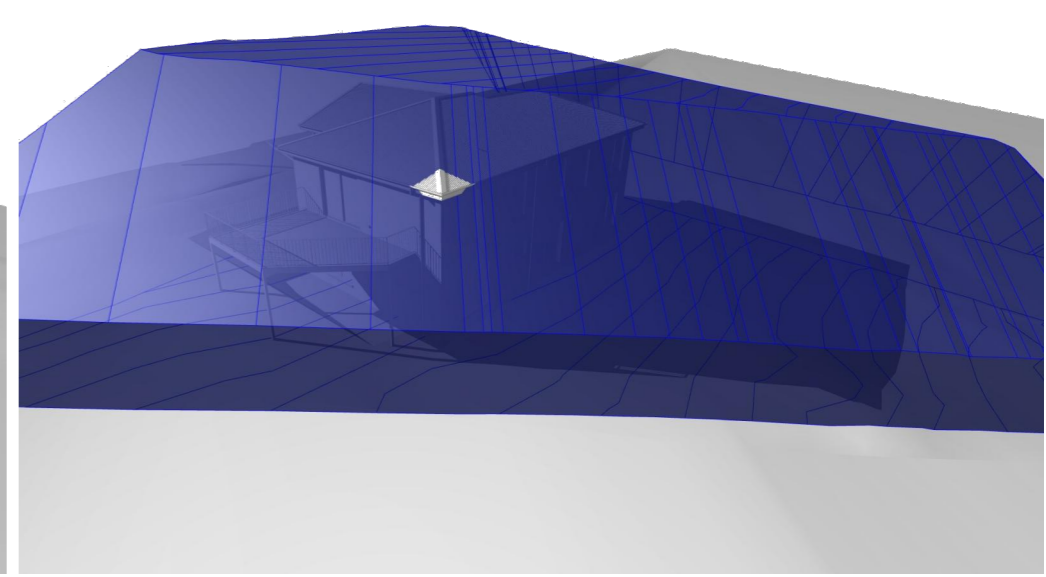


Perspective 01

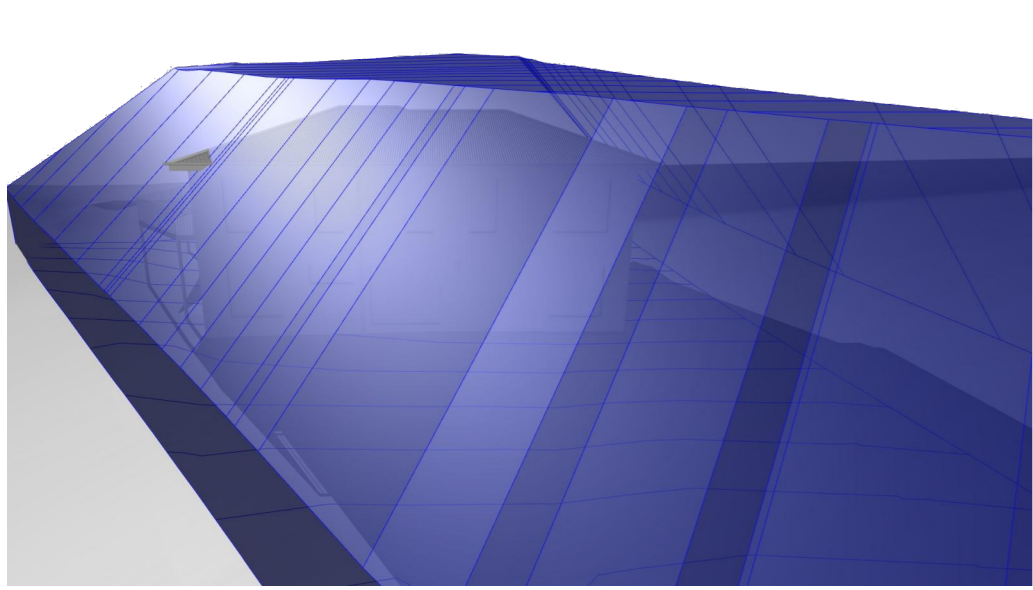
BUILDING ENVELOPE AS PER PLANNING SCHEME



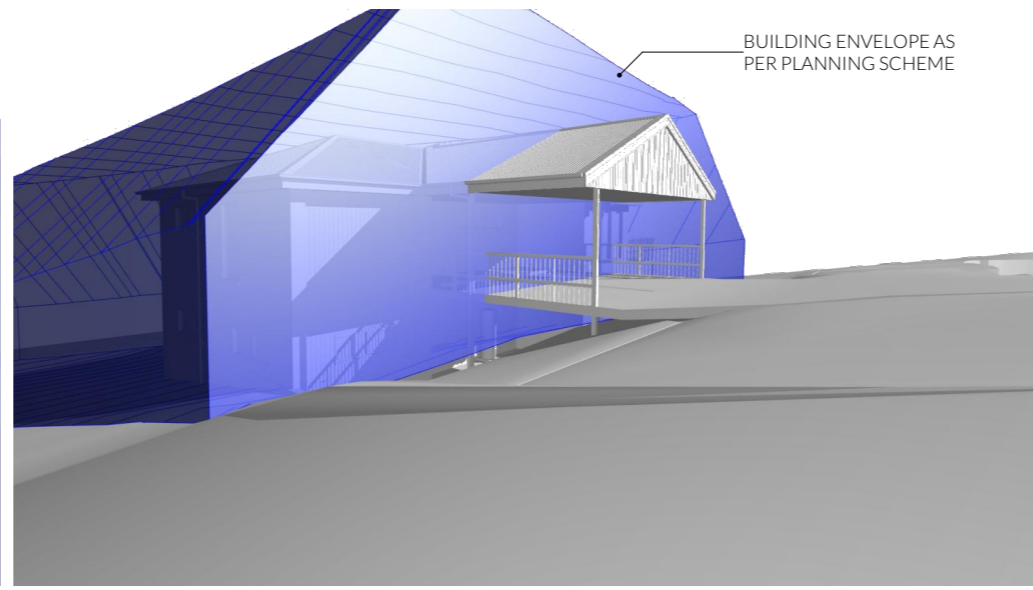
Perspective 02



Perspective 03

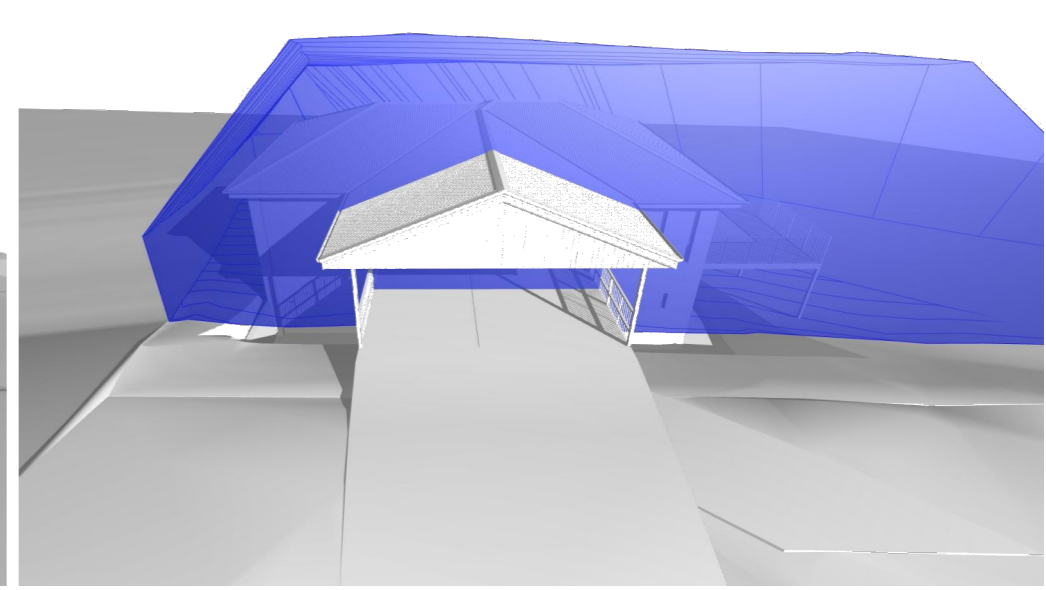


Perspective 04

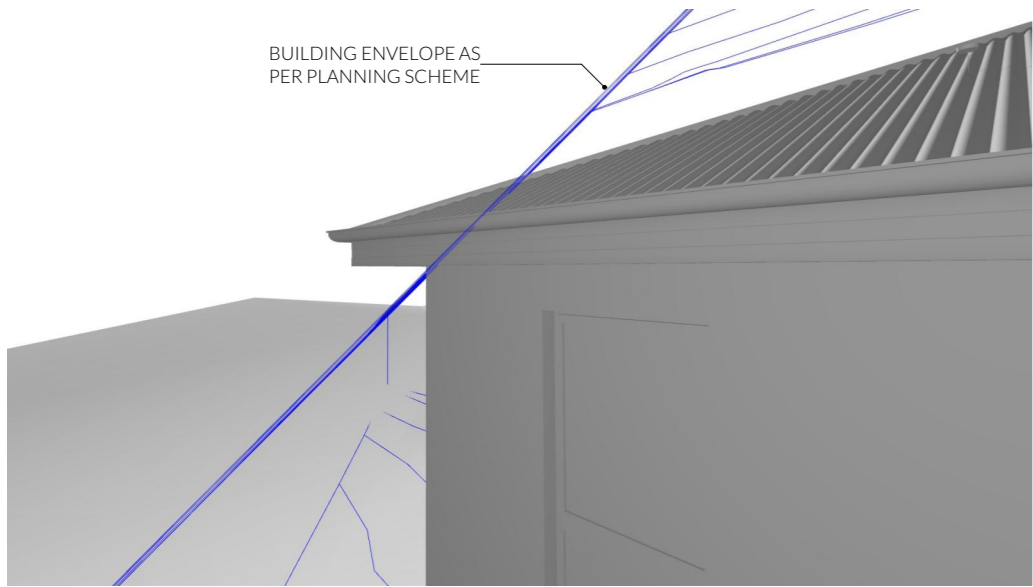


Perspective 05

BUILDING ENVELOPE AS PER PLANNING SCHEME

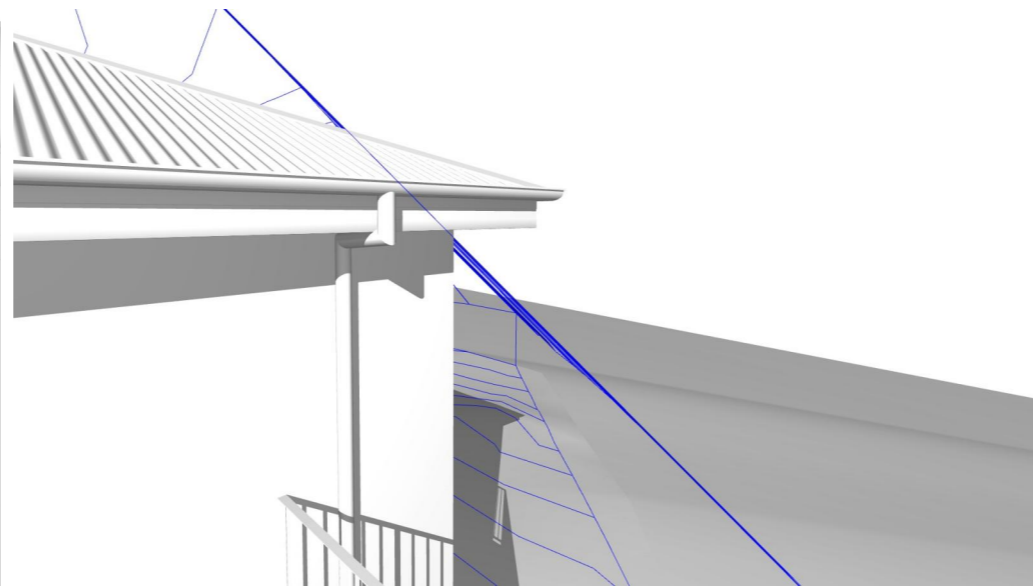


Perspective 06

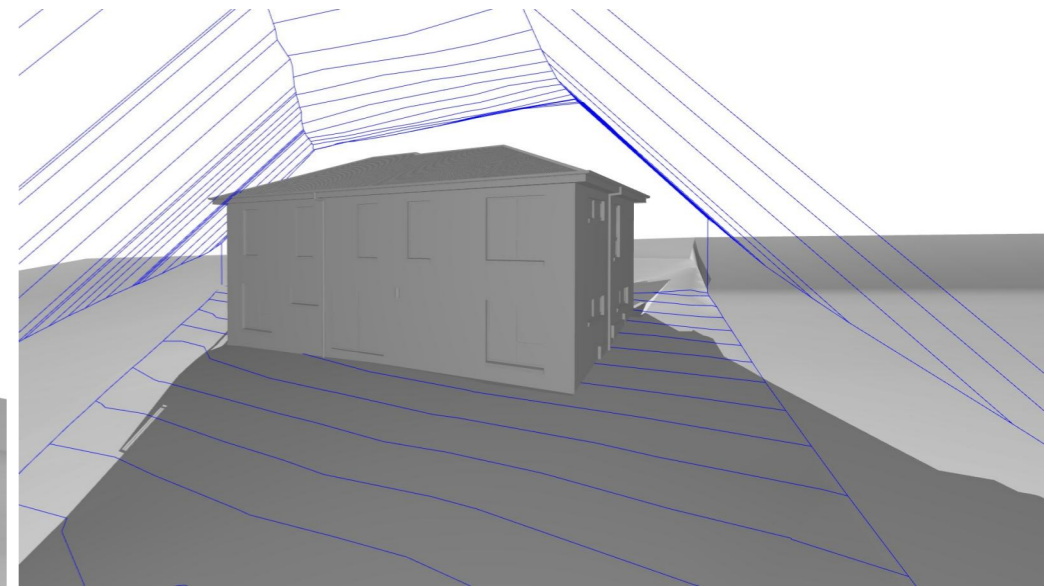


Perspective 07

BUILDING ENVELOPE AS PER PLANNING SCHEME



Perspective 08



Perspective 09

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Building Envelope
 Revision: DA - 06
 Approved by: JRD
 Scale: @ A3
 Pg. No: A.03

Proposal: Proposed Dwelling
 Client: Homes Tasmania
 Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
 Drawn by: JRN
 Job No: 041-2025
 Engineer: TBA
 Building Surveyor: TBA

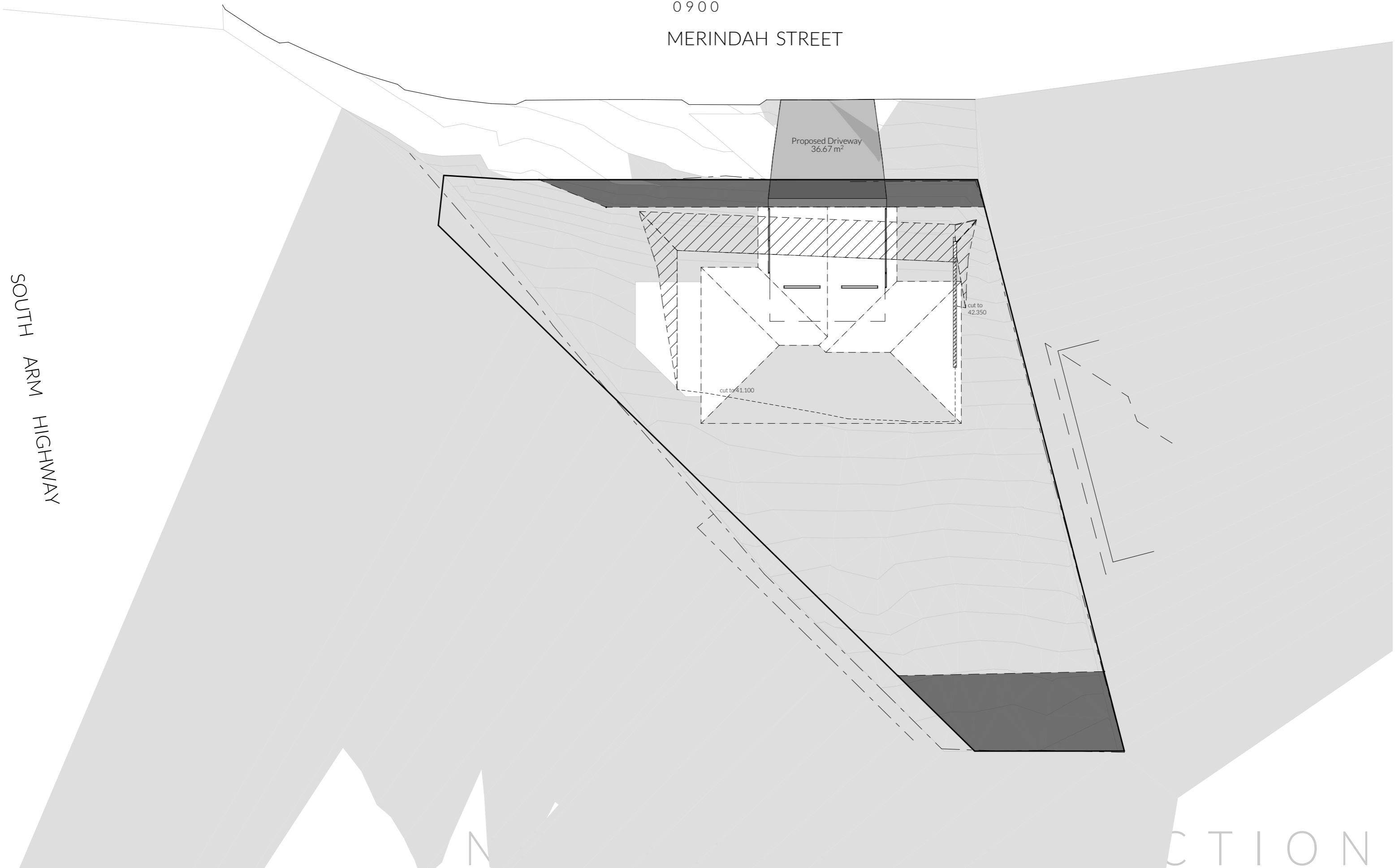
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Ch-03	06/10/25	JRN
Ch-04	17/10/2025	JRN
Ch-05	17/10/2025	JRN
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Revision: DA - 06
Approved by: JRD

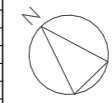
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Pg. No: A.04

Proposal: Proposed Dwelling
Client: Homes Tasmania
Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
Drawn by: JRN
Job No: 041-2025
Engineer: TBA
Building Surveyor: TBA

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Ch - 05	17/10/2025	MM
Ch - 06	06/11/2025	MM
Ch - 07	11/11/2025	MM

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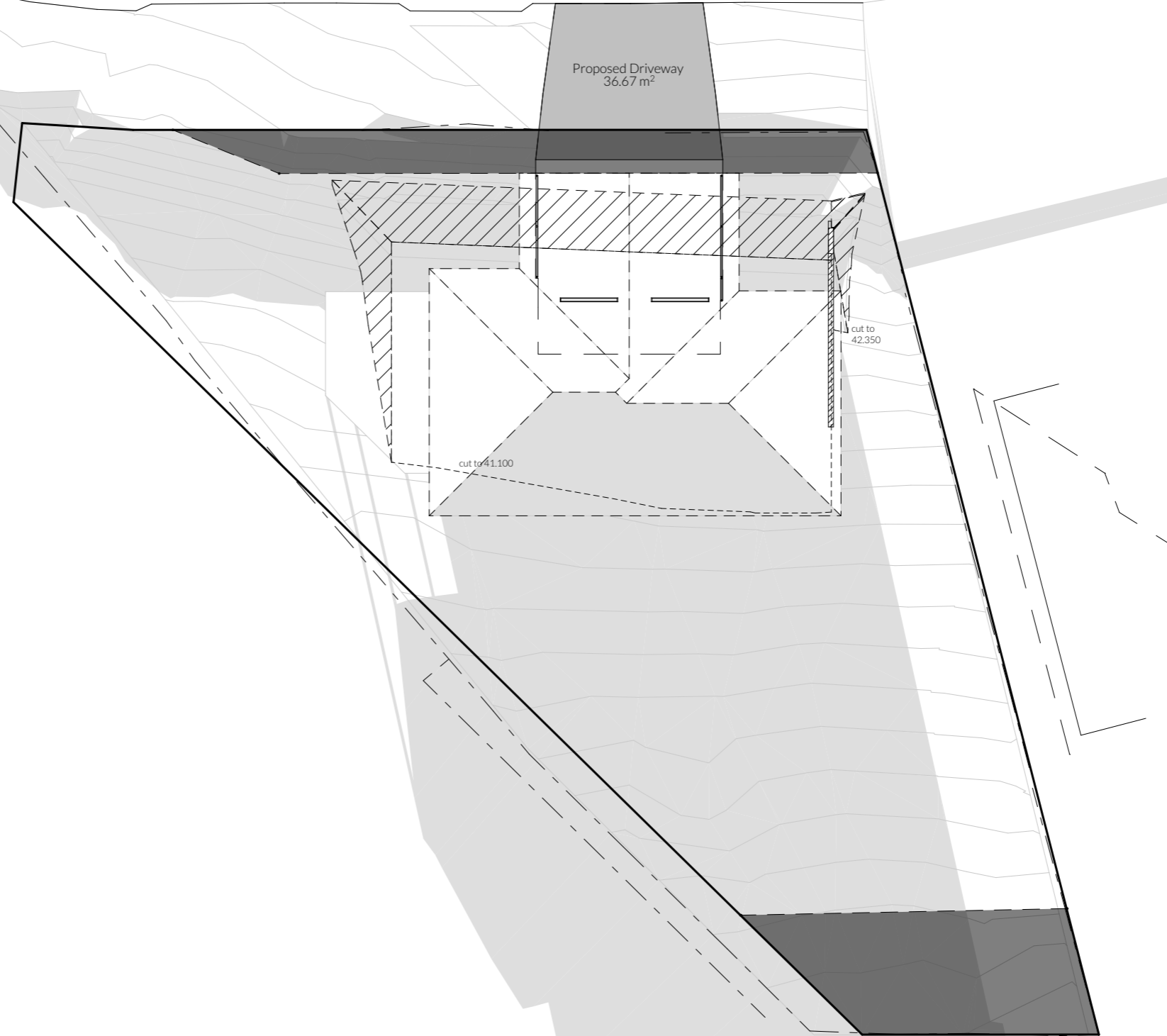


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Proposal: Proposed Dwelling
Client: Homes Tasmania
Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
Drawn by: JRN
Job No: 041-2025
Engineer: TBA
Building Surveyor: TBA

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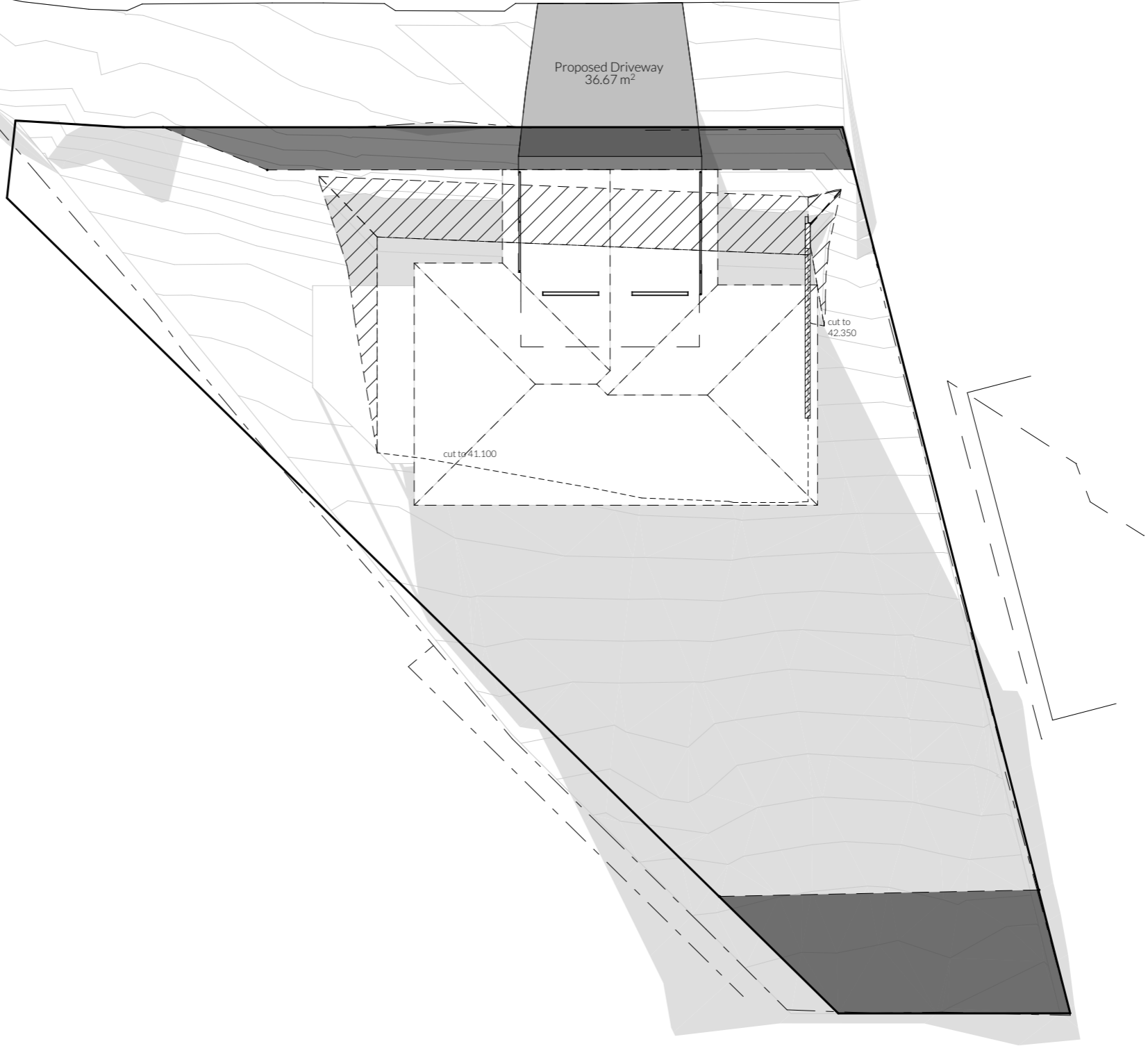


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Job No: 041-2025
Engineer: TBA
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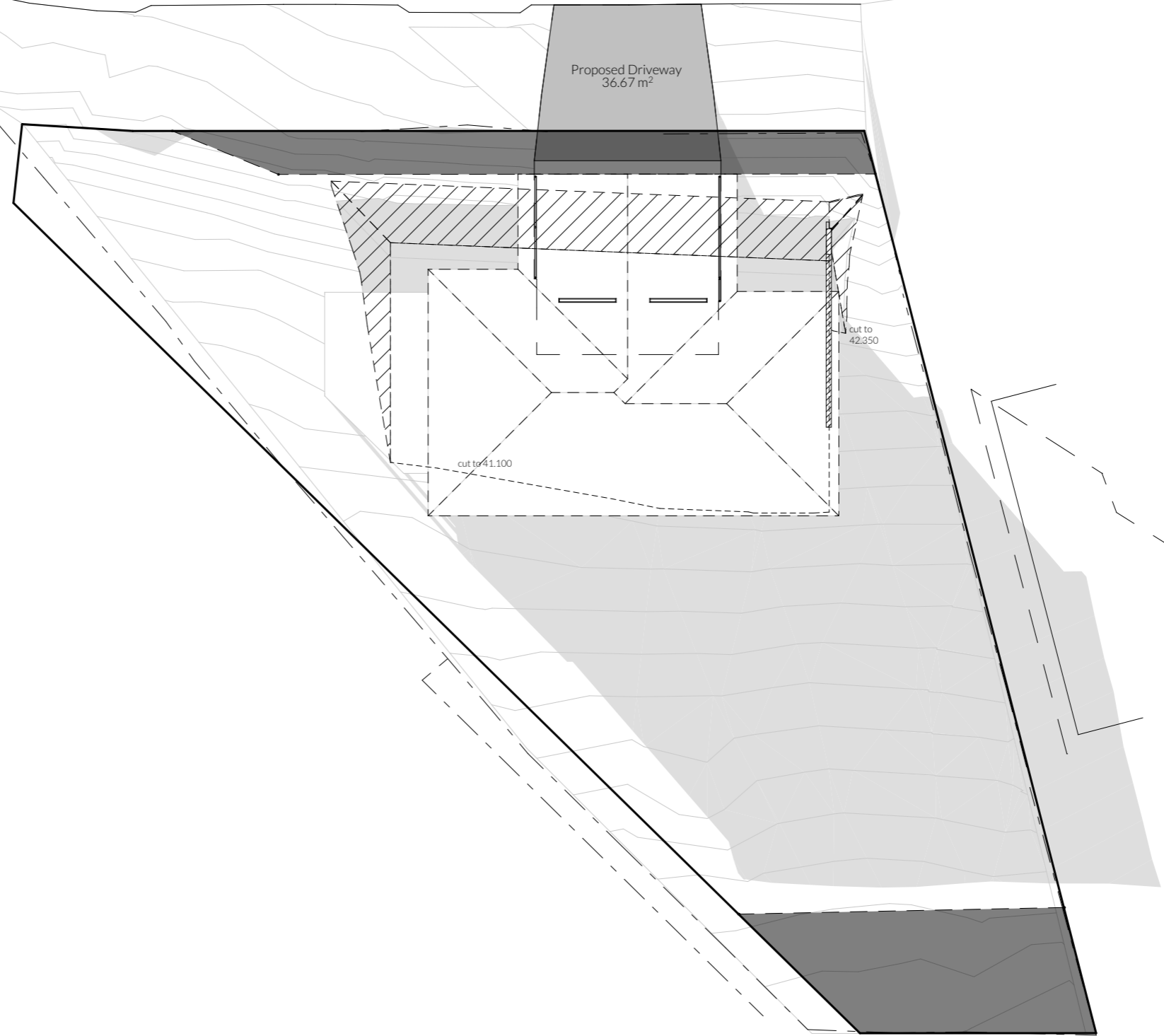


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Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
Drawn by: JRN
Job No: 041-2025
Engineer: TBA
Building Surveyor: TBA

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Ch - 04	17/10/2025	MM
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Ch - 06	06/11/2025	MM
Ch - 07	11/11/2025	MM

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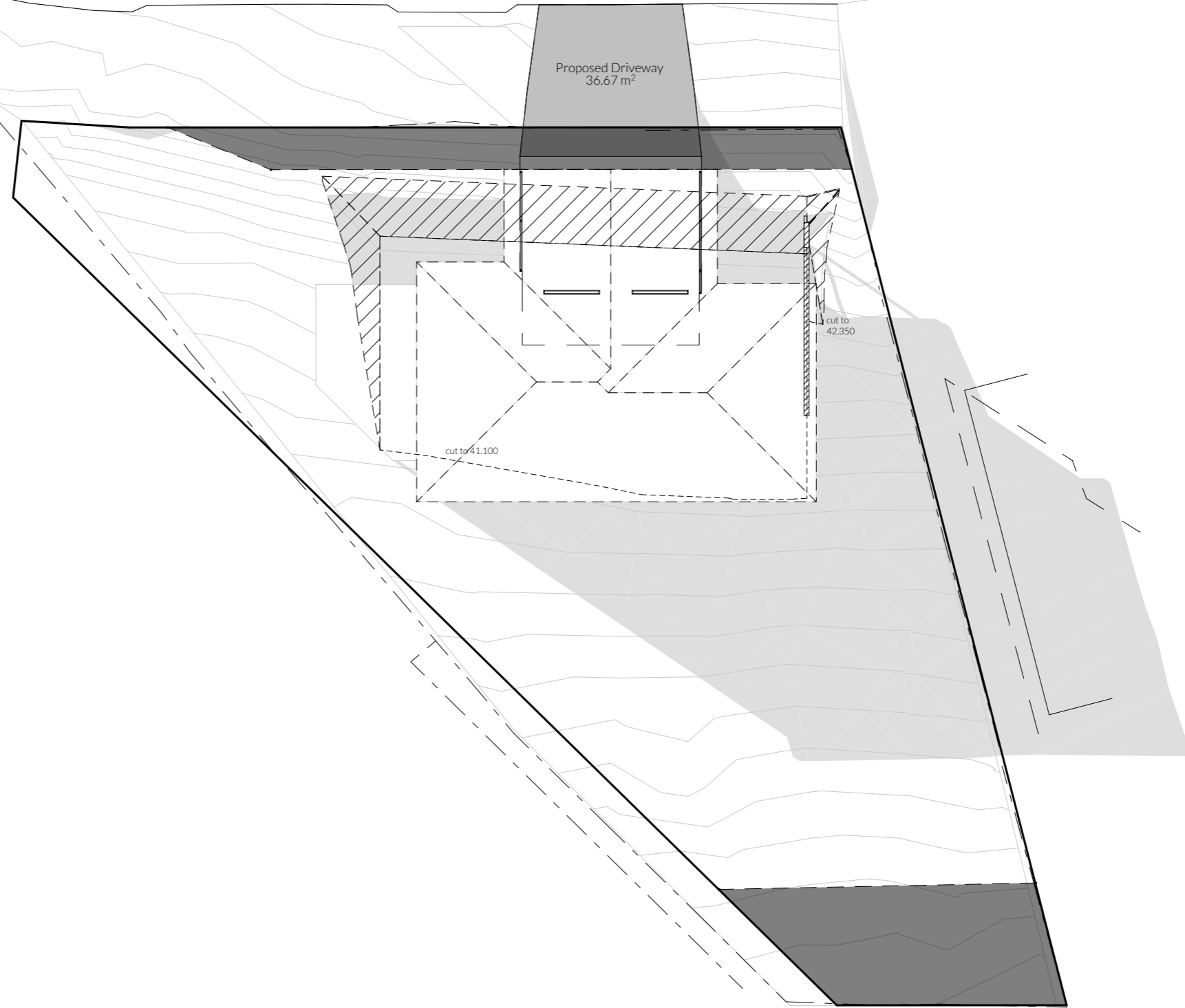


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Date: 22/09/25
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Building Surveyor: TBA

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Ch - 07	11/11/2025	MM

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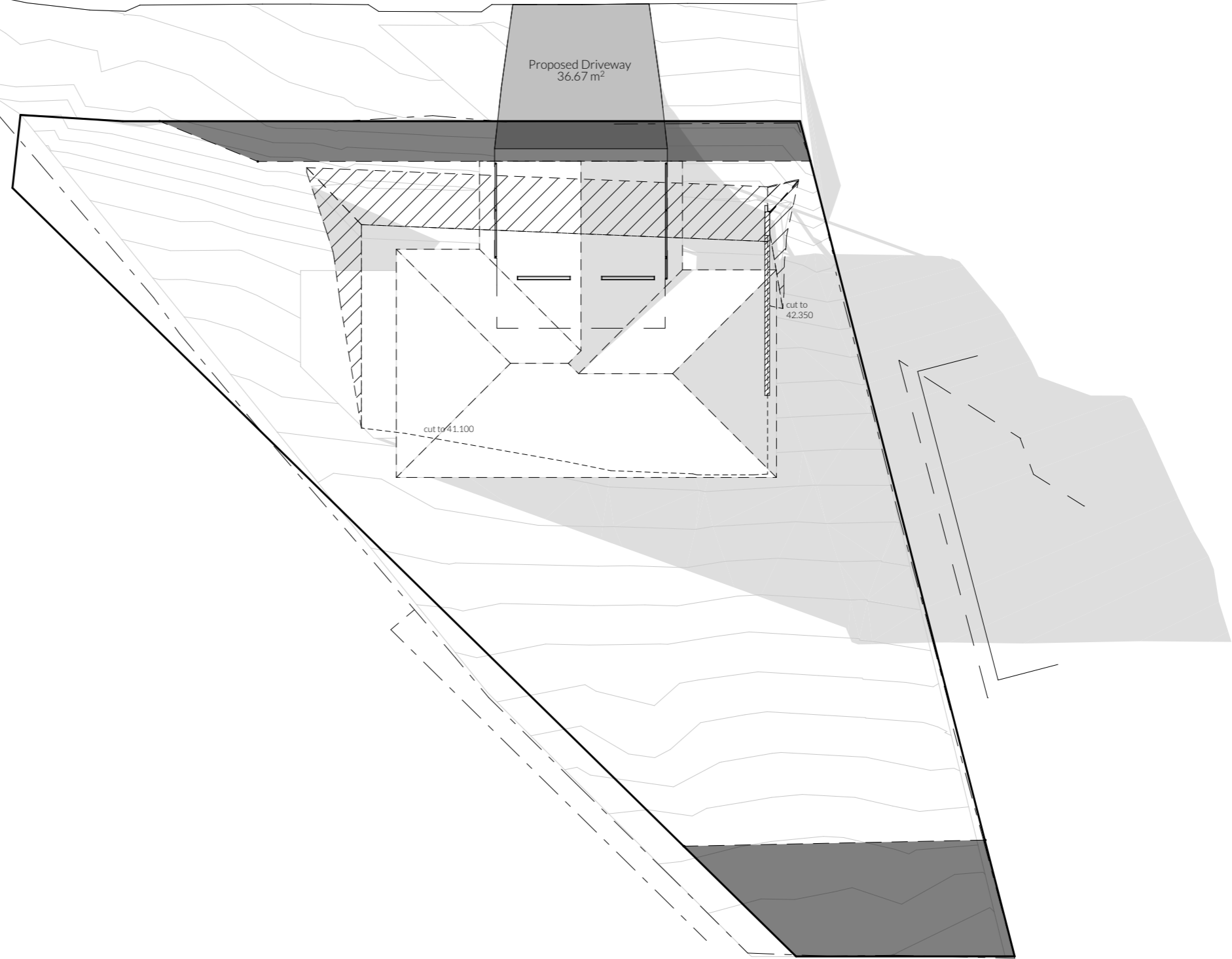


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Building Surveyor: TBA

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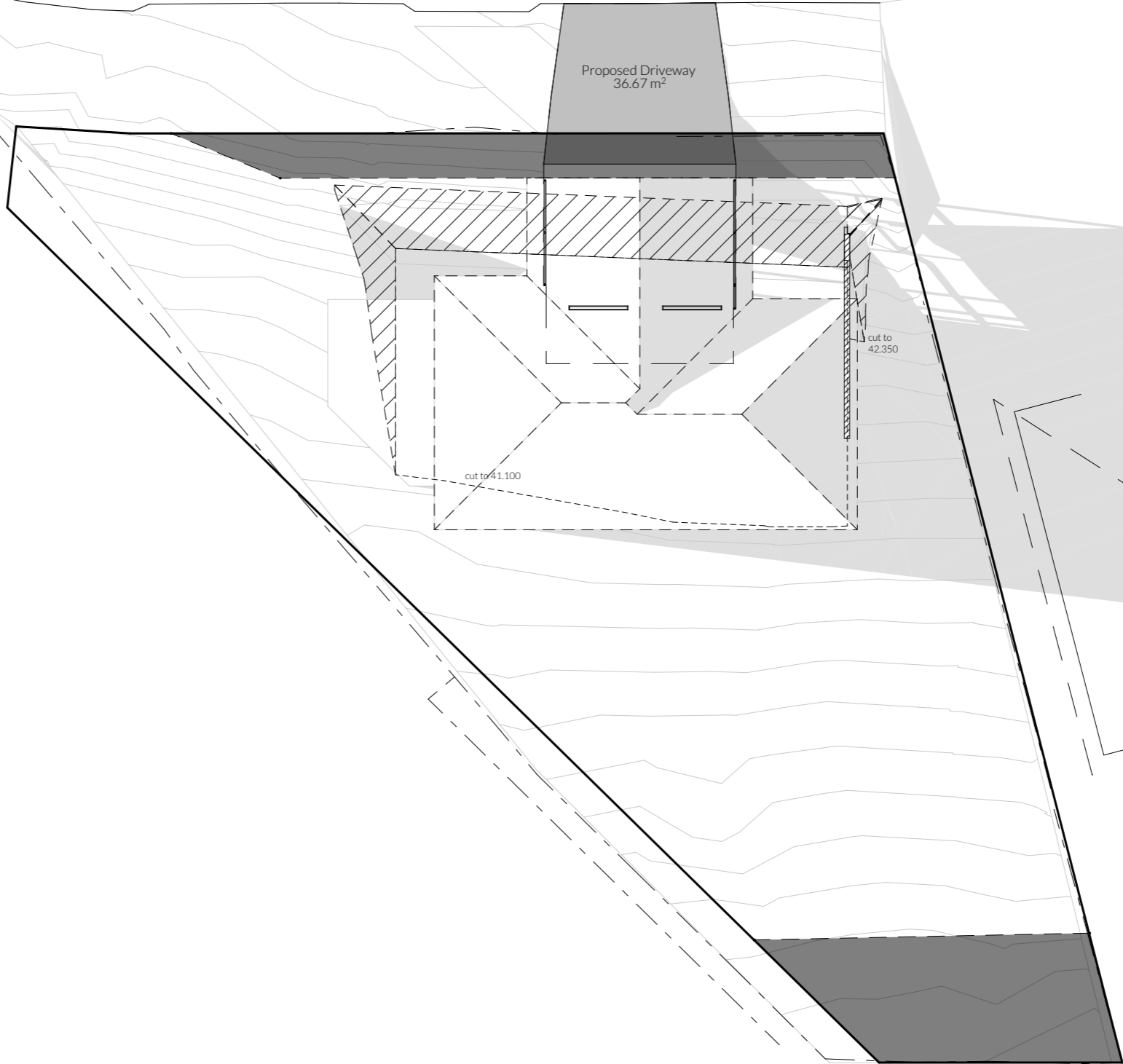


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Scale: 1:200 @ A3
Pg. No: A.10

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Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
Drawn by: JRN
Job No: 041-2025
Engineer: TBA
Building Surveyor: TBA

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- Access Panel
- Articulation Joint
- Smoke Alarm

Important Note
 Design Policy guidelines & Livable Housing Design Guidelines for silver generally with Gold compliance to Bedrooms, Bathrooms and Laundry

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
 Riser: Min 115mm - Max 190mm
 Going: Min 240mm - Max 355mm
 Slope (2R+G): Max 550 - Min 700
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

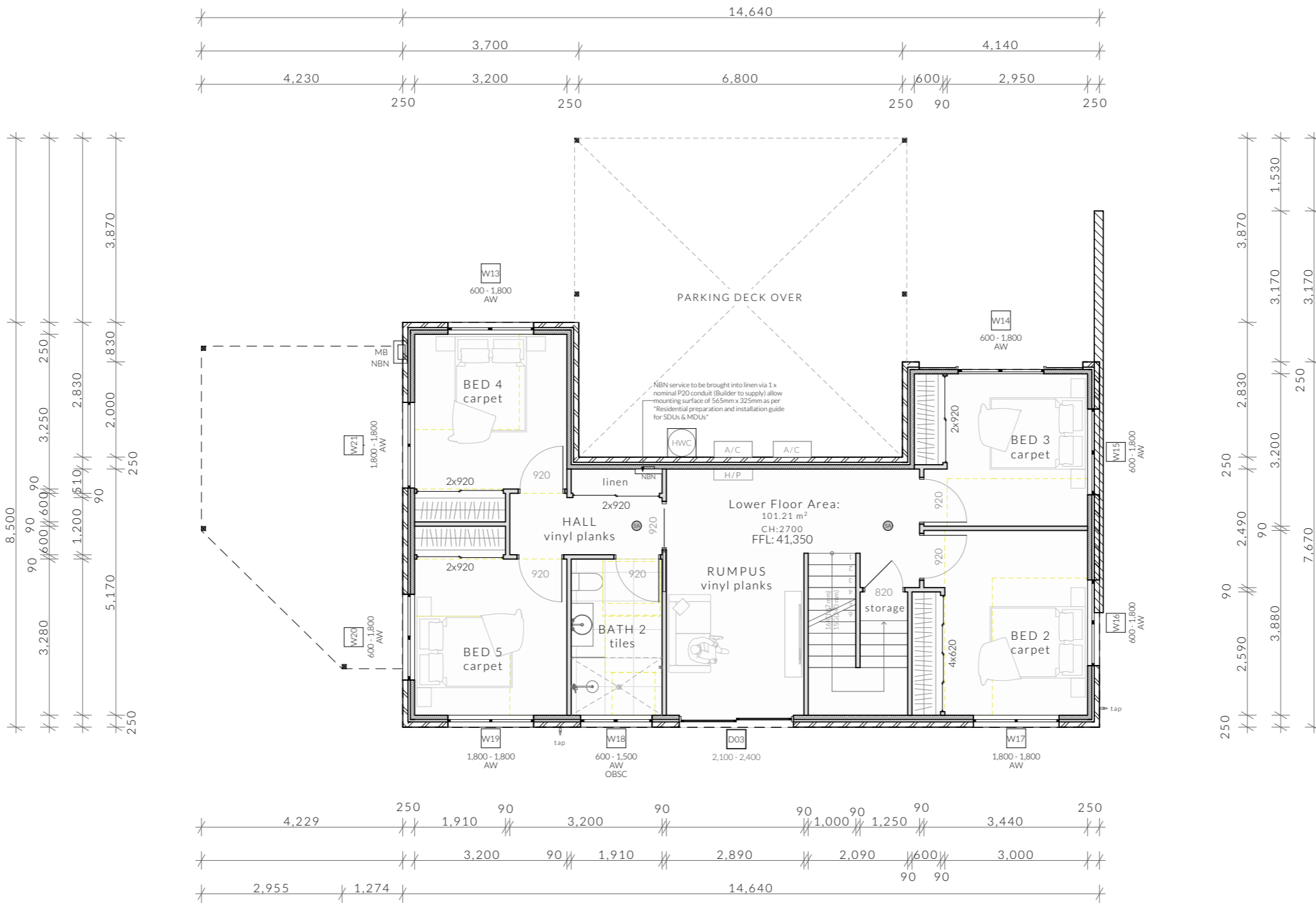
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

- in a habitable room excluding a kitchen - 2.4 m; and
- in a kitchen - 2.1 m; and
- in a corridor, passageway or the like - 2.1 m; and
- in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



Floor Areas

Carport	46.33
Deck	24.36
Lower Floor Area:	101.21
Upper Floor Area:	101.21
Total	273.11 m²

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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Floor Plan - Lower Revision: DA - 06 Approved by: JRD	Scale: 1:100 @ A3 Pg. No: A.11	Proposal: Proposed Dwelling Client: Homes Tasmania Address: 33 Merindah Street, Howrah 7018	Date: 22/09/25 Drawn by: JRN Job No: 041-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td>Ch - 01</td> <td>24/09/25</td> <td>MM</td> </tr> <tr> <td>Ch - 02</td> <td>03/10/25</td> <td>JRN</td> </tr> <tr> <td>Ch - 03</td> <td>06/10/25</td> <td>MM</td> </tr> <tr> <td>Ch - 04</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 05</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 06</td> <td>06/11/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 07</td> <td>11/11/2025</td> <td>MM</td> </tr> </tbody> </table>	Issue	Date	Designer	Ch - 01	24/09/25	MM	Ch - 02	03/10/25	JRN	Ch - 03	06/10/25	MM	Ch - 04	17/10/2025	MM	Ch - 05	17/10/2025	MM	Ch - 06	06/11/2025	MM	Ch - 07	11/11/2025	MM		<p>These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</p>	
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Access Panel



Articulation Joint



Smoke Alarm

Important Note

Design Policy guidelines & Livable Housing Design Guidelines for silver generally with Gold compliance to Bedrooms, Bathrooms and Laundry

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -
- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

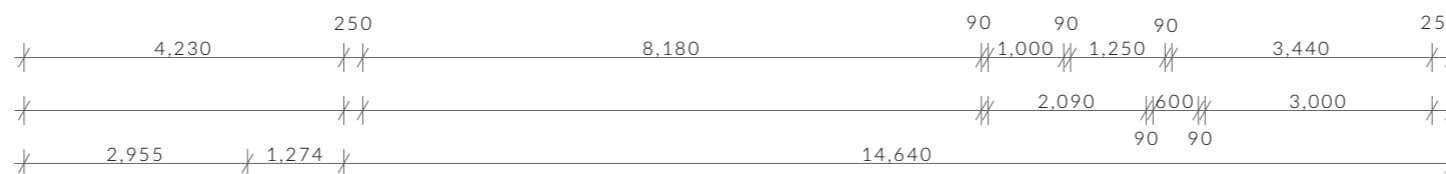
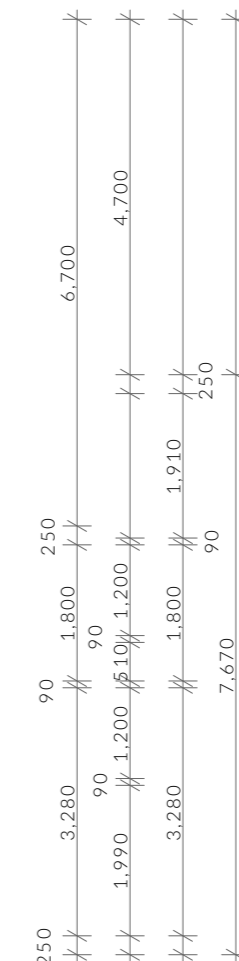
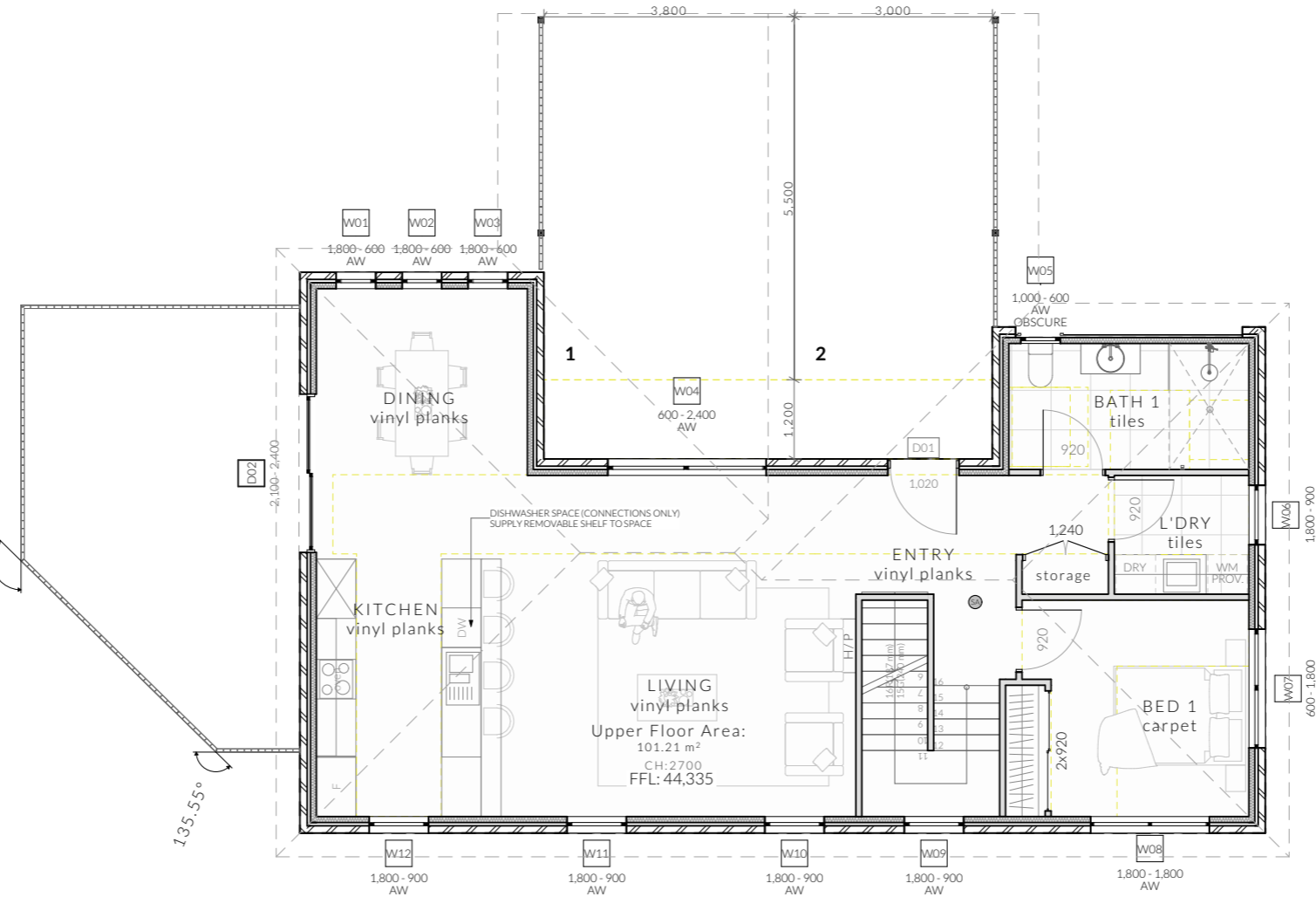
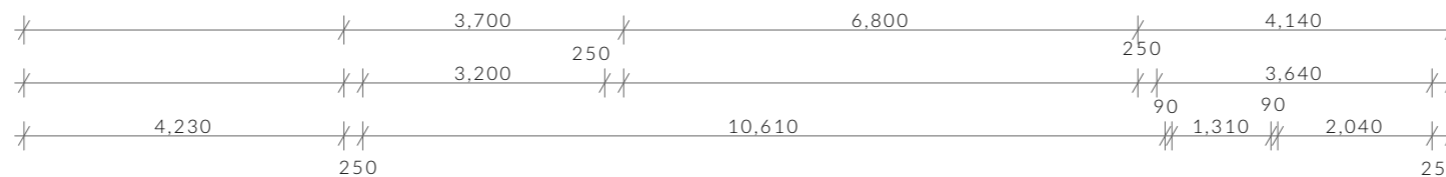
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
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03 6248 4218
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www.pinnacledrafting.com.au
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Floor Plan - Upper

Revision: DA - 06
Approved by: JRD

Scale: 1:100 @ A3
Pg. No: A.12

Proposal: Proposed Dwelling
Client: Homes Tasmania
Address: 33 Merindah Street, Howrah 7018

Date: 22/09/25
Drawn by: JRN
Job No: 041-2025
Engineer: TBA
Building Surveyor: TBA

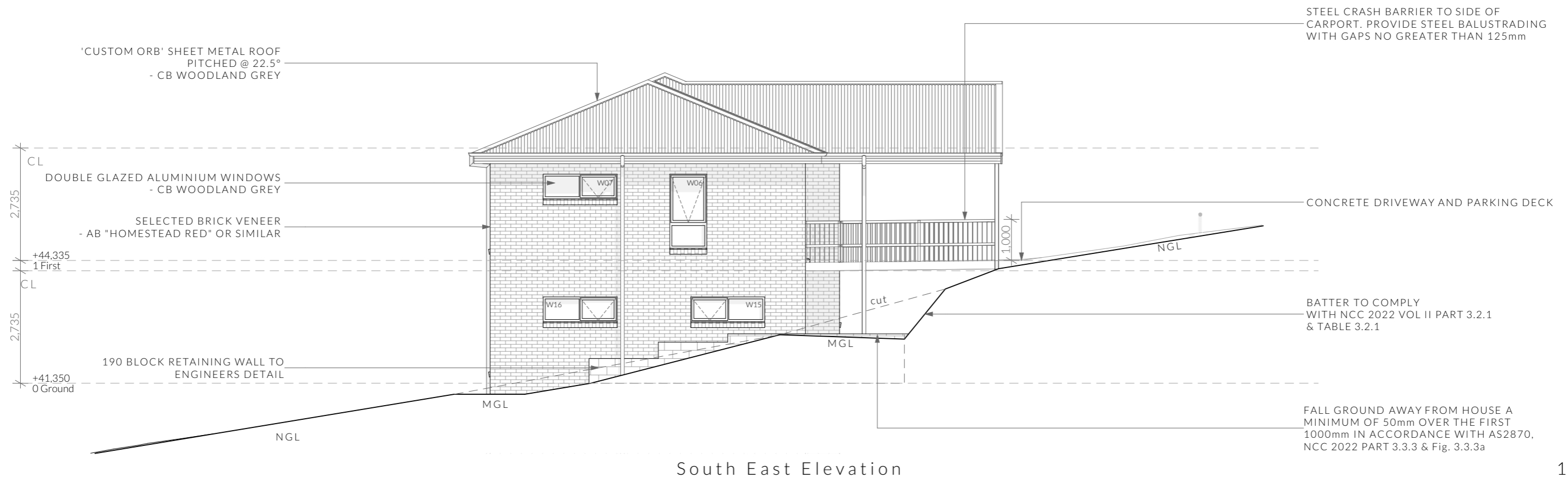
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NOTE: Refer to cover page for further details on changes.



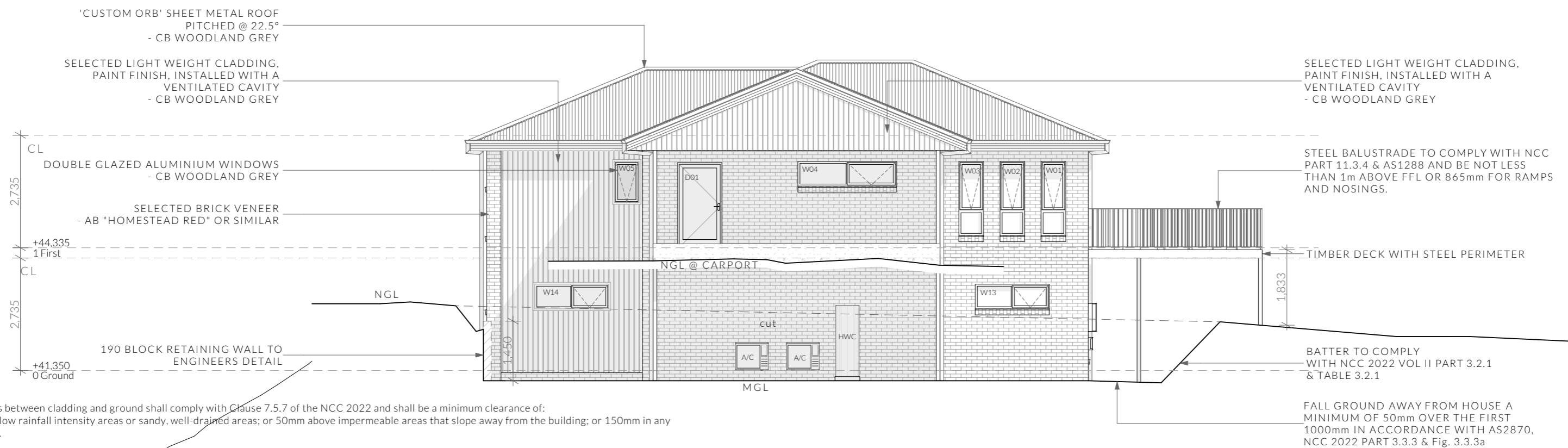
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South East Elevation

1:100



North East Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.
Wall cladding must extend a minimum of 50mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

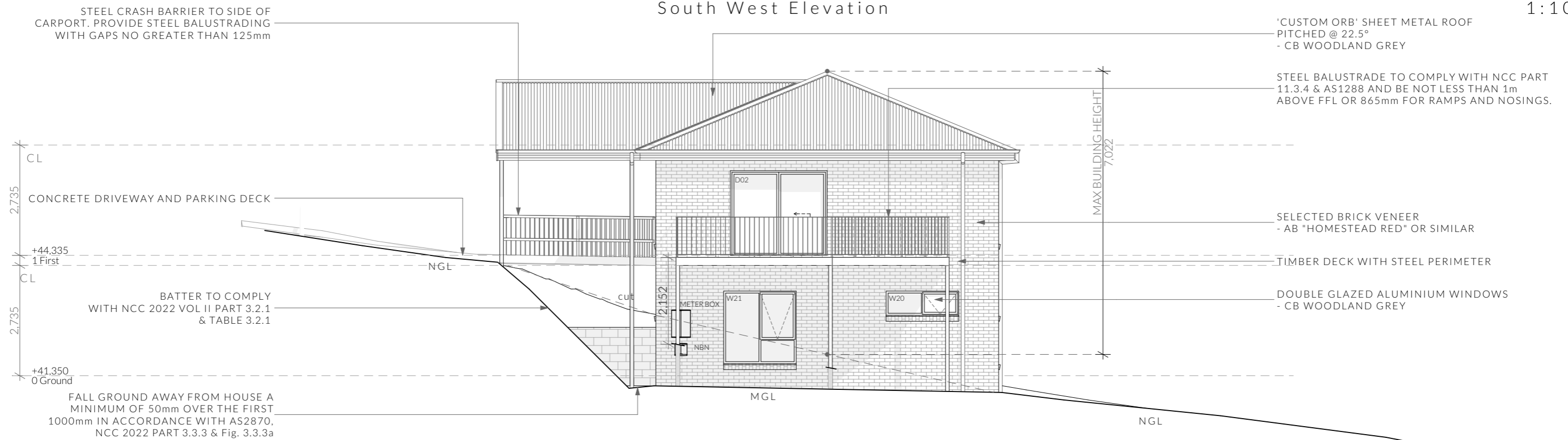
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations Revision: DA - 06 Approved by: JRD	Scale: 1:100 @ A3 Pg. No: A.13	Proposal: Proposed Dwelling Client: Homes Tasmania Address: 33 Merindah Street, Howrah 7018	Date: 22/09/25 Drawn by: JRN Job No: 041-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td>Ch - 01</td> <td>24/09/25</td> <td>MM</td> </tr> <tr> <td>Ch - 02</td> <td>03/10/25</td> <td>JRN</td> </tr> <tr> <td>Ch - 03</td> <td>06/10/25</td> <td>MM</td> </tr> <tr> <td>Ch - 04</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 05</td> <td>17/10/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 06</td> <td>06/11/2025</td> <td>MM</td> </tr> <tr> <td>Ch - 07</td> <td>11/11/2025</td> <td>MM</td> </tr> </tbody> </table>	Issue	Date	Designer	Ch - 01	24/09/25	MM	Ch - 02	03/10/25	JRN	Ch - 03	06/10/25	MM	Ch - 04	17/10/2025	MM	Ch - 05	17/10/2025	MM	Ch - 06	06/11/2025	MM	Ch - 07	11/11/2025	MM	These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
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1:100



North West Elevation

1:100

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Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

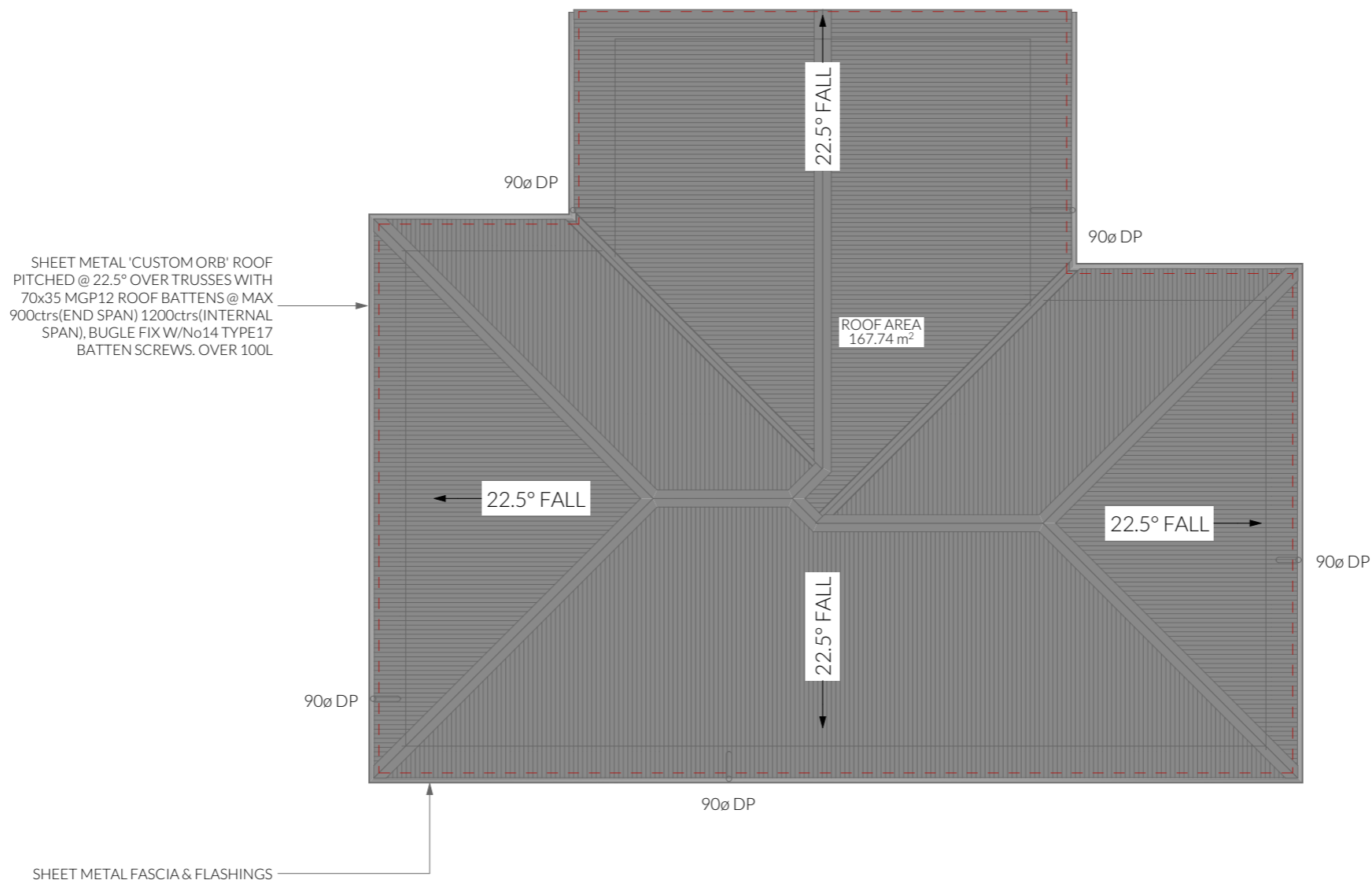
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm ² /m provided at the eaves and 5,000 mm ² /m at high level, plus an additional 18,000 mm ² /m at the eaves if the roof has a cathedral ceiling
(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



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ELECTRICAL LEGEND - Lower Floor

Symbol	Description	Allowance	Quantity
▽ ^P	DATA- CAT 6 (RJ45) - 1 GANG		2
⏏ ^{TV}	DATA- TV CONNECTION		1
⊞	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
⊞	FAN - CEILING - EXHAUST		1
2	GPO - (2) DOUBLE		15
⊗ _R	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	13
⊗ _{W1}	LIGHT - WALL MOUNTED - TYPE 1	10W	1
⊙	SERVICE - SMOKE ALARM		2
⏏	SWITCH - LIGHT 1 GANG		6
2⏏	SWITCH - LIGHT 2 GANG		2

Notes

U.N.O ceilings are to be plasterboard.

- ▷----▷ Dimmable Circuit
- τ----τ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of- (a)25 L/s for a bathroom or sanitary compartment; and (b)40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must- (a)be interlocked with the room's light switch; and (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

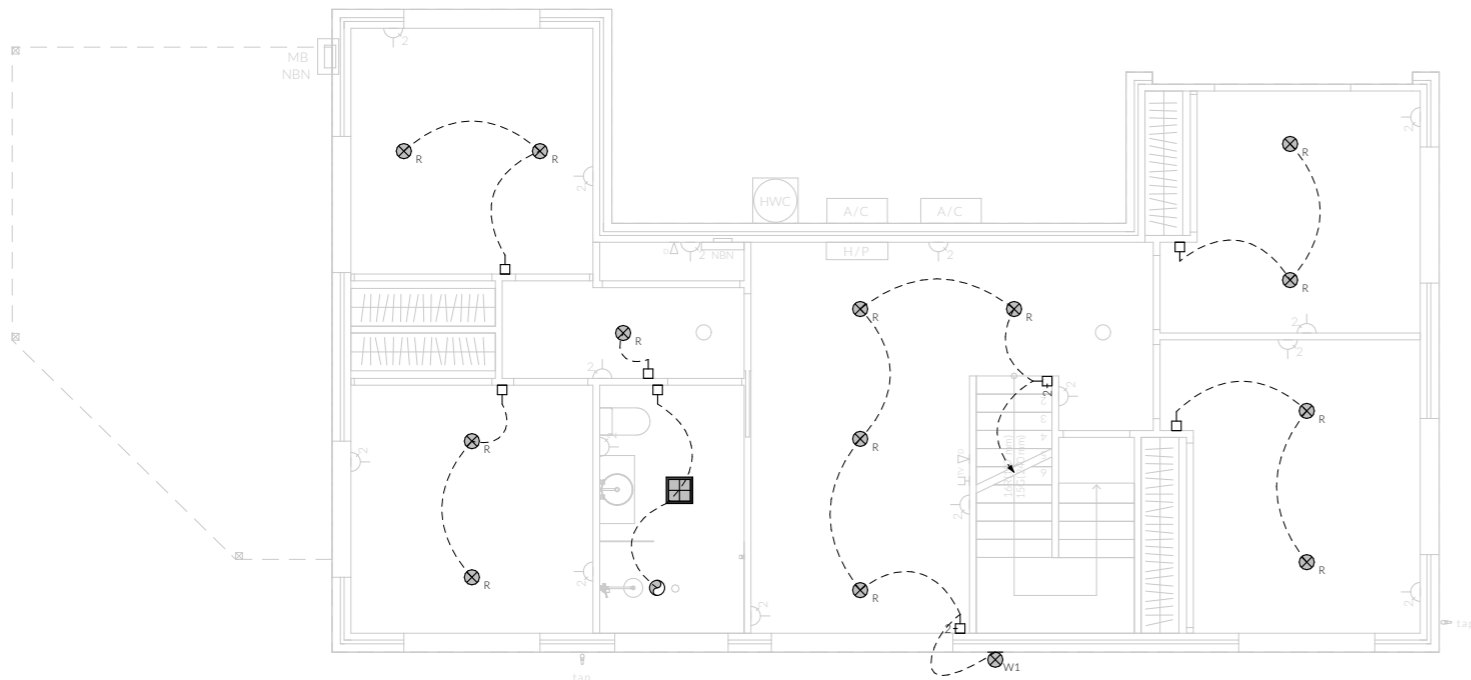
- (a)be located in- (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and
- (b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

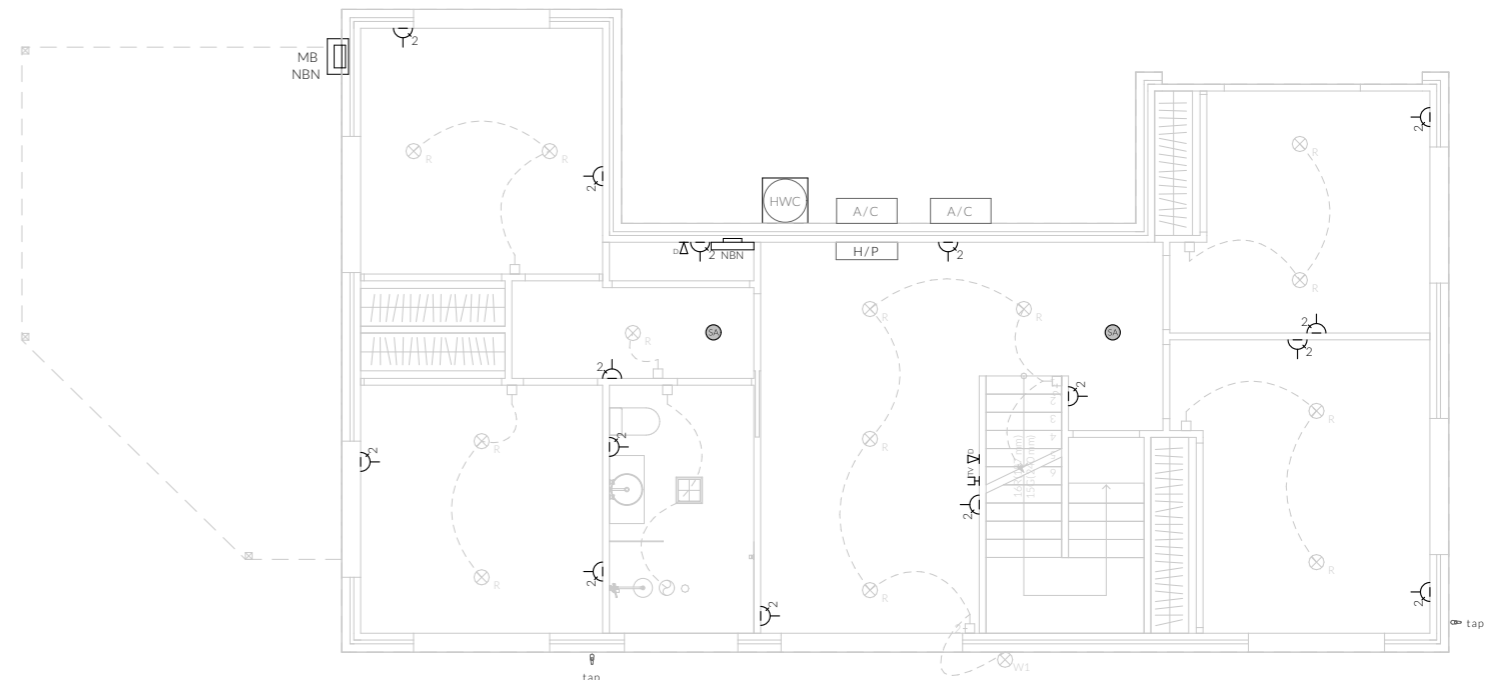
- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b)each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

- (a)Where a smoke alarm is located on the ceiling it must be- (i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and (ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.



Electrical Plan - Lower - Light/Reflected Ceiling



Electrical Plan - Lower - Power

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ELECTRICAL LEGEND - Upper Floor

Symbol	Description	Allowance	Quantity
▽ ^P	DATA- CAT 6 (RJ45) - 1 GANG		2
⌚ ^{TV}	DATA- TV CONNECTION		2
■	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
⊙	FAN - CEILING - EXHAUST		1
⌒	GPO - (1) SINGLE		4
⌒ ²	GPO - (2) DOUBLE		15
⌒ ² ISO	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
⌒ ² W/PROOF	GPO - WEATHER PROOF DOUBLE		2
⊗ _R	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	24
⊗ _{P1}	LIGHT - CEILING - PENDANT - TYPE 1	10W	3
⊙	SERVICE - SMOKE ALARM		1
⌚	SWITCH - LIGHT 1 GANG		4
⌚ ³	SWITCH - LIGHT 3 GANG		1
⌚ ⁵	SWITCH - LIGHT 5 GANG		1

Notes

U.N.O ceilings are to be plasterboard.

- ▷----▷ Dimmable Circuit
- ↑----↑ Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of- (a)25 L/s for a bathroom or sanitary compartment; and (b)40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must- (a)be interlocked with the room's light switch; and (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

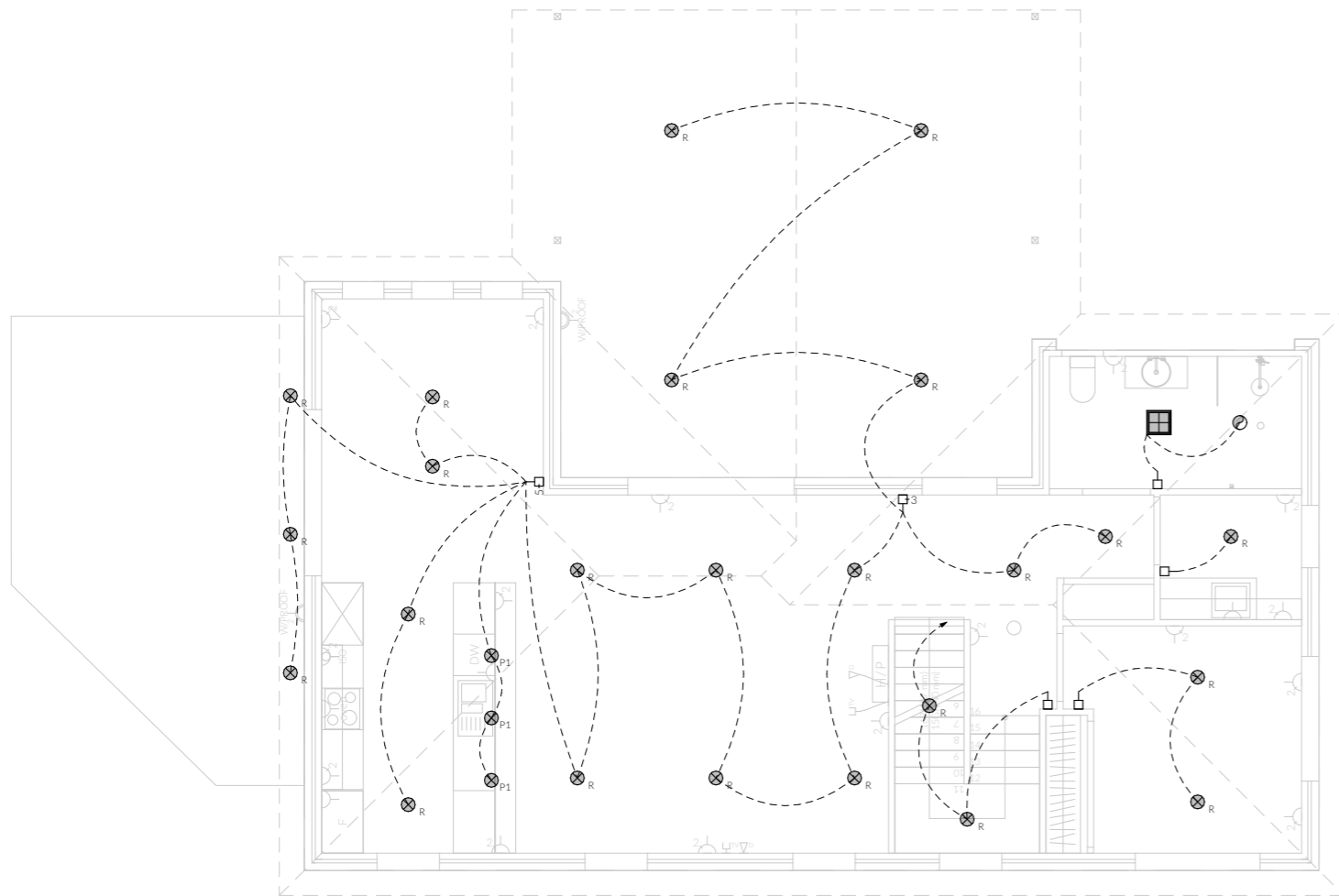
- (a)be located in- (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and
- (b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

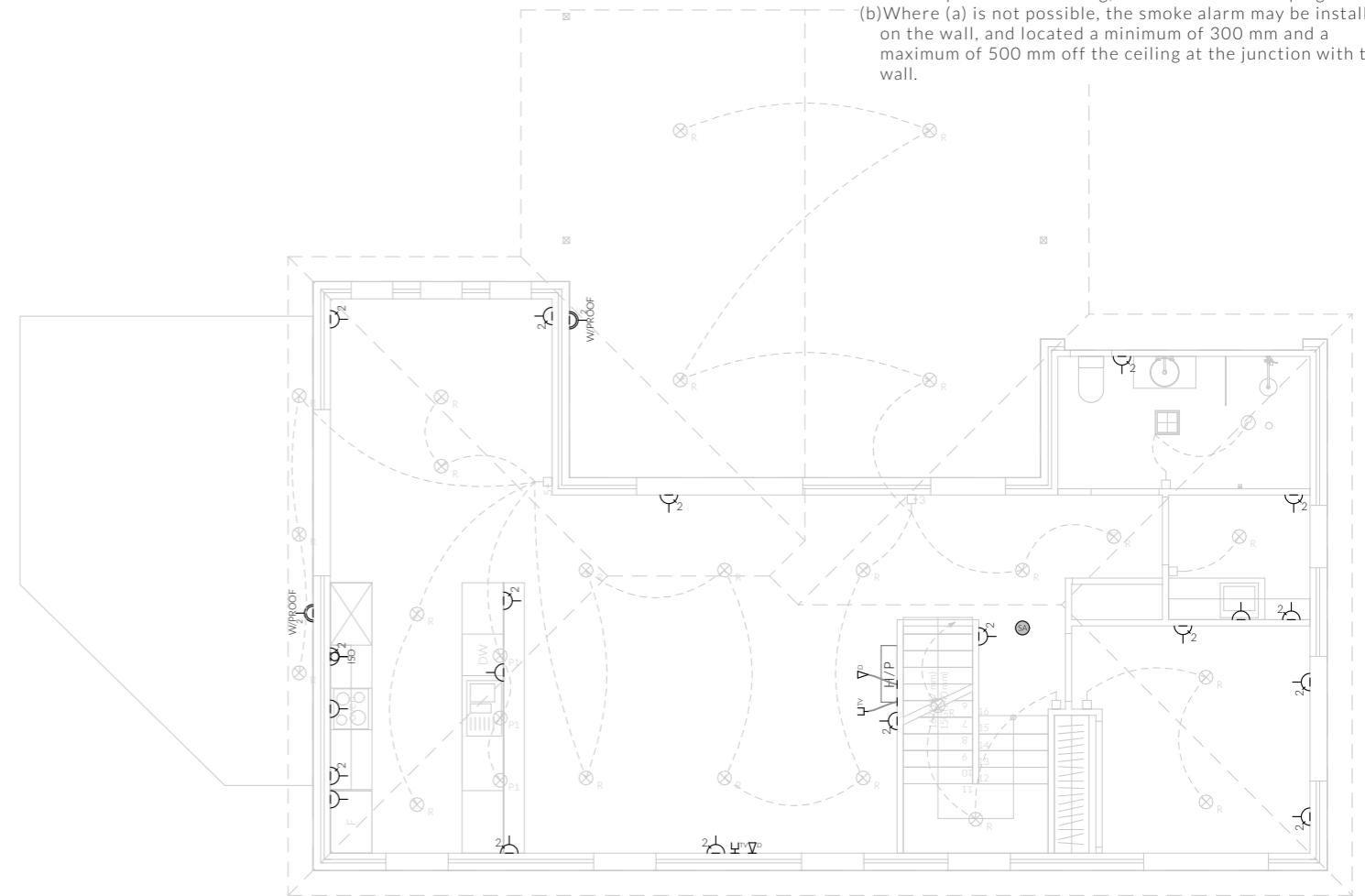
- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
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Electrical Plan - Upper - Light/Reflected Ceiling



Electrical Plan - Upper - Power

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33 Merindah Street

Traffic Noise Assessment



Ref: 25100 33 Merindah Street TNA

14th October 2025

33 Merindah Street Traffic Noise Assessment

Prepared for:
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Document Control

Reference	Date	Author	Reviewed	Comments
25100 33 Merindah Street TNA	14/10/2025	S Williamson	J Parry	Issued

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1. BACKGROUND

A residential dwelling is proposed for construction on an existing vacant lot located at 33 Merindah Street, Howrah. As the proposed development is for sensitive use, Council has requested a traffic noise assessment to determine likely compliance with the Road and Railway Assets Code under the Tasmanian Planning Scheme (the Scheme). This report presents the results of such a traffic noise assessment, completed by NVC in October 2025.

1.1. Site and Surrounding Area

The site is an existing vacant lot located at 33 Merindah Street, Howrah, and is shown by the solid white outline in Figure 1.1, below. The site is within a General Residential zone under the Scheme (red overlay in Figure 1.1) and is bordered to the west by South Arm Highway, a major thoroughfare between Hobart’s south-eastern suburbs and the Hobart CBD (Utilities zone - yellow overlay in Figure 1.1). South Arm Highway carries significant light and heavy vehicles, has a sign-posted speed limit of 80 km/h, and consists of two lanes travelling in each direction.

The site is located nominally 6 m above the highway, with a steep embankment down to the road surface. As such, the site is substantially screened from vehicles passing by on South Arm Highway. In addition to the topographical screening provided by the embankment, additional acoustic screening is provided by a nominally 1.6 m high lapped timber fence located along the site’s southern and western boundaries, as well as an approximately 3.4 m tall acoustic barrier that runs parallel with the highway (blue lines in Figure 1.1). The acoustic barrier blocks line-of-sight between the majority of the site and South Arm Highway, with the exception of a small section to the south, where a small portion of roadway remains visible. See figures A.1 and A.2 in Appendix A for figures showing the existing noise barrier and the aforementioned embankment.

Overall, the combination of the site’s elevated position, steep slope, existing boundary fences, and the existing highway noise barrier provides substantial acoustic screening from vehicles on South Arm Highway.



FIGURE 1.1: SITE AND SURROUNDING AREA

1.2. Proposed Development

The proposal comprises a two-storey residential dwelling, with the preliminary site plan and western elevation shown in figures 1.2 and 1.3, respectively.

The dwelling is proposed to be of brick veneer construction with a typical Colorbond sheet metal roof. Windows are indicated on all façades of the building, with the western façade facing South Arm Highway comprising several glazed doors at both ground and first-floor levels. All glazing is proposed to be double-glazed, although specific products or performance details have not yet been provided.

An outdoor deck is proposed on the north-western façade of the second storey (see Figure 1.3, below), oriented toward South Arm Highway and accessed via a sliding glass door from the main living area. This area is expected to experience the highest external noise exposure from highway traffic.

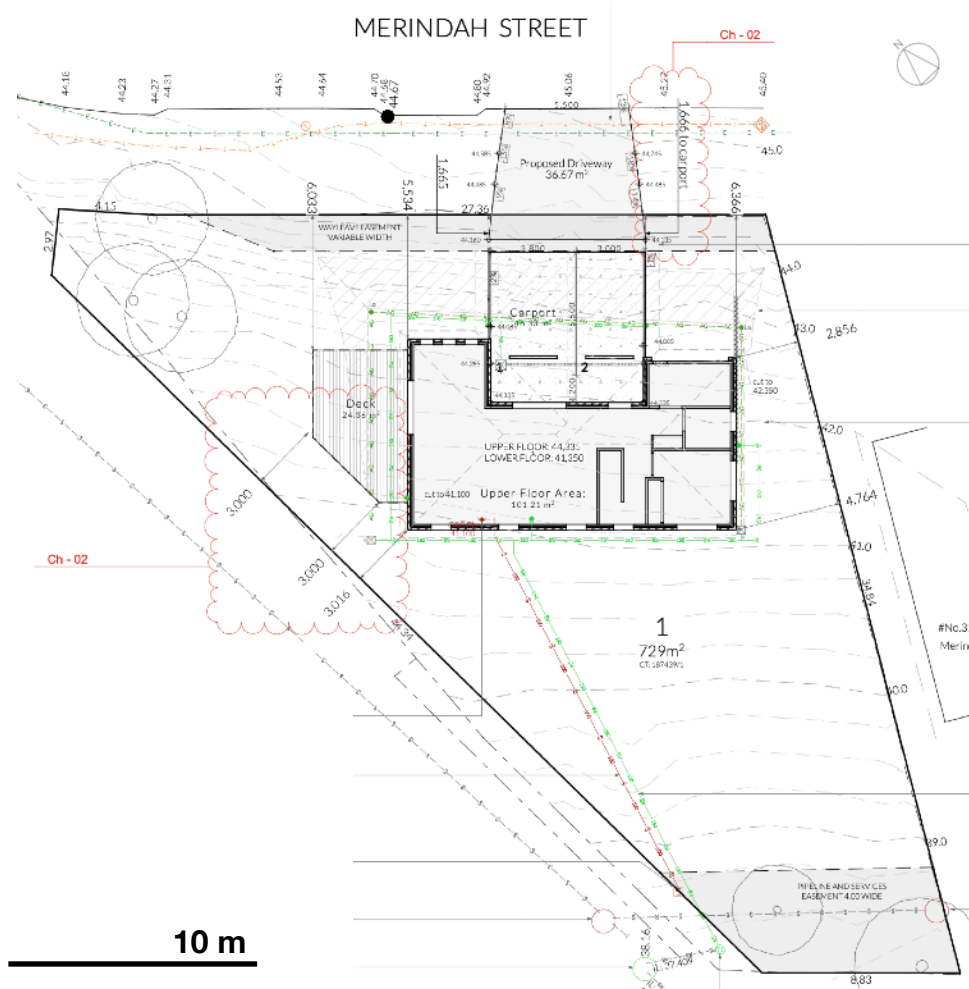


FIGURE 1.2: PRELIMINARY PROPOSED SITE PLAN



West Elevation

FIGURE 1.3: PROPOSED DWELLING - VIEW FROM THE WEST (HIGHWAY SIDE)

2. CRITERIA

Section C3.0 of the Tasmanian Planning Scheme comprises the Road and Railway Assets Code. Specifically, Clause C3.6.1 details requirements for ‘habitable buildings for sensitive uses within a road or railway attenuation area’. This clause is reproduced below.

C3.6 Development Standards for Buildings or Works

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Objective:	
To minimise the effects of noise, vibration, light and air emissions on sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.	
Acceptable Solutions	Performance Criteria
A1	P1
<p>Unless within a building area on a sealed plan approved under this planning scheme, habitable buildings for a sensitive use within a road or railway attenuation area, must be:</p> <p>(a) within a row of existing habitable buildings for sensitive uses and no closer to the existing or future major road or rail network than the adjoining habitable building;</p> <p>(b) an extension which extends no closer to the existing or future major road or rail network than:</p> <p>(i) the existing habitable building; or</p> <p>(ii) an adjoining habitable building for a sensitive use; or</p> <p>(c) located or designed so that external noise levels are not more than the level in Table C3.2 measured in accordance with Part D of the <i>Noise Measurement Procedures Manual, 2nd edition, July 2008</i>.</p>	<p>Habitable buildings for sensitive uses within a road or railway attenuation area, must be sited, designed or screened to minimise adverse effects of noise, vibration, light and air emissions from the existing or future major road or rail network, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the proposed setback;</p> <p>(c) any buffers created by natural or other features;</p> <p>(d) the location of existing or proposed buildings on the site;</p> <p>(e) the frequency of use of the rail network;</p> <p>(f) the speed limit and traffic volume of the road;</p> <p>(g) any noise, vibration, light and air emissions from the rail network or road;</p> <p>(h) the nature of the road;</p> <p>(i) the nature of the development;</p> <p>(j) the need for the development;</p> <p>(k) any traffic impact assessment;</p> <p>(l) any mitigating measures proposed;</p> <p>(m) any recommendations from a suitably qualified person for mitigation of noise; and</p> <p>(n) any advice received from the rail or road authority.</p>

Table C3.2 Acceptable noise levels within a road or railway attenuation area

Roads	Railways
The arithmetic average of the A-weighted L10 sound pressure levels for each of the one-hour periods between 6:00am and midnight on any day [L10 (18-hour)] of 63 dB(A).	A 24-hour Leq and Lmax noise level of 65 dB(A) and 87dB(A) Lmax assessed as a single event maximum sound pressure level.

These criteria are applicable at a height of 1.2 m above ground level and a distance of 1 m from the nearest point of the facade, as per Part D of the TAS Noise Measurement Procedures Manual 2008¹.

Regarding indoor amenity, AS 2107² is referred to for indoor noise level criteria. For houses or apartments near major roads, criteria are specified as:

Living areas (day time) 35 – 45 dBA Leq

Sleeping areas (night time) 35 – 40 dBA Leq

Indoor noise levels of 35 – 40 dBA are then deemed appropriate for both day and night time periods.

2.1. Adopted Criteria

As such, the applicable criteria for this project are taken as:

External Noise Level **L10_(18-hour) ≤ 63 dBA,**

If the above is not achieved, the following criterion is deemed appropriate:

Internal Noise Level **Leq ≤ 40 dBA.**

¹ Noise Measurement Procedures Manual, Tasmania, 2008

² AS/NZS 2107:2016 Acoustics - Recommended design sound levels and reverberation times for building interiors, Standards Australia, 2016.

3. TRAFFIC NOISE LEVELS

Unattended noise measurements were conducted on site between the 26th of September and the 3rd of October 2025 to quantify noise emissions from vehicles on the South Arm Highway. Measurements used a Svan Type 1 sound level meter, logging in A-weighted decibels with a *Fast* response time. The data set comprised overall levels, one-third octave spectra, and full statistical data at 10-minute intervals, with spectra and overall level data also recorded at 1-second intervals.

The measurements were made at location A (see Figure 1.1), which was chosen as being generally representative of the worst-affected facade of the proposed development facing the South Arm Highway. This location was approximately 18 m from the verge of South Arm Highway.

The following points are relevant to the noise measurements and overall assessment:

- Due to the substantial screening provided by the existing topography and noise barriers, there was no line of sight between the noise monitoring equipment and the highway.
- During attendance on site the weather was overcast with no wind, and thus ideal for noise measurements.
- Traffic noise from South Arm Highway was perceived to be the dominant noise source, with the primary noise being broad-band noise typical of high-speed tyre noise.
 - Some low-frequency engine noise was audible when heavy vehicles passed by.
- It is noted that during the site visit, traffic from Merindah Street was audible when vehicles passed by.

The overall noise levels across the measurement period are summarised in Table 3.1, with the measured L10_(18-hour) spectrum shown in Figure 3.1.

TABLE 3.1: SUMMARY OF MEASURED NOISE LEVELS - LOCATION A

Time Period	Sound Pressure Level, dBA		
	L10	L90	LEQ
18-Hour Period (0600 - 0000 Hours)	57.1	47.3	54.1
Day Time (0600 - 2000 hours)	58.4	49.2	55.5
Night Time (2000 - 0600 hours)	52.6	40.9	49.3

As per Part D of the TAS Noise Measurement Procedures Manual, an adjustment of +2.5 dB must be applied due to measurements being obtained in free space. This adjustment is to account for reflections from the facade once the proposed development is constructed and is applied prior to the assessment of the criteria.

The relevant metric for the assessment of external noise levels is the L10_(18-hour), which was measured to be nominally 57.1 dBA at location A. The resultant adjusted L10_(18-hour), following the +2.5 dB adjustment to account for the future dwelling facade, is then **59.6 dBA_{adj}**.

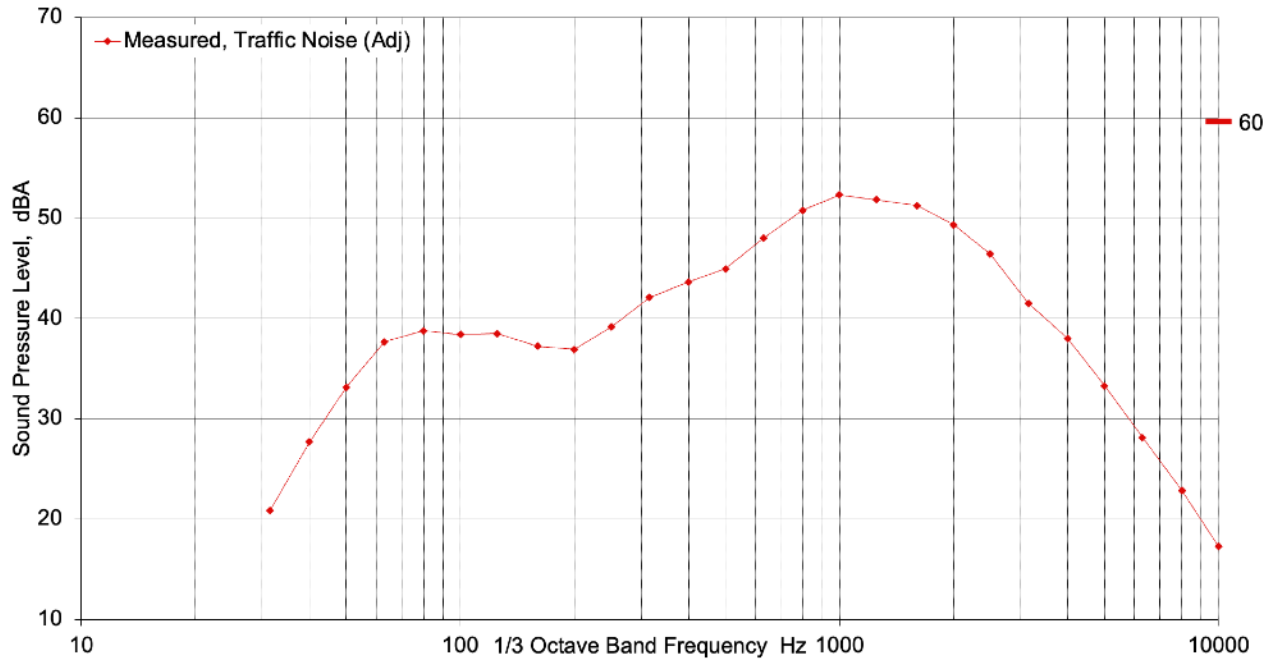


FIGURE 3.1: MEASURED TRAFFIC NOISE SPECTRUM, L10(18-HOUR) - LOCATION A

4. DISCUSSION

The measured external noise level of 59.6 dBA_{adj} L10_(18-hour), is nominally 3.4 dB below the external noise criterion of 63 dBA L10_(18-hour) outlined by the Scheme, and thus satisfies Clause C3.6.1.

The measured day and night time external ambient (Leq) noise levels are 55.5 and 49.3 dBA, respectively, as shown in Table 3.1, above. As such, a noise level reduction of nominally 15.5 dB is required to achieve appropriate internal noise levels of ≤ 40 dBA as outlined by AS 2107.

It is noted that the traffic noise from the surrounding roadways is primarily broad-band, with noise in the 800 Hz to 2,000 Hz range being dominant (see Figure 3.1, above). As the external noise levels are below the Acceptable Solutions criteria, no additional noise mitigation is required to demonstrate compliance with the Scheme, though it is noted that a minimum sound isolation rating of R_w 20 is required to achieve noise levels that satisfy the internal noise levels outlined by AS 2107. Any modern facade construction (e.g. Colorbond cladding on insulated stud wall with plasterboard internal lining) will comfortably achieve this sound isolation rating, as will any glazing. Therefore, the currently proposed brick veneer facade with double-glazed windows will comfortably achieve this rating.

5. ASSESSMENT

The measured external noise level of 59.6 dBA_{adj} L10_(18-hour) is below the Acceptable Solutions criterion of 63 dBA L10_(18-hour), and thus, the proposed residential dwelling at 33 Merindah Street, Howrah, complies with the Acceptable Solutions under Clause C3.6.1 of the Tasmanian Planning Scheme.

APPENDIX A - ADDITIONAL FIGURES



FIGURE A.1: EXISTING NOISE BARRIER - VIEW TOWARDS WEST FROM SITE

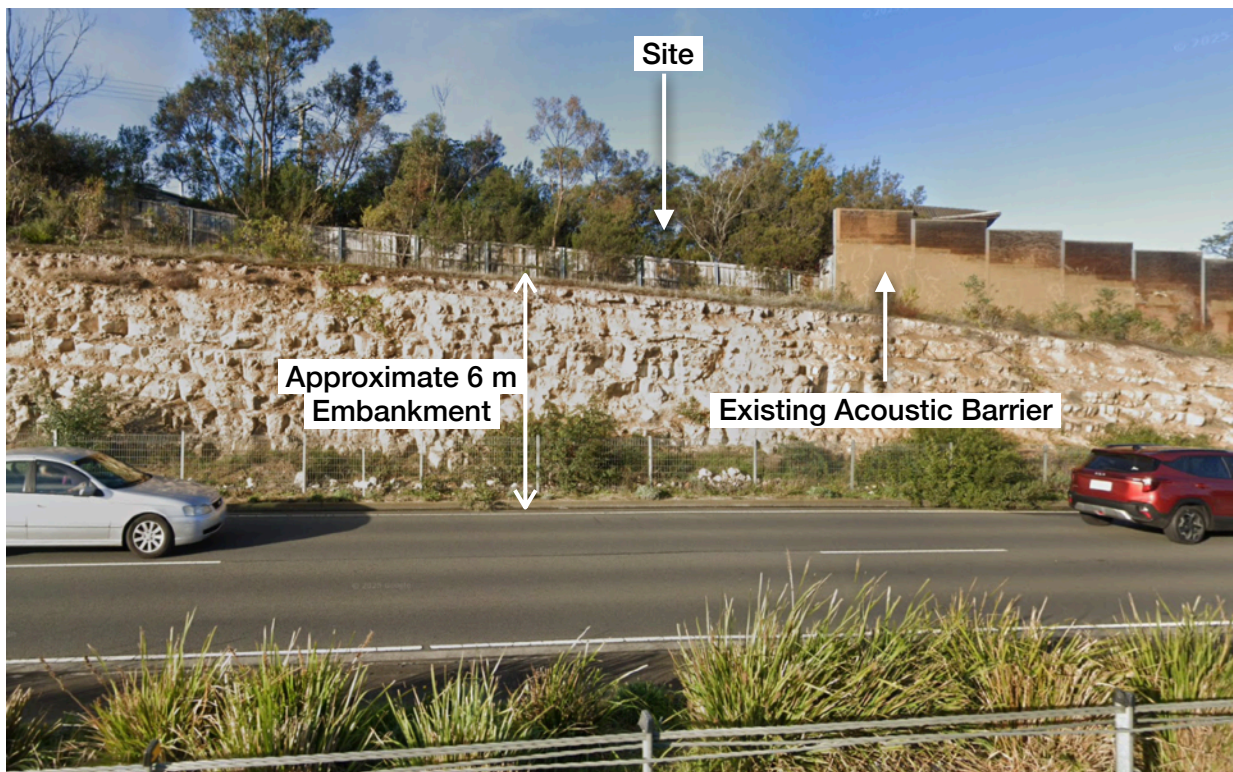


FIGURE A.2: VIEW TOWARDS SITE FROM SOUTH ARM HIGHWAY