



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/059327

PROPOSAL: Change of use (Service Industry) and signage

LOCATION: 41 Cherokee Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 16/04/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 16/04/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 16/04/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Change of use to Service Industry**

Location: **41 Cherokee Drive, Cambridge**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

N/A

Current use of site:

Approved use is helicopter hanger

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.



Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 188051	FOLIO 1
EDITION 1	DATE OF ISSUE 19-Dec-2024

SEARCH DATE : 18-Feb-2026

SEARCH TIME : 01.53 pm

DESCRIPTION OF LAND

City of CLARENCE
 Lot 1 on Sealed Plan [188051](#)
 Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
 Thomas Young
 Prior CTs [185543/68](#) and [185543/69](#)

SCHEDULE 1

[N160469](#) & [N160506](#) TRANSFER to SOUTH HOBART INVESTMENTS PTY
 LTD Registered 06-Nov-2023 at 12.02 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP188051](#) EASEMENTS in Schedule of Easements
[SP188051](#) COVENANTS in Schedule of Easements
[SP188051](#) FENCING COVENANT in Schedule of Easements
[SP164757](#), [SP176911](#), [SP181813](#) & [SP185543](#) COVENANTS in Schedule
 of Easements
[SP164757](#), [SP176911](#), [SP181813](#) & [SP185543](#) FENCING PROVISION in
 Schedule of Easements
[C686912](#) AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 02-Dec-2005 at noon
[N161780](#) MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 06-Nov-2023 at 12.04 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 188051

PAGE 1 OF 2 PAGES

EASEMENTS AND PROFITS

- (a) Each lot on the plan is together with:
 - (1) Such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
 - (2) Any easements or profits a prendre described hereunder.
- (b) Each lot on the plan is subject to:
 - (1) Such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
 - (2) Any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 1 on the Plan is subject to a Pipeline and Services Easement created by and more fully set forth in SP 185543 over the land marked "Pipeline and Services Easement and Drainage Easement Variable Width (SP 185543)" shown on the Plan in favour of Tasmanian Water & Sewerage Corporation Pty Ltd

Lot 1 on the Plan is subject to a Drainage Easement created by and more fully set forth in SP 185543 over the land marked "Pipeline and Services Easement and Drainage Easement Variable Width (SP 185543)" shown on the Plan in favour of Clarence City Council

Lot 1 on the Plan is subject to a Drainage Easement created by and more fully set forth in SP 185543 over the land marked "Drainage Easement 3.00 Wide (SP.181813)" shown on the Plan in favour of Clarence City Council

Lot 1 on the Plan is together with the right to construct and maintain upon the piece of land marked Right of Drainage on P159487 a drain for the purpose of draining storm and surface water from the said lot and also the right at all times hereafter to enter into an upon the said land for the purpose of cleansing and repairing the said drain as shown on the Plan as Right of Drainage (106/33 NS.)

Lot 1 on the Plan is together with a right of drainage over the land marked "Drainage Easement "D" 3.00 Wide (SP.164757)" shown on the Plan.

Lot 1 on the Plan is together with a right of drainage over the land marked "Drainage Easement "E" 3.00 Wide (SP.164757)" shown on the Plan.

Lot 1 on the Plan is together with a right of drainage over the land marked "Drainage Easement "H" 3.00 Wide (SP.164757)" shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: SOUTH HOBART INVESTMENTS PTY LTD FOLIO REFERENCE: VOLUME 185543 FOLIO 68 & VOLUME 185543 FOLIO 69 SOLICITOR BISHOPS & REFERENCE: FENTON JONES FHJ:241035	PLAN SEALED BY: DATE: 6 th December 2024 PDP/ANP/MTD - 2024/ C. O'Neil REF NO. 043645 - Clare Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

p241035_002.docx

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 2 PAGES</p>	<p>Registered Number</p> <p>SP 188051</p>
<p>SUBDIVIDER: SOUTH HOBART INVESTMENTS PTY LTD FOLIO REFERENCE: VOLUME 185543 FOLIO 68 & VOLUME 185543 FOLIO 69</p>	

Lot 1 on the Plan is together with a right of drainage over the land marked "Drainage Easement Variable Width "L" (SP.164757)" shown on the Plan.

Lot 1 on the Plan is together with a right of drainage over the land marked "Drainage Easement (SP.164757) VWXYZ" shown on the Plan.

Lot 1 is SUBJECT TO the covenants described by and more fully set forth in SP 185543

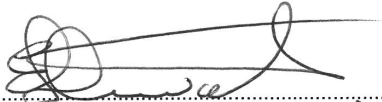
FENCING COVENANT

The Owner of each Lot shown in the Plan covenants with the Vendor that the Vendor shall not be required to fence.

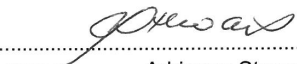
There are no other Easements, Covenants or Profits a prendre to benefit or burden the said land.

"Vendor" means South Hobart Investments Pty Ltd

Executed by **SOUTH HOBART INVESTMENTS PTY LTD (ACN 115 037 566)** the registered proprietor of the land comprised in Certificates of Title Volume 185543 Folio 68 and Volume 185543 Folio 69 in accordance with Section 127 (1) of the Corporations Act 2001 (Cth) by being signed by its two directors:



 Errol Clayton Stewart - Director



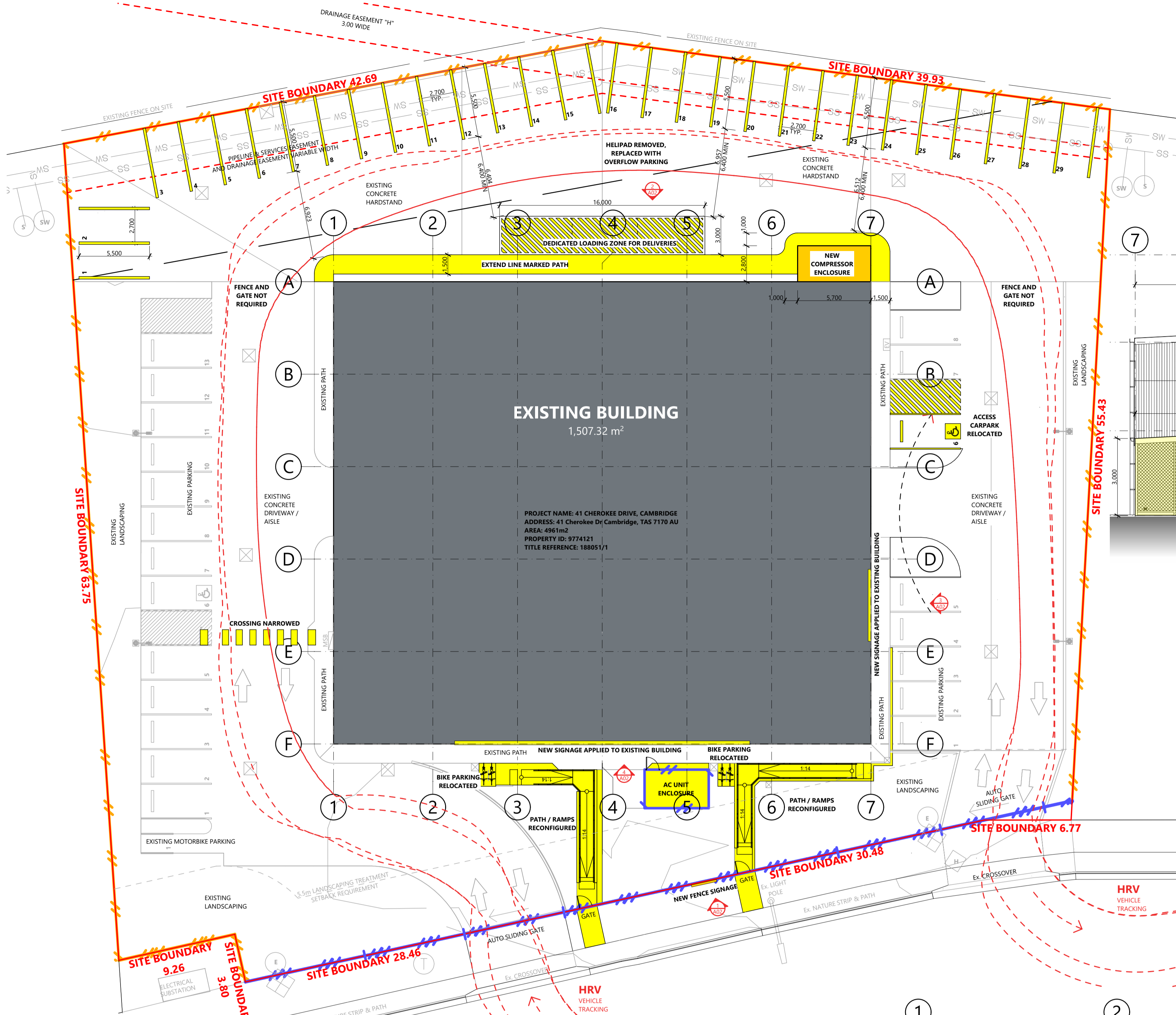
 Adrienne Stewart - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

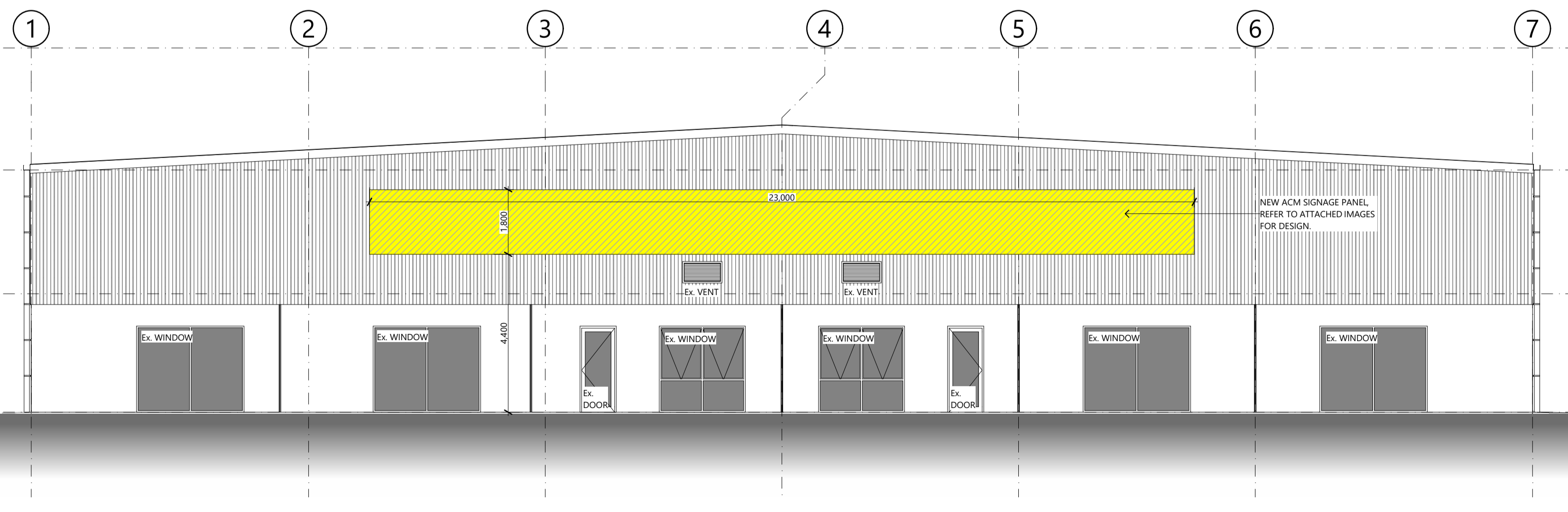
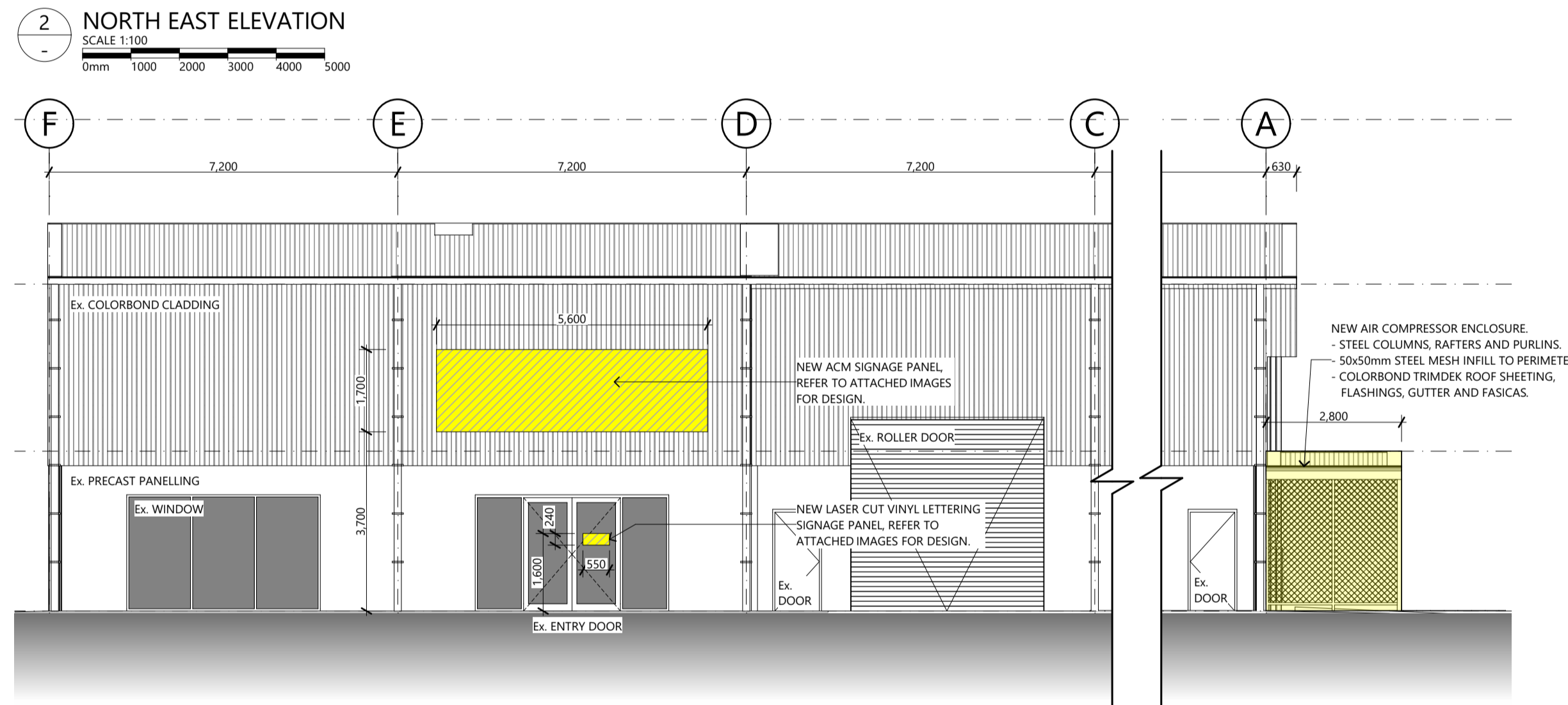
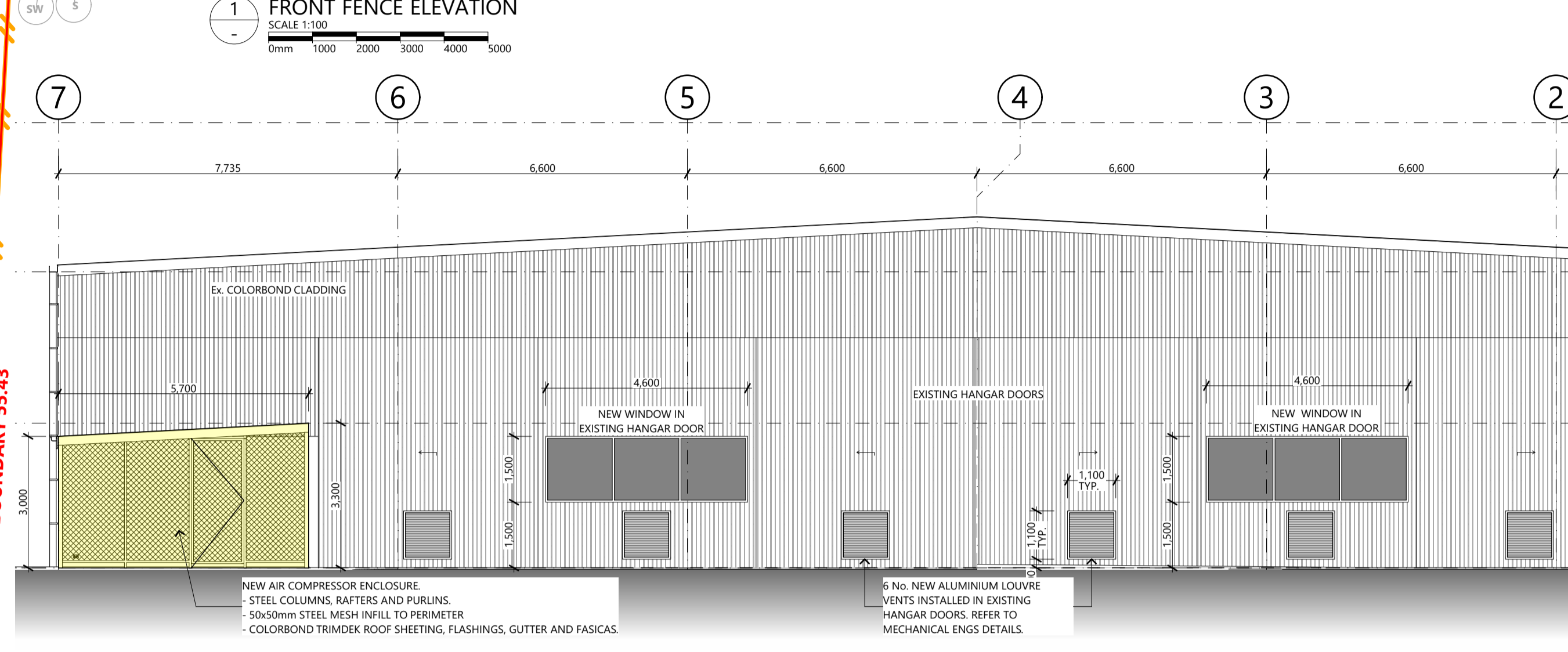
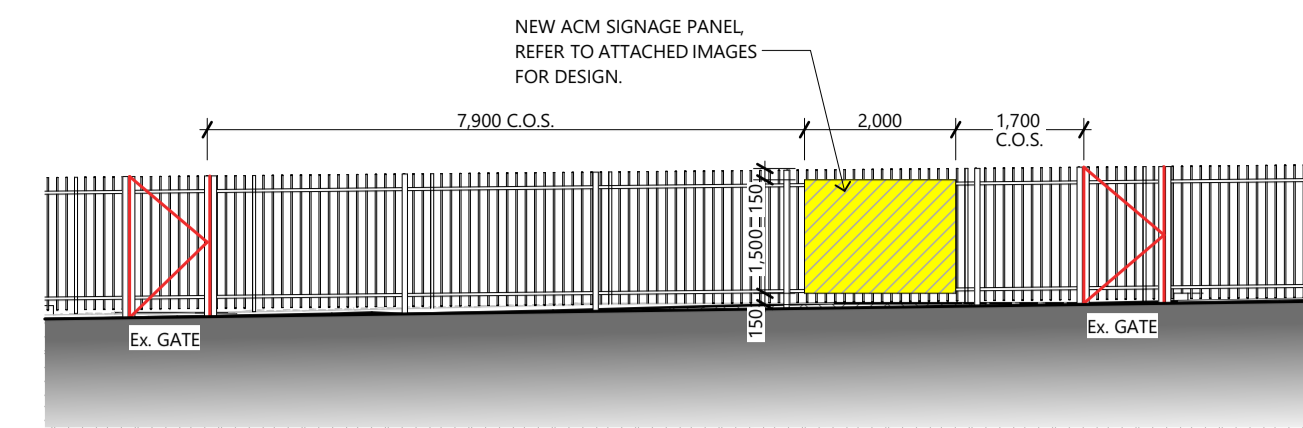
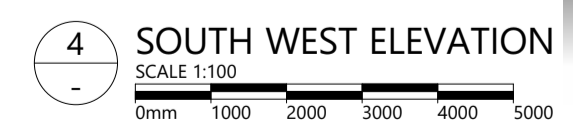
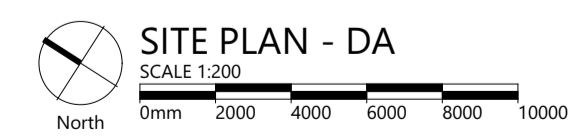
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CO

Rev	Description	Date	Int.	App.
0401	ISSUED FOR INFORMATION	11/03/2024	BT	BT
0402	ISSUED FOR INFORMATION	18/03/2024	BT	BT
0403	ISSUED FOR INFORMATION	23/03/2024	BT	BT



- SITE PLAN GENERAL NOTES**
- SITE BOUNDARY
 - - - SERVICES AND DRAINAGE EASEMENTS
 - SW — Ex. STORM WATER MAIN LINE
 - BS — Ex. WASTEWATER MAIN LINE
 - 1.8m HIGH GALV CHAIN WIRE MESH FENCE
 - 1.8m HIGH POWDERCOATED SPEAR TOP FENCE WITH ASSOCIATED GATES AS SHOWN.
 - Ex. FIRE HYDRANT
 - Ex. ELECTRICITY CONNECTION
 - Ex. TELSTRA/NBN PIT
 - EXISTING ELECTRICAL TURRET
 - EXISTING BUILDING
 - NEW WORKS OR ALTERATIONS



41 CHEROKEE DRIVE, CAMBRIDGE

JMC

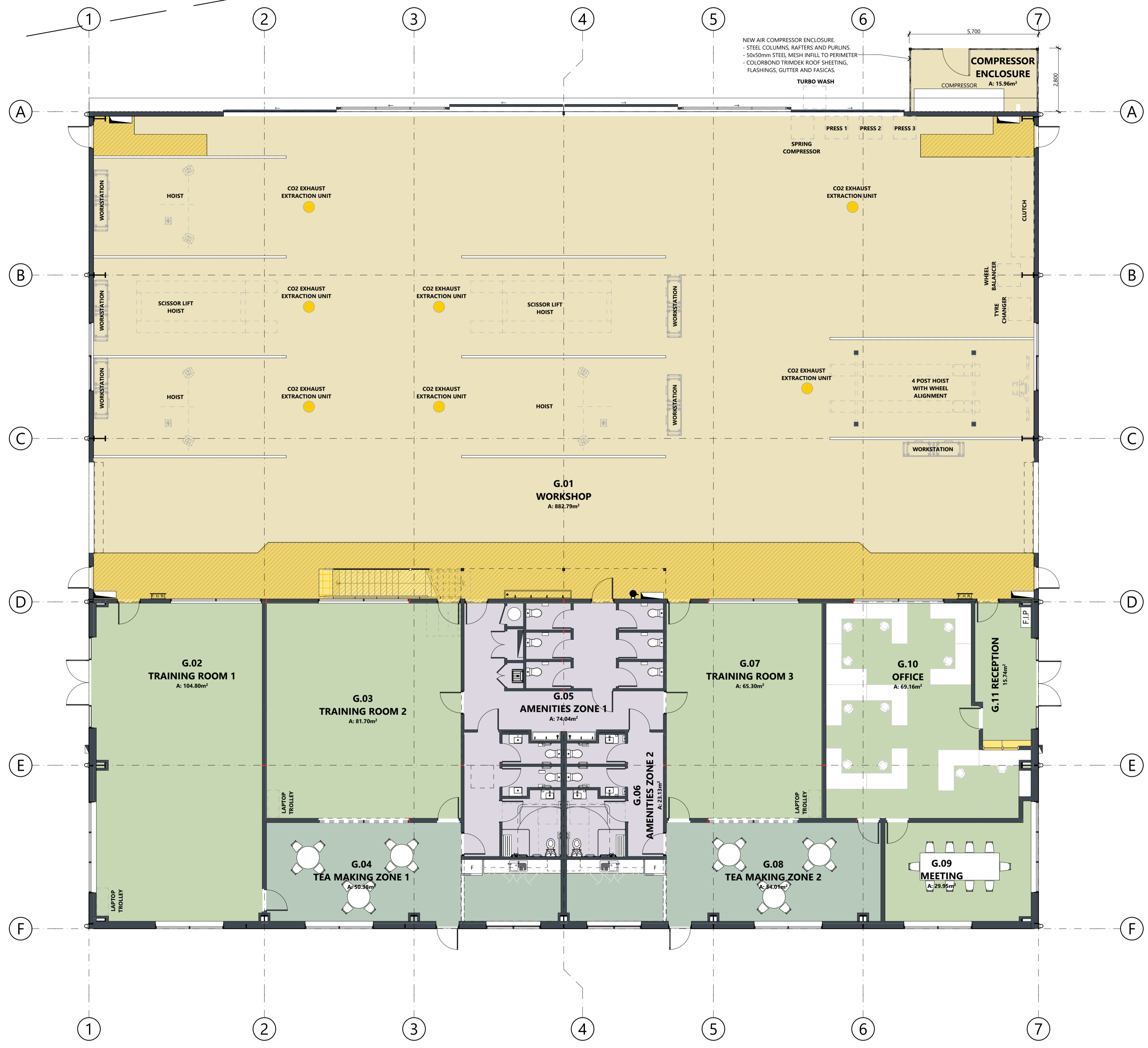
SKETCH
231005

A02-Sk03

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Rev	Description	Date	Int.	App.
S101	ISSUE FOR REVIEW	5/05/2025	DTG	BT
S102	ISSUED TO CLIENT FOR REVIEW	24/04/2025	RT	SC
S103	ISSUED TO CLIENT FOR REVIEW	28/04/2025	RT	SC
S104	ISSUED TO CLIENT FOR REVIEW	18/05/2025	RT	BT
S105	ISSUED TO CLIENT FOR REVIEW	21/05/2025	RT	BT
S106	ISSUED TO CLIENT FOR REVIEW	22/05/2025	RT	BT
S107	ISSUED TO CLIENT FOR REVIEW	22/05/2025	RT	BT
S108	ISSUED TO CLIENT FOR REVIEW	23/05/2025	RT	BT
S109	ISSUED TO CLIENT FOR COMMENTS	29/05/2025	RT	BT
S110	ISSUED TO CLIENT FOR COMMENTS	29/05/2025	RT	BT
S111	ISSUED FOR INFORMATION	18/05/2025	RT	BT
S112	ISSUED FOR INFORMATION	23/05/2025	RT	BT



GROUND FLOOR PLAN
 SCALE 1:100
 0mm 1000 2000 3000 4000 5000
 North

41 CHEROKEE DRIVE, CAMBRIDGE

JMC

SKETCH
 231005
 SHEET SIZE: A1 (LANDSCAPE)

A10-Sk12

ARTAS
 ARCHITECTS

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GENERAL

1. TENDERER SHALL MAKE THEMSELVES AWARE OF THE LOCAL COUNCIL AND AUSTRROADS STANDARDS FOR ALL CIVIL WORKS.
TENDERS SHALL MAKE ALL NECESSARY ALLOWANCES FOR WORKS TO BE CARRIED OUT IN ACCORDANCE WITH STANDARDS WITHIN THE TENDER PRICE.

2. THE CONTRACTOR IS TO NOTIFY ALL RELEVANT STATUTORY AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS ON SITE FOR THE POSSIBLE LOCATION OF ANY EXISTING SERVICES NOT SHOWN ON THESE PLANS. THE SUPERINTENDANT SHALL BE NOTIFIED OF ANY SERVICES THAT ARE NOT SHOWN IN THE DOCUMENTATION. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTORS EXPENSE.

3. THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED FOR COUNCIL APPROVAL AND TENDERING PURPOSES ONLY THEY ARE NOT TO BE USED FOR CONSTRUCTION. A CONSTRUCTION SET WILL BE ISSUED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

4. COMMON TRENCHING; THE FOLLOWING CLEARANCE DISTANCES (BARREL TO BARREL) MUST BE MAINTAINED FROM EXISTING OR PROPOSED SERVICES, FOR ALL COMMON TRENCHING:
HORIZONTAL:
- 300mm ALONG A LENGTH GREATER THAN 2m
- 500mm MINIMUM FROM ANY MAIN GREATER THAN 0200mm
- 150mm MINIMUM ALONG LENGTH LESS THAN 2m
VERTICALLY:
- 150mm MINIMUM
- 300mm MINIMUM FROM ANY MAIN GREATER THAN 0200mm
ELECTRICAL CABLES SHALL BE MINIMUM DISTANCE OF 400mm OF WHICH 300mm SHOULD BE IN NATURAL AND UNDISTURBED MATERIAL.

5. LOCAL ENERGY SUPPLIER TRENCHING; THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING FOR ALL INSTALLATION OF LOCAL ENERGY SUPPLIER CABLES. WHERE REQUIRED CONTRACTOR IS TO LIAISE WITH ENERGY SUPPLIER FOR THE EXTENT OF CABLE TRENCHING.

6. TELECOMMUNICATION TRENCHING; THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING FOR ALL INSTALLATION OF LOCAL TELECOMMUNICATION SUPPLIER CABLES. WHERE REQUIRED CONTRACTOR IS TO LIAISE WITH LOCAL TELECOMMUNICATION SUPPLIER FOR THE EXTENT OF CABLE TRENCHING.

7. EXISTING SERVICES ARE TO BE LOCATED PRIOR TO COMMENCING DEMOLITION OR SITE WORKS. THE CONTRACTOR IS TO ARRANGE AND PAY FOR THE ON SITE MARKING AND CONFIRMATION OF DEPTH OF SERVICE AND LOCATION FOR ALL UNDERGROUND SERVICES INCLUDING LOCAL TELECOMMUNICATION, ENERGY, WATER AUTHORITY AND COUNCIL SERVICES (i.e. STORMWATER) IN THE AREA OF NEW WORKS. LOCATION TO BE CONFIRMED USING CABLE LOCATORS AND HAND DIGGING METHODS. PRIOR TO ANY WORK ON SITE. ANY CLASHES WITH DESIGNED SERVICES ON FOLLOWING DRAWINGS ARE TO BE REPORTED TO DESIGN ENGINEER FOR DIRECTION.

8. COUNCIL AND AUTHORITIES APPROVALS; ALL WORKS ARE TO BE IN ACCORDANCE WITH APPROVAL FROM WATER AUTHORITY (CERTIFICATE OF CONSENT) AND LOCAL COUNCIL (DEVELOPMENT APPLICATION).

9. THE CONTRACTOR IS TO ALLOW FOR TEMPORARY WORKS SUCH AS DIVERSION MAINS OF EQUAL CAPACITY TO EXISTING AND PUMPED SYSTEMS AS REQUIRED TO ALLOW NEW WORKS OR MODIFICATION TO EXISTING BE CARRIED OUT WITH MINIMAL INTERRUPTION TO SITE WATER RETICULATION AND DRAINAGE SERVICES.

11. WHERE EXISTING SERVICES ARE LOCATED WITHIN 600mm OF NEW BUILDING WORKS THEY SHALL BE DIVERTED AND RELIED TO ENGINEERS SITE DIRECTION.

12. DISRUPTION TO EXISTING SERVICES; THE CONTRACTOR SHALL ORGANISE SEQUENCE OF WORKS TO ENSURE MINIMUM DISRUPTION TO EXISTING ACTIVE SERVICES. ANY INTERRUPTIONS ARE TO BE APPROVED BY THE PRINCIPAL.

PAVEMENT SPECIFICATION

THE PAVEMENT WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DEPARTMENT OF STATE GROWTH SPECIFICATIONS:
SECTION 204 - EARTHWORKS - AUG 2016
SECTION 304 - UNSOUND FLEXIBLE PAVEMENT CONSTRUCTION - AUG 2016
SECTION 304 - PREPARATION OF GRANULAR PAVEMENTS FOR BITUMINOUS SURFACING - AUG 2016
SECTION 407 - DENSE GRADED ASPHALT - FEB 2022
SECTION 408 - SPRAYED BITUMINOUS SURFACINGS - DEC 2020
ALL THE DEPARTMENT OF STATE GROWTH SPECIFICATIONS REFERENCED IN THESE SECTIONS.

CONCRETE FINISHES

CONCRETE SHALL BE FINISHED IN ACCORDANCE WITH THE FOLLOWING UNLESS OTHERWISE NOTED:
GENERAL CONCRETE
- FORMED SURFACES THAT WILL BE VISIBLE ONCE THE WORKS ARE COMPLETE - CLASS 3 TO AS3610.1-2018 TABLE 3.2.3.
- UNFORMED SURFACES THAT WILL BE BURIED AND WILL NOT BE VISIBLE ONCE THE WORKS ARE COMPLETE - CLASS 4 TO AS3610.1-2018 TABLE 3.2.3.
- UNFORMED SURFACES THAT WILL BE BURIED ONCE THE WORKS ARE COMPLETE - BURNISHED STEEL TROWEL TO NATSPEC CLASS A TOLERANCE.
- UNFORMED SURFACES THAT WILL BE TRAFFICABLE AND VISIBLE ONCE THE WORKS ARE COMPLETE - BURNISHED STEEL TROWEL TO NATSPEC CLASS A TOLERANCE THEN BROOMED TO FORM A NON-SLIP FINISH.
- UNFORMED SURFACES FOR KERBS AND VEE DRAINS - STEEL TROWEL TO LGAT STANDARDS.

EARTHWORKS

1. GENERAL EARTHWORKS, MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THESE DRAWINGS AND THE CURRENT EDITION OF THE S.A.A. CODE FOR EARTHWORKS AS3798 TOGETHER WITH ANY CODES, STANDARDS OR REGULATIONS REFERRED TO THEREIN. A COPY OF AS3798 SHALL BE RETAINED ON SITE AT ALL TIMES.

2. THE CONTRACTOR IS TO ENGAGE AN APPROVED GEOTECHNICAL ENGINEER TO CARRY OUT LEVEL 3 TESTING OF ALL EARTHWORKS TO AS3798, INCLUDING:
- SUBGRADE
- FILLS
- PAVEMENTS
BACKFILLING OF SERVICE TRENCHES
CERTIFICATION OF THESE ELEMENTS IS TO BE PROVIDED PROGRESSIVELY AND PRIOR TO PRACTICAL COMPLETION.

3. AREAS OF FILL; REMOVE TOPSOIL AND ORGANIC MATERIAL, PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
- 98% STANDARD DRY DENSITY UNDER BUILDING
- 100% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
- REMOVE ANY SOFT SPOTS AND AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE.

ROADWORKS/PAVEMENT/FOOTPATHS/TURF

1. ALL WORKS ARE TO BE CARRIED OUT TO THE LOCAL COUNCIL AND AUSTRROADS STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES PRIOR APPROVAL OF SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR.

2. INSPECTIONS; THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH SUPERINTENDENT. MINIMUM 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO INSPECTION.
- SUBGRADE PREPARATION.
- SUB-BASE FOR ROADS, CARPARKS AND KERBS.
- BASE COURSE
- FINAL TRIM PRIOR TO PLACING KERBS.
- FINAL TRIM PRIOR TO SEALING.

3. TESTING; THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING AND PAYING ALL COSTS ASSOCIATED WITH TESTING IN ACCORDANCE WITH D.I.E.R. SPEC G4 COMPACTION ASSESSMENT.

4. HOTMIX; ALL HOTMIX IS TO BE BLACK IN COLOUR AND IS TO MEET AND BE PLACED IN ACCORDANCE WITH D.I.E.R. R55-DENSE GRADED ASPHALT.

5. KERBS; ALL KERBS ARE TO BE AS SHOWN ON DRAWINGS AND BE IN ACCORDANCE WITH LGAT STANDARDS.

6. ROAD RESERVE WORKS; ALL WORKS IN (OR REQUIRING OCCUPATION) IN THE ROAD RESERVE MUST BE UNDERTAKEN BY CONTRACTORS REGISTERED WITH THE LOCAL COUNCIL (REGISTERED CONTRACTOR)

STORMWATER

1. ALL WORKS ARE TO BE CARRIED OUT TO THE LOCAL COUNCIL AND D.I.E.R. STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES PRIOR APPROVAL OF SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR.
ALL STORMWATER PLUMBING AND DRAINAGE IS TO COMPLY WITH AS3500.3-2003.

2. TESTING; ALL DRAINAGE WORKS SHALL BE SUBJECTED TO TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTORS EXPENSE.

3. MANHOLES ARE TO BE 1050 I.D. PRECAST CONCRETE INSTALLED TO LOCAL COUNCIL STANDARDS. ALL MANHOLES IN TRAFFICKED AREAS ARE TO BE FITTED WITH HEAVY DUTY GATIC COVERS AND SURROUNDS.

5. SIDE ENTRY PITS;

- PIT INVERT DEPTHS VARY, REFER SITE PLAN.
- BENCH OUT IN A NEAT AND TIDY MANNER TO ENGINEERS APPROVAL.
- GRATED PIT - GULLY HINGED OR OTHER TYPE APPROVED.
- CONCRETE KERB LINTEL - STEEL KERB LINTEL AND 1200 LONG GALV. BAR
- INSTALL STEP RUNG IF REQUIRED BY DEPTH.

6. AS INSTALLED DRAWINGS; THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING "AS INSTALLED" DRAWINGS TO THE STANDARD REQUIRED BY THE LOCAL COUNCIL. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR. THIS SERVICE CAN BE PROVIDED BY CES, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE. CONTRACTORS SHALL ALLOW FOR THIS WHEN PRICING.

7. INSPECTIONS; THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT. MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION.
- PIPEWORK BEDDING.
- INSTALLED PIPE PRIOR TO BACKFILLING.
- BACKFILLING.

WATER RETICULATION

1. ALL WATER RETICULATION WORKS TO COMPLY WITH WSA 02-2011-3.1 MRWA EDITION VERSION 2 AND WATER SERVICES ASSOCIATION OF AUSTRALIA STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR (NRM) APPROVAL OF THE SUPERINTENDENT AND LOCAL WATER AUTHORITY WORKS SUPERVISOR.

2. TESTING; ALL WATER RETICULATION WORKS SHALL BE SUBJECTED TO TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTORS EXPENSE.

3. FIRE HYDRANTS ARE TO BE AS SHOWN ON DRAWINGS. THE CONTRACTOR IS TO ALLOW TO PLACE STANDARD MARKERS AS REQUIRED BY THE LOCAL AUTHORITY.

4. TRENCHES AND BACKFILLING; ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH DRAWINGS AND LOCAL WATER AUTHORITY STANDARDS.

5. THRUST AND ANCHOR BLOCKS ARE TO BE PROVIDED AT BENDS, VALVES, HYDRANTS AND LINE ENDS IN ACCORDANCE WITH THE LOCAL WATER AUTHORITY STANDARDS.

6. INSPECTIONS; THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING THE FOLLOWING INSPECTIONS WITH THE SUPERINTENDENT. MINIMUM OF 48 HOURS NOTICE IS REQUIRED TO BE GIVEN TO THE SUPERINTENDENT PRIOR TO THE INSPECTION.
- PIPEWORK BEDDING.
- INSTALLED PIPE PRIOR TO BACKFILLING.
- BACKFILLING.

7. PIPE CLEANING; THE CONTRACTOR IS TO ALLOW TO CLEANSE WATER MAINS BY FLUSHING WITH SODIUM HYPOCHLORIDE AS DIRECTED BY LOCAL AUTHORITY.

8. AS INSTALLED DRAWINGS; THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING "AS INSTALLED" DRAWINGS TO THE STANDARD REQUIRED BY THE LOCAL WATER AUTHORITY. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR. THIS SERVICE CAN BE PROVIDED BY CES, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE. CONTRACTORS SHALL ALLOW FOR THIS IN THEIR PRICING.

9. WATER CONNECTIONS; UNLESS OTHERWISE STATED WATER CONNECTIONS ARE TO BE 20mm AND INSTALLED AS PER THE LOCAL WATER AUTHORITY REQUIREMENTS AND AS3500.1-2003 STANDARDS.

SOIL AND WATER MANAGEMENT

1. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM NORTHERN RESOURCE MANAGEMENT (NRM).

2. SOIL EROSION CONTROL IN ACCORDANCE WITH NRM GUIDELINES, CONTRACTORS TO ALLOW TO:
-LIMIT DISTURBANCE WHEN EXCAVATING BY PRESERVING VEGETATION WHEREVER POSSIBLE.
-DIVERT UPSLOPE WATER WHERE PRACTICAL.
-INSTALL SEDIMENT FENCES DOWN SLOPE OF ALL DISTURBED LANDS TO FILTER LARGE PARTICLES PRIOR TO STORMWATER SYSTEM.
-WASH EQUIPMENT IN DESIGNATED AREA THAT DOES NOT DRAIN INTO STORM WATER SYSTEM.
-PLACE ON-SITE STOCK PILES AWAY FROM ON-SITE DRAINAGE AND UP SLOPE FROM SEDIMENT FENCES.
-LEAVE & MAINTAIN VEGETATED FOOT PATH.
-STORE ALL HARD WASTE & LITTER IN A DESIGNATED AREA THAT WILL PREVENT IT FROM BEING BLOWN AWAY AND WASHED INTO STORMWATER SYSTEM.
-RESTRICT VEHICLE MOVEMENT TO STABILISED ACCESS.

3. CONTRACTORS ARE TO COMPLETE ALL WORKS IN ACCORDANCE WITH NRM SOIL AND WATER MANAGEMENT ON BUILDING AND CONSTRUCTION SITE USING THE FOLLOWING FACT SHEETS:
-FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES.
-FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES.
-FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS.
-FACT SHEET 4: DISPERSIVE SOILS - HIGH RISK OF TUNNEL EROSION.
-FACT SHEET 5: MINIMISE SOIL DISTURBANCE.
-FACT SHEET 6: PRESERVE VEGETATION.
-FACT SHEET 7: DIVERT UP-SLOPE WATER.
-FACT SHEET 8: EROSION CONTROL MATS & BLANKETS.
-FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCK PILES.
-FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION.
-FACT SHEET 11: SCOUR PROTECTION - STORM WATER PIPE OUTFALLS & CHECK DAMS.
-FACT SHEET 12: STABILISED SITE ACCESS.
-FACT SHEET 13: WHEEL WASH.
-FACT SHEET 14: SEDIMENT FENCES AND FIBRE ROLLS.
-FACT SHEET 15: PROTECTION OF STORM WATER PITS.
-FACT SHEET 16: MANAGE CONCRETE BRICK & TILE CUTTING.
-FACT SHEET 17: SEDIMENT BASINS
-FACT SHEET 18: DUST CONTROL.
-FACT SHEET 19: SITE RE-VEGETATION.

CONSTRUCTION SPECIFIC WORKS - PLUMBING

1. DUE TO THE AGE REQUIREMENTS OF BUILDING AND REQUIREMENTS OF NEW BUILDING WORKS TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS. BUILDING CODES OF AUSTRALIA, LOCAL AUTHORITY (COUNCIL AND WATER / SEWER) AND STATE FIRE SERVICE REQUIREMENTS; CONTRACTORS TO COMPLETE ALL NECESSARY CHECKS AND ASSESSMENTS LISTED BELOW TO ENSURE THE BUILDING WORKS ARE READY FOR CERTIFICATE OF OCCUPANCY AND CERTIFICATE OF COMPLETION.

2. ON SITE TESTING IS TO BE CARRIED OUT DURING ESTABLISHMENT AND PRIOR TO COMMENCEMENT OF NEW WORKS. PROVIDE LATENT CONDITIONS REPORT TO ENGINEER FOR PRICING. THIS REPORT IS TO IDENTIFY INFRASTRUCTURE UPGRADED WORKS AT FRONT END OF THE PROJECT.

3. NO VARIATION WILL BE PAID FOR LATENT PLUMBING CONDITIONS THAT HAVE NOT BEEN IDENTIFIED DURING ON SITE TESTING AND LATENT CONDITIONS REPORT.

4. THESE WORKS ARE TO BE INCLUDED IN CONTRACTORS TENDER AS AGREED WITH SUPERINTENDENT.

5. LOCATE EXISTING SERVICES WITH CABLE LOCATORS, POT HOLING, SUCTION TRUCK, DIGGING AND UNDERGROUND CCTV CAMERA INSPECTION.

6. COMPLIANCE WORKS; CONTRACTORS ARE TO COMPLETE THE FOLLOWING WORKS:
- FLOW TEST ALL INTERNAL AND EXTERNAL FIRE HYDRANTS FOR COMPLIANCE WITH AS2419.1-2005. NOTIFY RESULTS TO ENGINEER FOR APPROVAL.
- FLOW TEST ALL FIRE HOSE REEL FOR COMPLIANCE WITH AS1851.9-2005. NOTIFY RESULTS TO ENGINEER FOR APPROVAL.
- UPGRADE FIRE HOSE REEL AND HYDRANTS TO ACHIEVE COMPLIANCE WITH THESE DRAWINGS, OCCUPANCY AND COMPLETION.
- PRESSURE TEST AND DIE TEST EXISTING SEWER SYSTEM PRIOR TO COMMENCING WORKS AND CHECK FOR LEAKS OR DEFECTS. MAKE GOOD DEFECTIVE AREAS AND PROVIDE CERTIFIED RESULTS TO ENGINEER FOR APPROVAL AS PART OF LATENT CONDITIONS REPORT PREPARED AT FRONT END OF PROJECT. RE-TEST AFTER COMPLETION OF WORKS AND PROVIDE RESULTS PRIOR TO HAND OVER.

BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM
REV	Description	Date	By

CES | Coordinated Engineering Services
136 Davey Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

JMC
Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES CIVIL NOTES

Drawn: AK PROJECT & SHEET: **246096 - C00** ISSUE: **BA3**
Authorised: WC
Plot Date: 12/09/2025
Scale/Size: AS SHOWN (BA1)
File ref: 246096-C00.dwg














39 CHEROKEE DR CAMBRIDGE
TAS 7170
PROPERTY ID - 9093652
TITLE REFERENCE - 185543/67

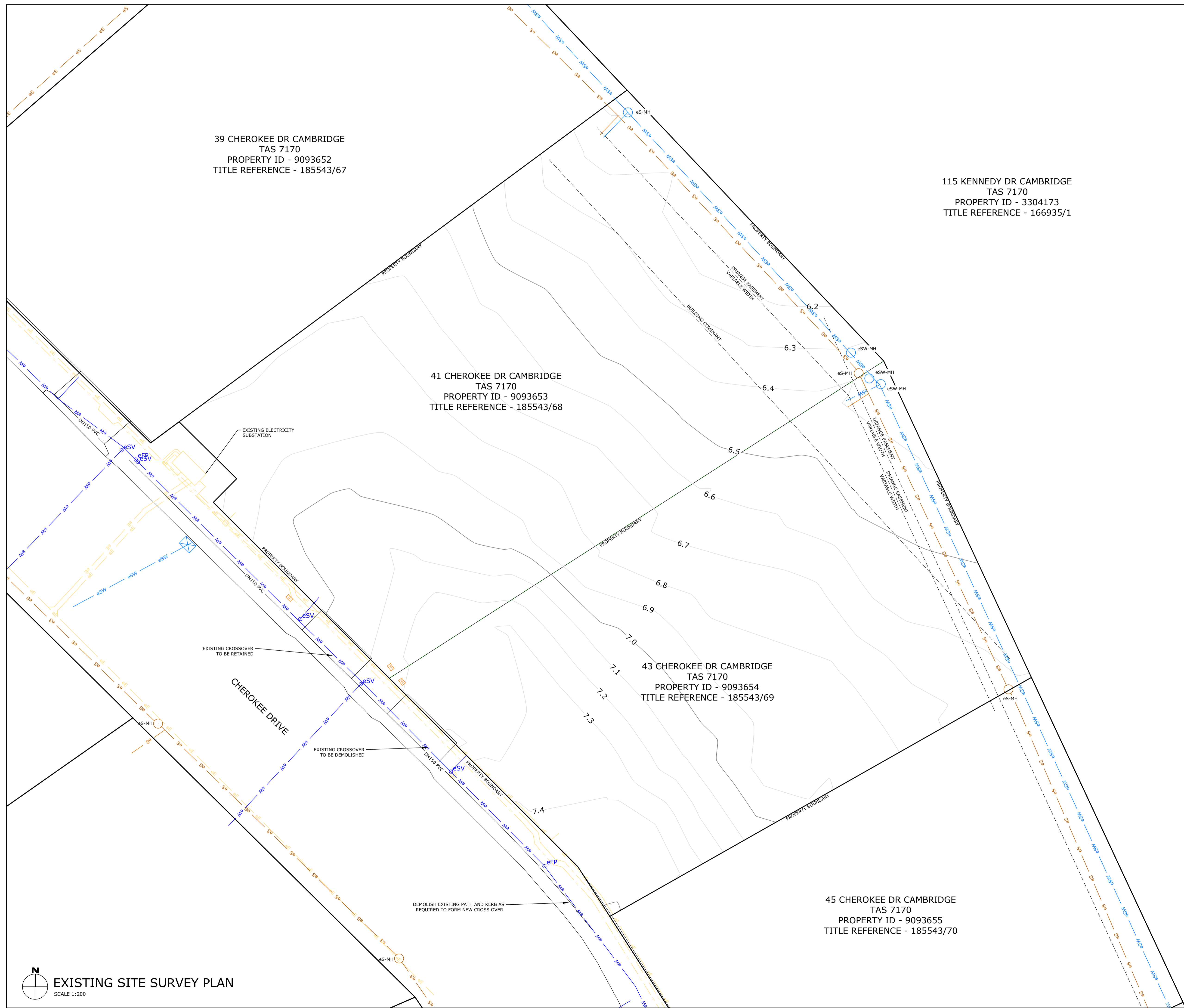
41 CHEROKEE DR CAMBRIDGE
TAS 7170
PROPERTY ID - 9093653
TITLE REFERENCE - 185543/68

43 CHEROKEE DR CAMBRIDGE
TAS 7170
PROPERTY ID - 9093654
TITLE REFERENCE - 185543/69

45 CHEROKEE DR CAMBRIDGE
TAS 7170
PROPERTY ID - 9093655
TITLE REFERENCE - 185543/70

115 KENNEDY DR CAMBRIDGE
TAS 7170
PROPERTY ID - 3304173
TITLE REFERENCE - 166935/1

- LEGEND**
-  EXISTING ELECTRICITY POLE
 -  EXISTING TELSTRA PIT
 -  EXISTING TELSTRA PROPERTY CONNECTION
 -  EXISTING ELECTRICITY TURRET
 -  EXISTING FIRE PLUG
 -  EXISTING WATER STOP VALVE
 -  EXISTING SEWER MANHOLE
 -  EXISTING STORMWATER MANHOLE
-
- LEGEND**
-  EXISTING SEWER LINE
 -  EXISTING STORMWATER LINE
 -  EXISTING WATER LINE
 -  EXISTING OVERHEAD ELECTRICITY LINE
 -  EXISTING UNDERGROUND ELECTRICITY LINE



EXISTING ELECTRICITY SUBSTATION

EXISTING CROSSOVER TO BE RETAINED

EXISTING CROSSOVER TO BE DEMOLISHED

DEMOLISH EXISTING PATH AND KERB AS REQUIRED TO FORM NEW CROSS OVER.

 EXISTING SITE SURVEY PLAN
SCALE 1:200

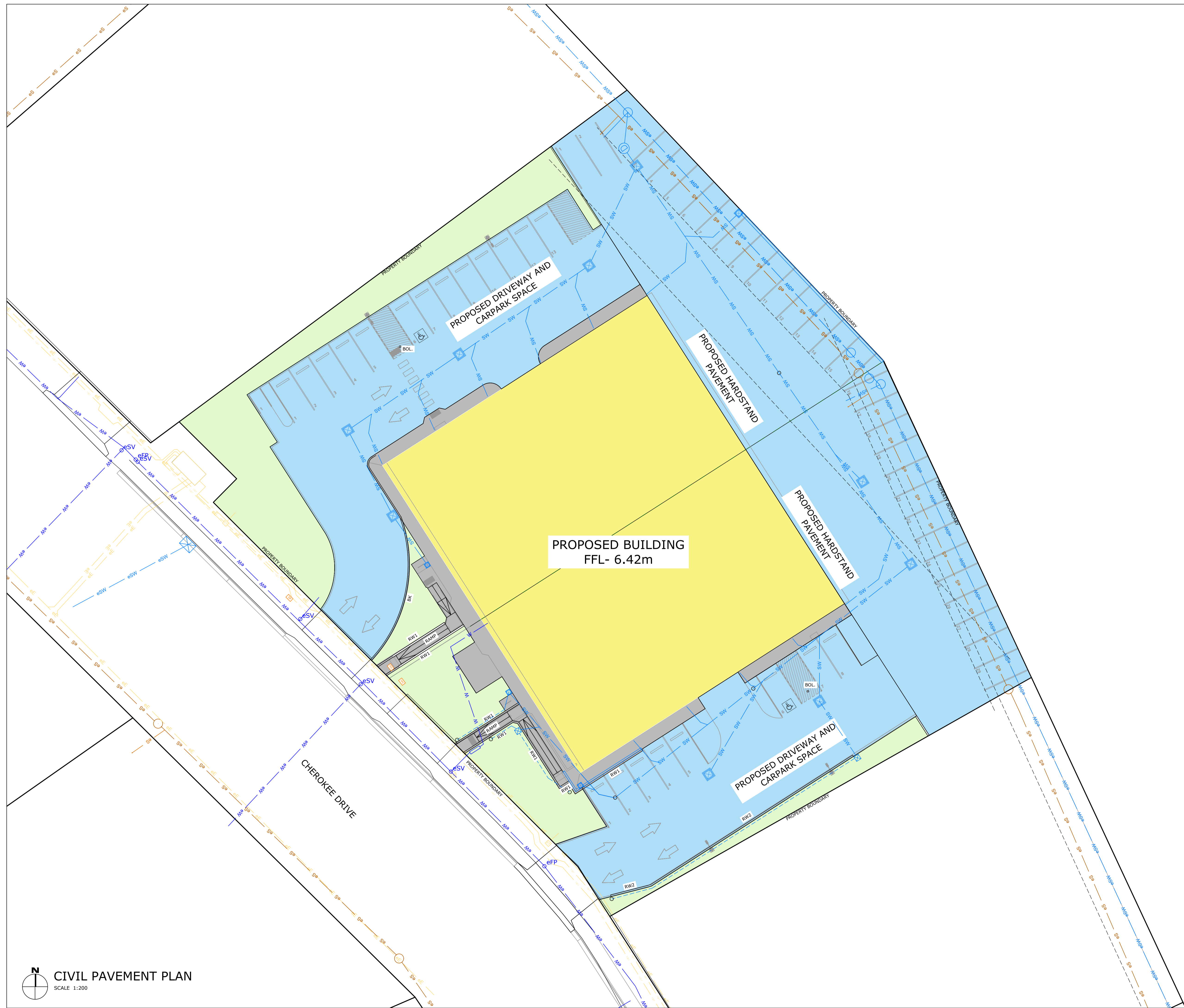
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM
REV	Description	Date	By

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73 Paterson Street, Launceston | (03) 6338 9974

JMC
Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES EXISTING SITE SURVEY PLAN

Drawn: AK	PROJECT & SHEET:	ISSUE:
Authorised: WC	246096 - C01	BA3
Plot Date: 12/09/2025		
Scale/Size: AS SHOWN @A1		
File ref: 246096-01.dwg		



- LEGENDS**
- PROPOSED CONCRETE PATH REFER DETAIL 04 ON C10
 - PROPOSED HEAVY DUTY PAVEMENT, REFER DETAIL 03 ON C10
 - LANDSCAPING REFER ARCHITECT
 - PROPOSED BUILDING FOOTPRINT, REFER STRUCTURAL ENGINEER FOR SUBGRADE PREPARATION
 - BOL. BOLLARD REFER DETAIL 01 ON C10
 - RW RETAINING WALL REFER DETAIL 08 ON C10
 - BK BARRIER KERB REFER DETAIL 11 ON C10

- LINE TYPE LEGENDS**
- eS EXISTING SEWER LINE
 - eSW EXISTING STORMWATER LINE
 - eW EXISTING WATER LINE
 - eE EXISTING OVERHEAD ELECTRICITY LINE
 - U/U EXISTING UNDERGROUND ELECTRICITY LINE
 - SW PROPOSED STORMWATER LINE
 - W PROPOSED WATER LINE

REV	Description	Date	By
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

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Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES CIVIL PAVEMENT PLAN

Drawn: AK PROJECT & SHEET: **246096 - C02** ISSUE: **BA3**
 Authorised: WC
 Plot Date: 07/07/2025
 Scale/Size: AS SHOWN @A1
 File ref: 246096-C02.dwg

CIVIL PAVEMENT PLAN
 SCALE 1:200



- LEGENDS**
- PROPOSED CONCRETE PATH REFER DETAIL 04 ON C10
 - PROPOSED HEAVY DUTY PAVEMENT, REFER DETAIL 03 ON C10
 - LANDSCAPING REFER ARCHITECT
 - PROPOSED BUILDING FOOTPRINT, REFER STRUCTURAL ENGINEER FOR SUBGRADE PREPARATION
 - BOL. BOLLARD REFER DETAIL 01 ON C10
 - RW RETAINING WALL REFER DETAIL 08 ON C10
 - BK BARRIER KERB REFER DETAIL 11 ON C10

- LINE TYPE LEGENDS**
- eS EXISTING SEWER LINE
 - eSW EXISTING STORMWATER LINE
 - eW EXISTING WATER LINE
 - eE EXISTING OVERHEAD ELECTRICITY LINE
 - U/U EXISTING UNDERGROUND ELECTRICITY LINE
 - sSW PROPOSED STORMWATER LINE
 - W PROPOSED WATER LINE

- GRADE LEGEND**
- 3.3% NEGATIVE SLOPE DENOTES FALL.
 - 3.4% POSITIVE SLOPE DENOTES RISE.

- SPOT LEVEL KEY**
- 6.398 NEW SURFACE LEVEL
 - (6.0.459) (+/-) DIFFERENCE TO EXISTING SURFACE

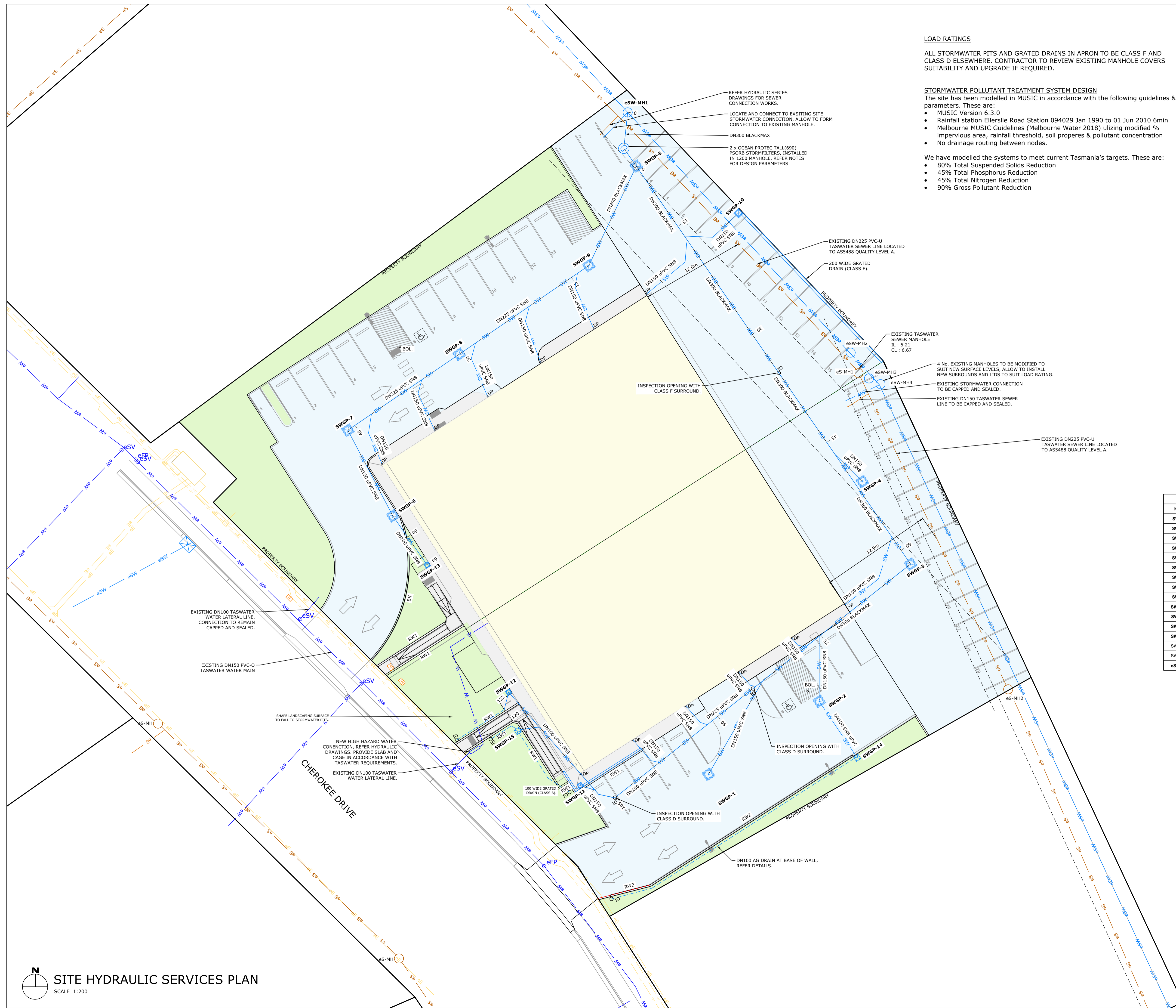
REV	Description	Date	By
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

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JMC
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 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES CIVIL WORKS PLAN

Drawn: AK PROJECT & SHEET: **246096 - C03** ISSUE: **BA3**
 Authorised: WC
 Plot Date: 12/09/2025
 Scale/Size: AS SHOWN @A1
 File ref: 246096-C03.dwg



LOAD RATINGS

ALL STORMWATER PITS AND GRATED DRAINS IN APRON TO BE CLASS F AND CLASS D ELSEWHERE. CONTRACTOR TO REVIEW EXISTING MANHOLE COVERS SUITABILITY AND UPGRADE IF REQUIRED.

STORMWATER POLLUTANT TREATMENT SYSTEM DESIGN

The site has been modelled in MUSIC in accordance with the following guidelines & parameters. These are:

- MUSIC Version 6.3.0
 - Rainfall station Ellerslie Road Station 094029 Jan 1990 to 01 Jun 2010 6min
 - Melbourne MUSIC Guidelines (Melbourne Water 2018) utilizing modified % impervious area, rainfall threshold, soil pereres & pollutant concentration
 - No drainage routing between nodes.
- We have modelled the systems to meet current Tasmania's targets. These are:
- 80% Total Suspended Solids Reduction
 - 45% Total Phosphorus Reduction
 - 45% Total Nitrogen Reduction
 - 90% Gross Pollutant Reduction

LEGENDS

- PROPOSED CONCRETE PATH REFER DETAIL 03 ON C10
 - PROPOSED HEAVY DUTY PAVEMENT, REFER DETAIL 03 ON C10
 - LANDSCAPING REFER ARCHITECT
 - PROPOSED BUILDING FOOTPRINT, REFER STRUCTURAL ENGINEER FOR SUBGRADE PREPARATION
 - BOLLARD REFER DETAIL 01 ON C10
 - RW1 RETAINING WALL REFER DETAIL 08 ON C10
 - RW2 RETAINING WALL REFER DETAIL 12 ON C10
 - BK BARRIER KERB REFER DETAIL 11 ON C10
 - IO INSPECTION OPENING
- DRAINAGE LEGEND**
- eSW-MH EXISTING STORMWATER MANHOLE
 - eS-MH EXISTING SEWER MANHOLE
 - SW-GD STORMWATER GRATED DRAIN 200 WIDE
 - SWGP-xx GRATED PIT AS SCHEDULED FITTED WITH OCEAN PROTECT OCEAN GUARD
 - DP DOWN PIPE REFER HYDRAULIC DRAWINGS

STORMWATER PIT/MANHOLE SCHEDULE					
MARK	SIZE (in mm)	TYPE	C.L.	IL	COMMENTS
SWGP-1	600 x 600	CLASS D GRATED	6.2220	5.7510	
SWGP-2	600 x 600	CLASS D GRATED	6.2780	5.6480	
SWGP-3	600 x 600	CLASS F GRATED	6.3100	5.4570	
SWGP-4	600 x 600	CLASS F GRATED	6.2390	5.4210	
SWGP-5	900 x 900	CLASS F GRATED	6.1180	5.1300	
SWGP-6	900 x 900	CLASS D GRATED	6.3550	5.8510	
SWGP-7	900 x 900	CLASS D GRATED	6.3300	5.6900	
SWGP-8	900 x 900	CLASS D GRATED	6.2710	5.5630	
SWGP-9	900 x 900	CLASS D GRATED	6.2600	5.4230	
SWGP-10	600 x 600	CLASS F GRATED	6.0950	5.3010	
SWGP-11	450 x 450	CLASS B GRATED	6.3680	5.8330	
SWGP-12	450 x 450	CLASS B GRATED	6.3570	5.9650	
SWGP-13	450 x 450	CLASS B GRATED	6.3960	5.9750	
SWGP-14	450 x 450	CLASS B GRATED	6.4960	6.1960	
SWGP-15	450 x 450	CLASS B GRATED	6.8550	6.5550	
eSW-MH1	10500	PRECAST MANHOLE	6.1990	5.0470	

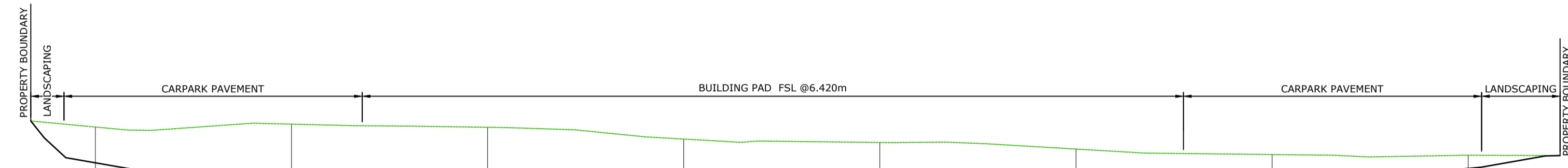
REV	Description	Date	By
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

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JMC
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 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES SITE HYDRAULIC SERVICES PLAN

Drawn: AK PROJECT & SHEET: 246096 - C04 ISSUE: BA3
 Authorised: WC
 Plot Date: 12/09/2025
 Scale/Size: AS SHOWN @A1
 File ref: 246096-C04.dwg



VERT EXAG 1:5
Datum 0.000

DESIGN LEVELS		6.541		6.334		6.420		6.420		6.420		6.420		6.337		6.484		
EXISTING LEVELS		6.907		6.936		6.904		6.784		6.749		6.682		6.626		6.619		
DEPTH		-0.365		-0.602		-0.484		-0.364		-0.329		-0.262		-0.289		-0.134		
CHAINAGE	0.000	10.000	20.000	30.000	40.000	50.000	60.000	70.000	80.000	90.000	90.349							

CL-1 LONG SECTION

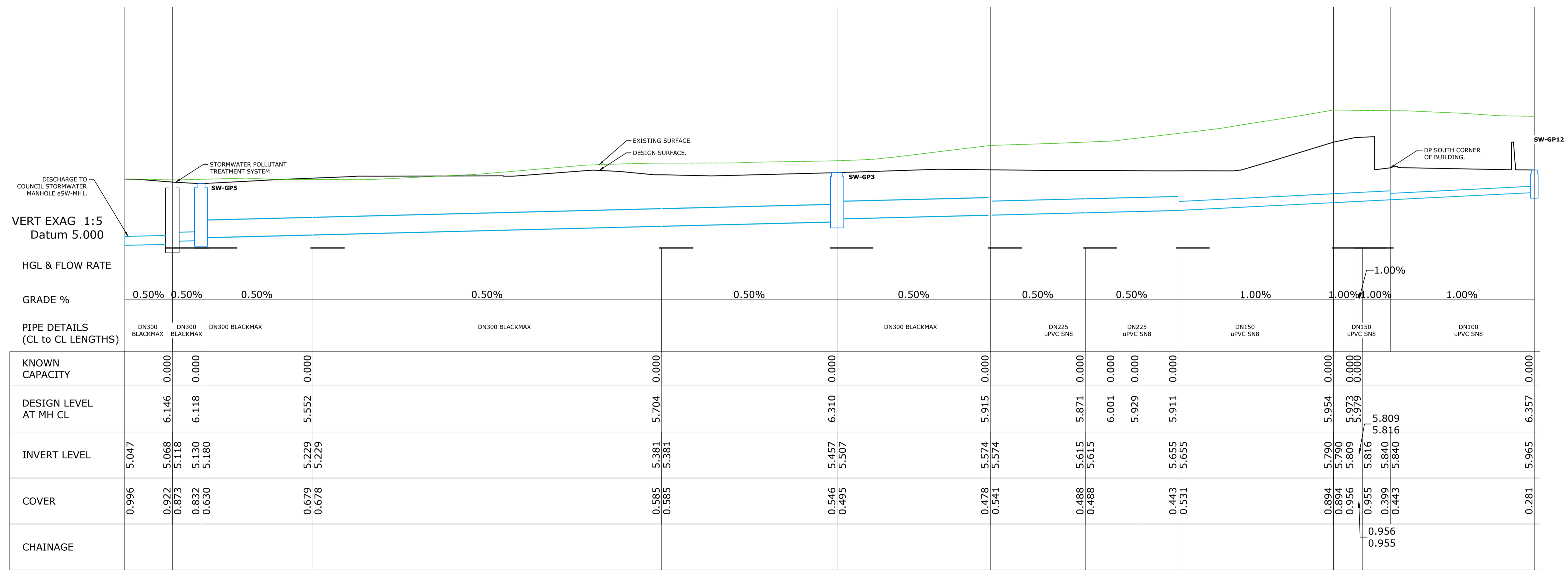
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
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JMC
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 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES
 SITE LONG SECTION

Drawn: AK	PROJECT & SHEET:	ISSUE:
Authorised: WC	246096 - C05	BA3
Plot Date: 12/09/2025		
Scale/Size: AS SHOWN @A1		
File ref: 246096-CL1.dwg		



VERT EXAG 1:5
Datum 5.000

HGL & FLOW RATE																										
GRADE %	0.50%	0.50%	0.50%	0.50%			0.50%	0.50%	0.50%	0.50%	1.00%	1.00%	1.00%	1.00%												
PIPE DETAILS (CL to CL LENGTHS)	DN300 BLACKMAX	DN300 BLACKMAX	DN300 BLACKMAX	DN300 BLACKMAX			DN300 BLACKMAX			DN225 uPVC SN8	DN225 uPVC SN8	DN150 uPVC SN8	DN150 uPVC SN8	DN100 uPVC SN8												
KNOWN CAPACITY		0.000	0.000							0.000	0.000	0.000	0.000	0.000												
DESIGN LEVEL AT MH CL		6.146	6.118	5.552			5.704	6.310	5.915	5.871	6.001	5.929	5.911	5.954	5.973	5.809	5.816	6.357								
INVERT LEVEL	5.047	5.068	5.118	5.130	5.180	5.229			5.381	5.381	5.457	5.507	5.574	5.574	5.615	5.615	5.655	5.655	5.790	5.790	5.809	5.816	5.840	5.840	5.965	
COVER	0.996	0.922	0.873	0.832	0.830	0.679			0.678	0.585	0.585	0.546	0.495	0.478	0.541	0.488	0.488	0.443	0.531	0.894	0.894	0.956	0.955	0.399	0.443	0.281
CHAINAGE																										

STORMWATER SOUTHERN LONG SECTION

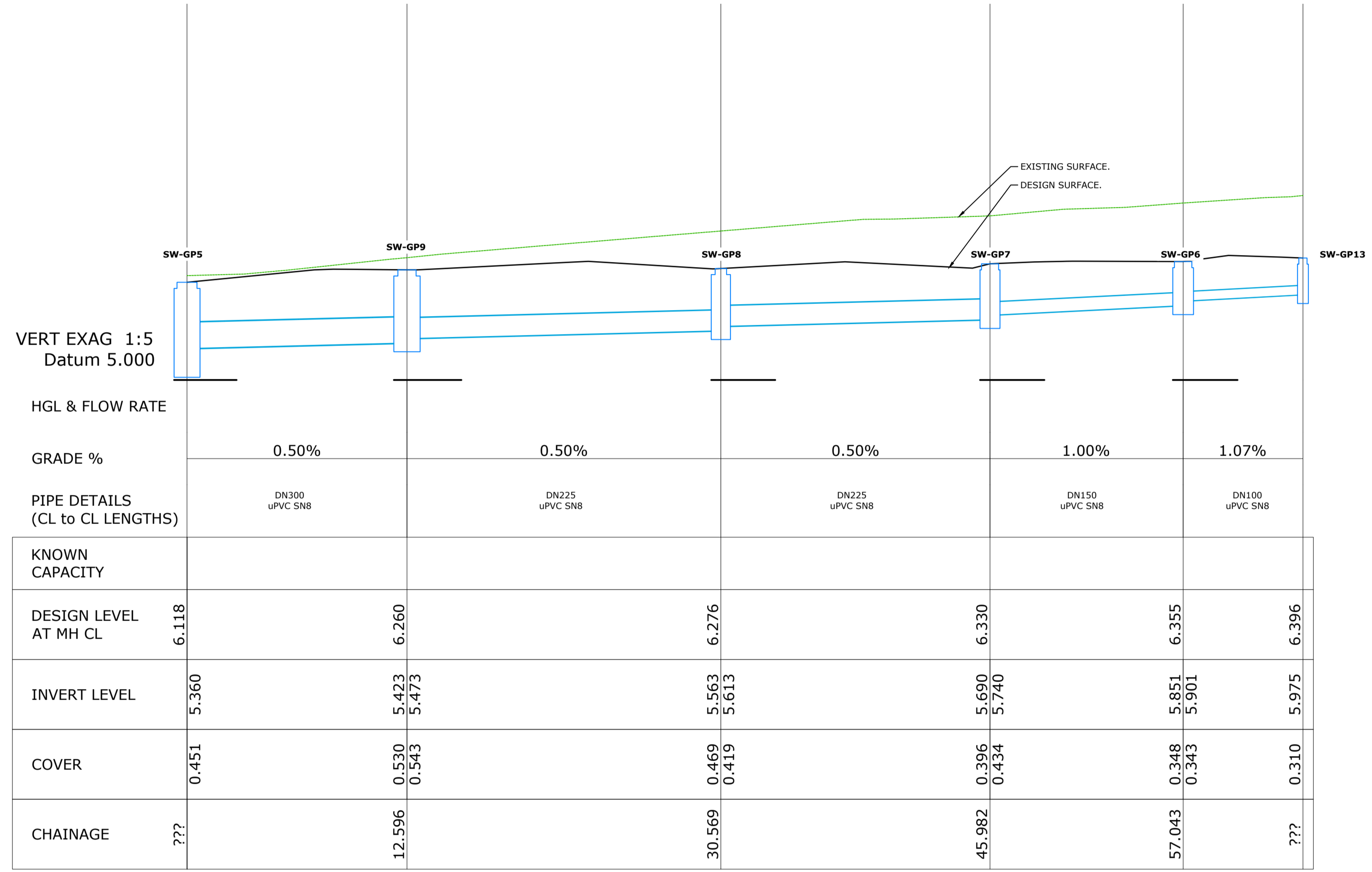
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BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

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 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES
 STORMWATER LONG SECTION
 SHEET 1

Drawn: AK	PROJECT & SHEET:	ISSUE:
Authorised: WC	246096 - C08	BA3
Plot Date: 12/09/2025		
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File ref: 246096-C08.dwg		



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Datum 5.000

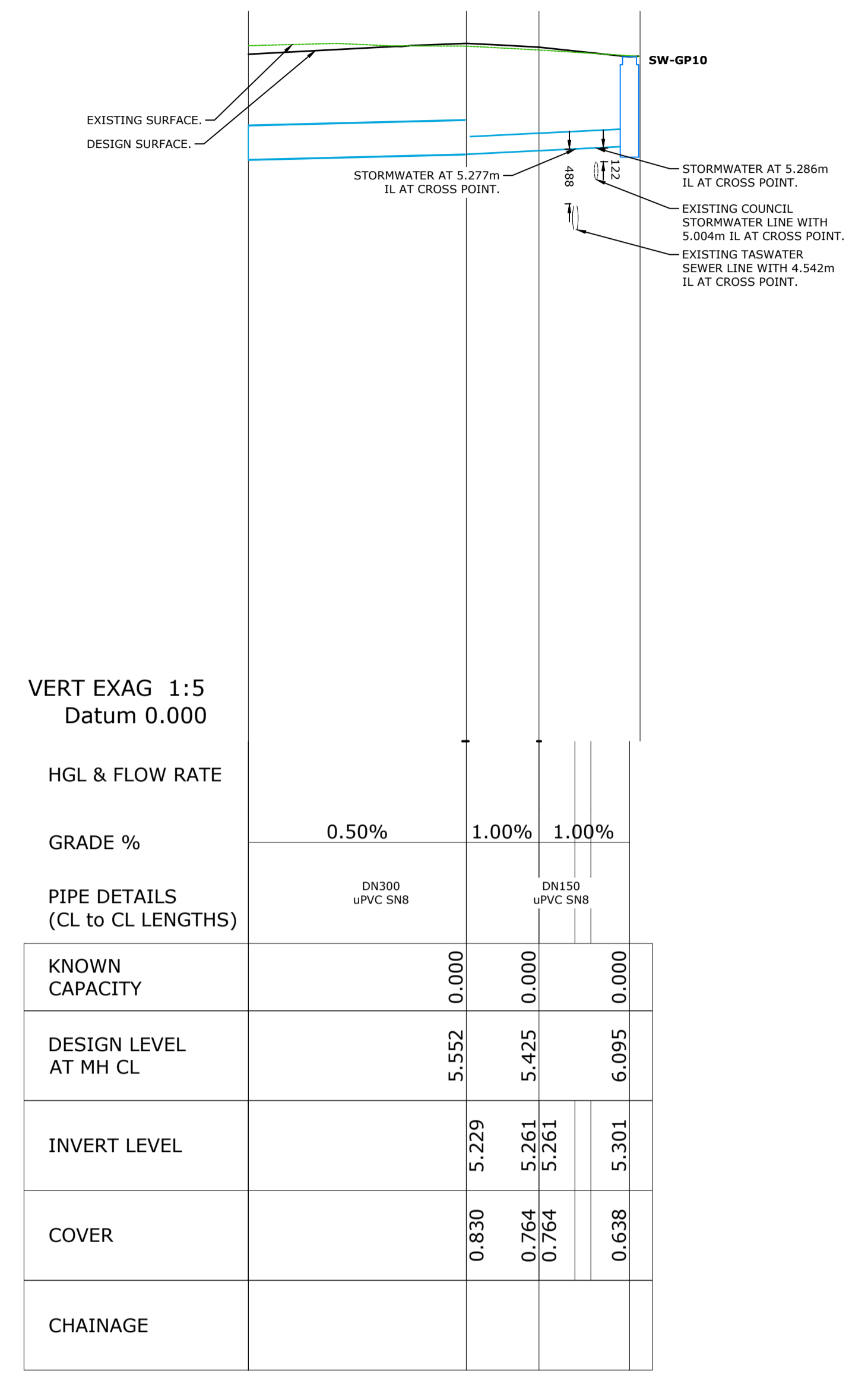
HGL & FLOW RATE

GRADE % 0.50% 0.50% 0.50% 1.00% 1.07%

PIPE DETAILS (CL to CL LENGTHS)
DN300 uPVC SN8 DN225 uPVC SN8 DN225 uPVC SN8 DN150 uPVC SN8 DN100 uPVC SN8

KNOWN CAPACITY					
DESIGN LEVEL AT MH CL	6.118	6.260	6.276	6.330	6.355
INVERT LEVEL	5.360	5.423 5.473	5.563 5.613	5.690 5.740	5.851 5.901
COVER	0.451	0.530 0.543	0.469 0.419	0.396 0.434	0.348 0.343
CHAINAGE	???	12.596	30.569	45.982	57.043
					???

STORMWATER WESTERN LONG SECTION



VERT EXAG 1:5
Datum 0.000

HGL & FLOW RATE

GRADE % 0.50% 1.00% 1.00%

PIPE DETAILS (CL to CL LENGTHS)
DN300 uPVC SN8 DN150 uPVC SN8

KNOWN CAPACITY			
DESIGN LEVEL AT MH CL	5.552	5.425	6.095
INVERT LEVEL	5.229	5.261 5.261	5.301
COVER	0.830	0.764 0.764	0.638
CHAINAGE			

STORMWATER NORTHERN LONG SECTION

STORMWATER PIT/MANHOLE SCHEDULE					
MARK	SIZE (in mm)	TYPE	C.L.	I.L.	COMMENTS
SWGP-1	600 x 600	CLASS D GRATED	6.2220	5.7510	
SWGP-2	600 x 600	CLASS D GRATED	6.2780	5.6480	
SWGP-3	600 x 600	CLASS F GRATED	6.3100	5.4570	
SWGP-4	600 x 600	CLASS F GRATED	6.2390	5.4210	
SWGP-5	900 x 900	CLASS F GRATED	6.1180	5.1300	
SWGP-6	900 x 900	CLASS D GRATED	6.3550	5.8510	
SWGP-7	900 x 900	CLASS D GRATED	6.3300	5.6900	
SWGP-8	900 x 900	CLASS D GRATED	6.2710	5.5630	
SWGP-9	900 x 900	CLASS D GRATED	6.2600	5.4230	
SWGP-10	600 x 600	CLASS F GRATED	6.0950	5.3010	
SWGP-11	450 x 450	CLASS B GRATED	6.3680	5.8330	
SWGP-12	450 x 450	CLASS B GRATED	6.3570	5.9650	
SWGP-13	450 x 450	CLASS B GRATED	6.3960	5.9750	
SWGP-14	450 x 450	CLASS B GRATED	6.4960	6.1960	
SWGP-15	450 x 450	CLASS B GRATED	6.8550	6.5550	
sSW-MH1	1050Ø	PRECAST MANHOLE	6.1990	5.0470	

STORMWATER LONG SECTION

SCALE 1:200

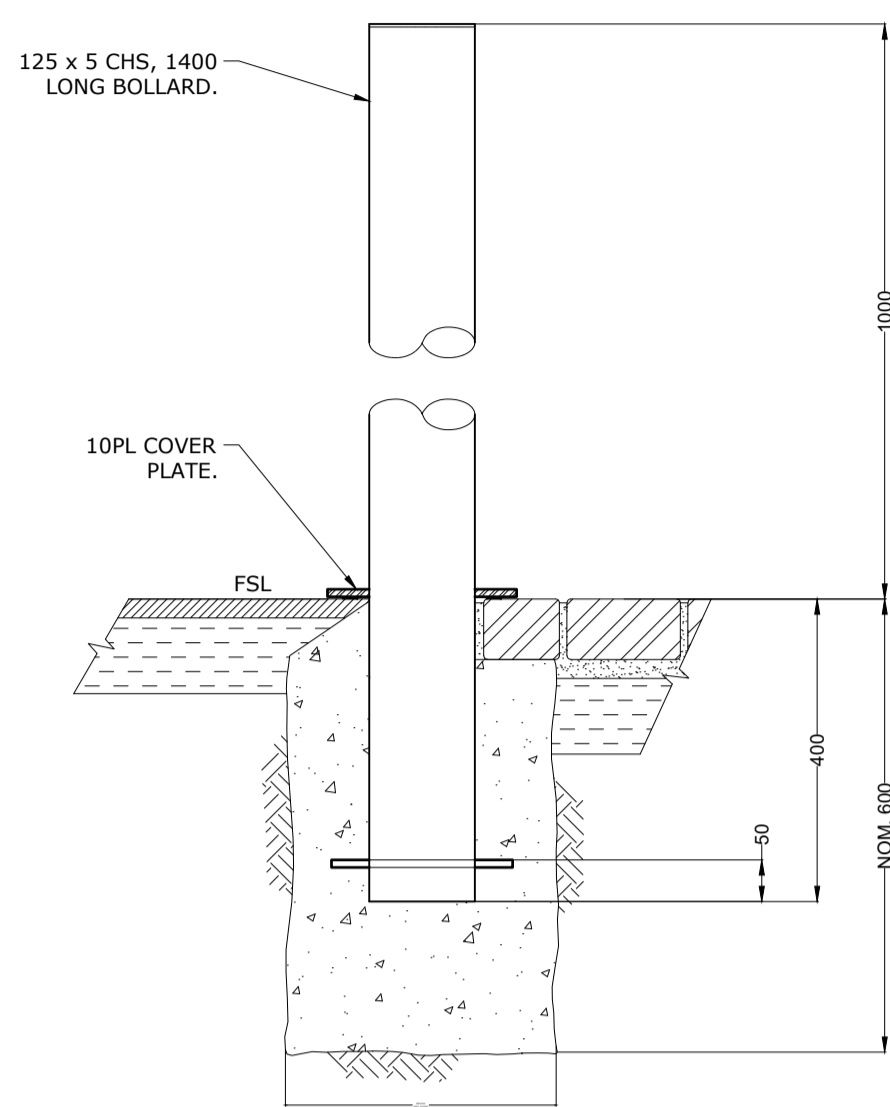
REV	Description	Date	By
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

CES | Coordinated Engineering Services
 136 Davey Street, Hobart | (03) 6294 6033
 73 Paterson Street, Launceston | (03) 6338 9974

JMC
 Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
 for: ARTAS

ARTAS ARCHITECTS CIVIL SERVICES STORMWATER LONG SECTION SHEET 2

Drawn: AK PROJECT & SHEET: 246096 - C09 ISSUE: BA3
 Authorised: WC
 Plot Date: 12/09/2025
 Scale/Size: AS SHOWN @A1
 File ref: 246096-C09.dwg



01 BOLLARD DETAIL
SCALE 1:10

NOTES:
TRENCH DEPTH (D = NOM DIAMETER)
CONCRETE PIPES = D + 600
UPVC PIPES = D + 200
DICI PIPES = OD + 300

PIPE OVERLAY
WATER MAINS = 150mm MINIMUM
SEWER & STORM WATER = 300 MINIMUM

COMPACTION OF BEDDING, HAUNCHING & OVERLAY
REFER TO AS 1289-5.5
CONCRETE PIPES = MIN. DENSITY INDEX = 60% (85% STD. COMPACTION)
UPVC/PIPE PIPES = DENSITY INDEX = 70% (95% STD. COMPACTION)
DICI PIPES = DENSITY INDEX = 65% (90% STD. COMPACTION)

BEDDING, HAUNCHING AND OVERLAY MATERIAL
BEDDING, HAUNCHING AND PIPE OVERLAY MATERIAL SHALL CONTAIN NO DELETERIOUS MATERIAL OR CLAY LUMPS AND SHALL COMPLY WITH THE FOLLOWING GRADINGS:

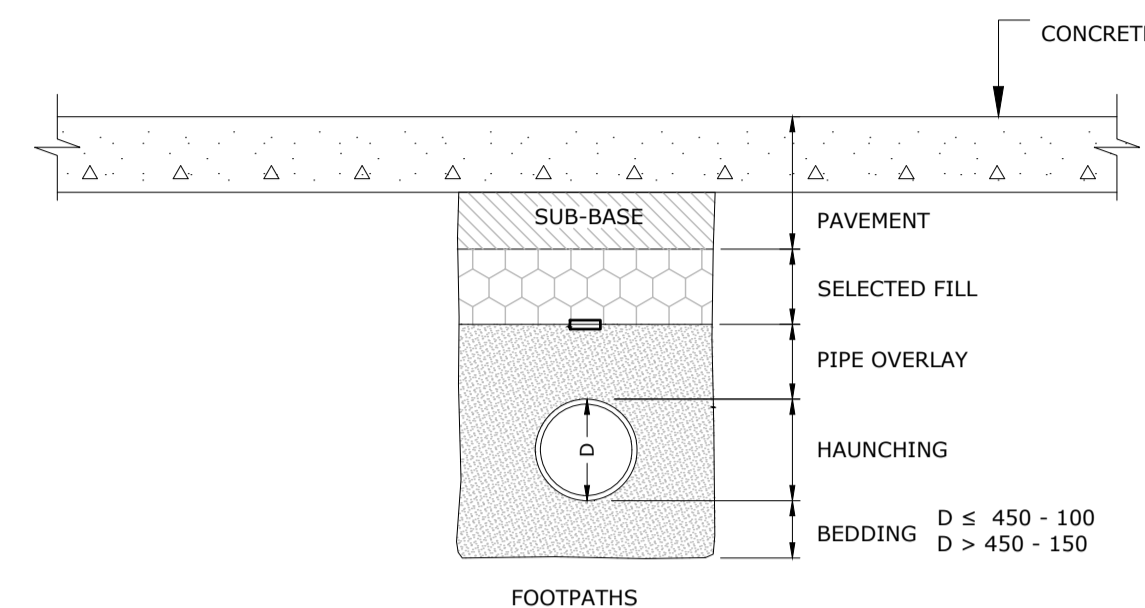
FOR UPVC AND DUCTILE IRON PIPES

SIEVE APERTURE (mm)	% PASSING (BY MASS)
TO AS 1152	
6.7	100
2.36	70-100
0.6	20-90
0.3	8-50
0.15	0-20
0.075	0-10

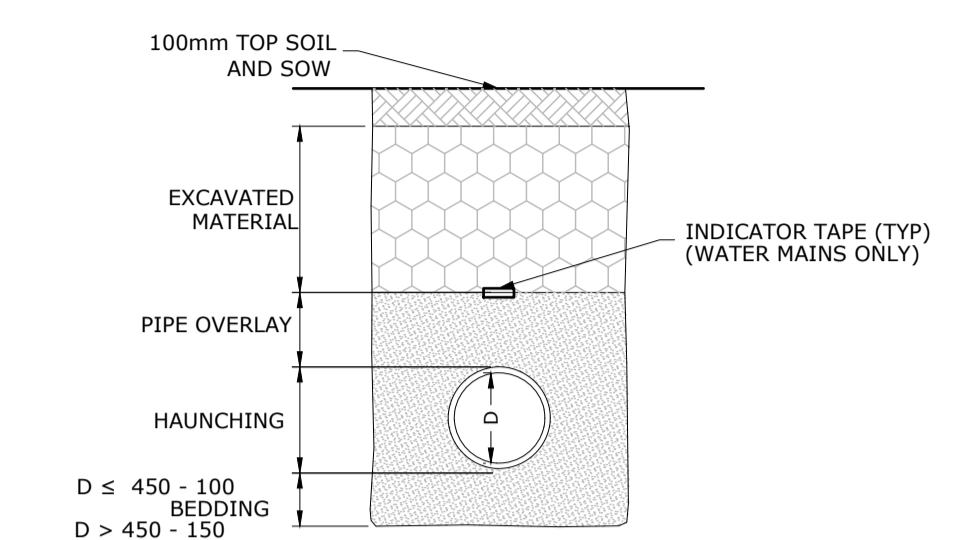
FOR CONCRETE PIPES

SIEVE APERTURE (mm)	% PASSING (BY MASS)
TO AS 1152	
19	100
2.36	50-100
0.6	20-90
0.3	10-60
0.15	0-25
0.075	0-10

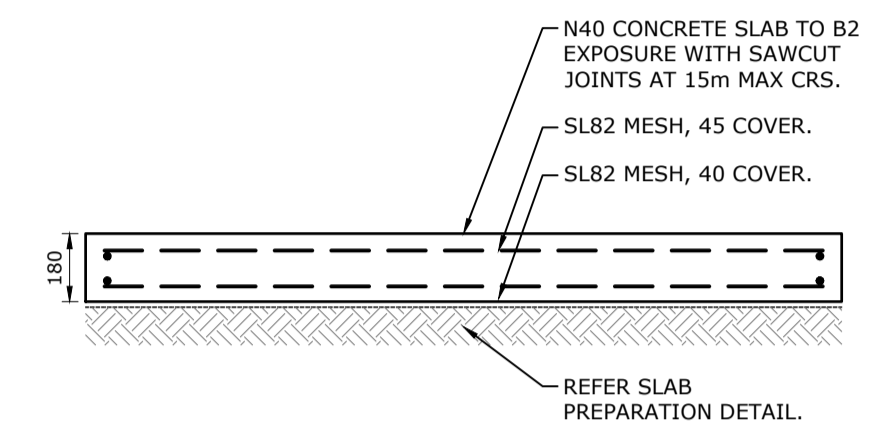
ALL MATERIAL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH AS 3725 AND TO THE SATISFACTION OF THE SUPERINTENDENT.



TRENCH DETAIL - (TRAFFICABLE)

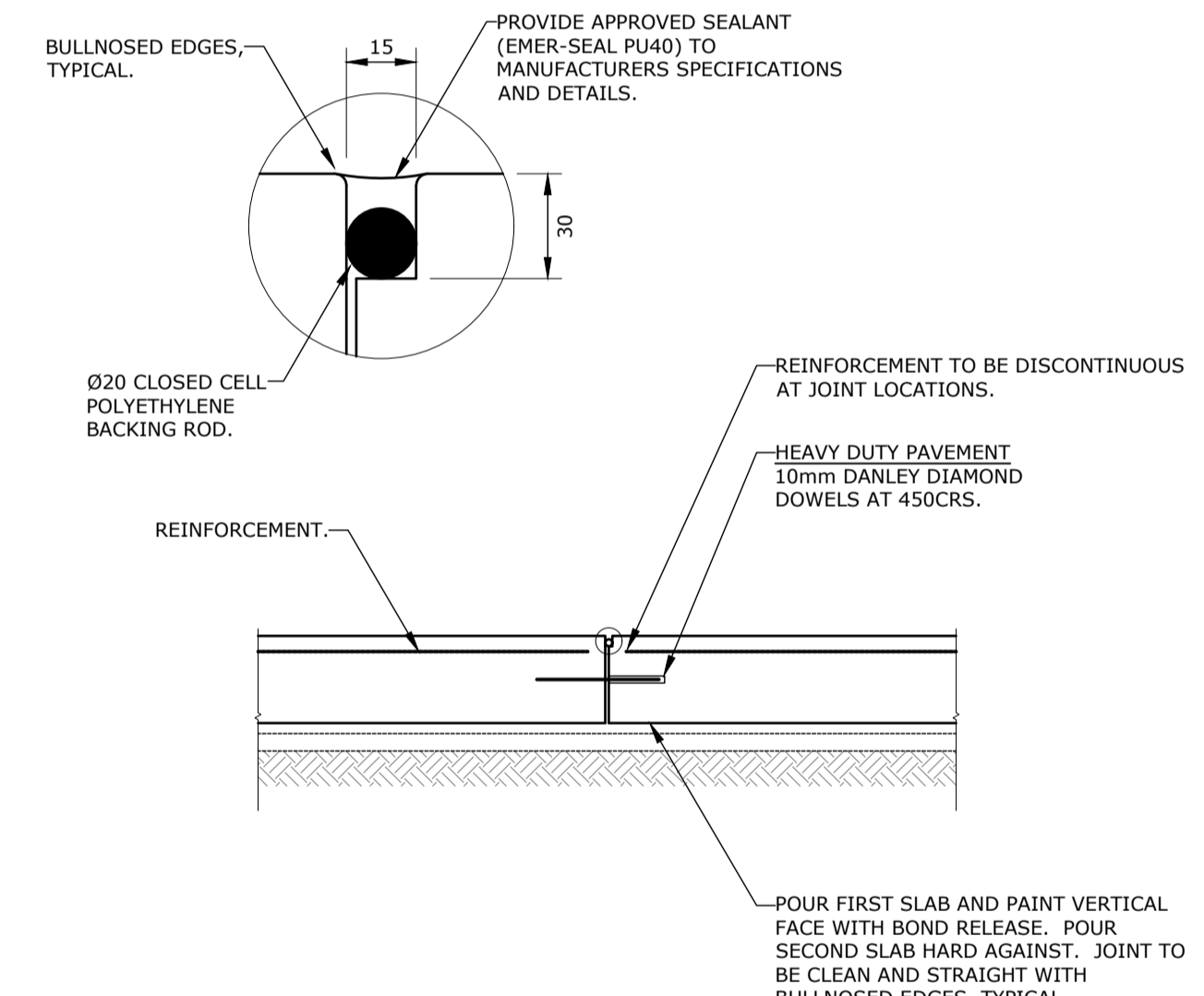


TRENCH DETAIL- (NON-TRAFFICABLE)

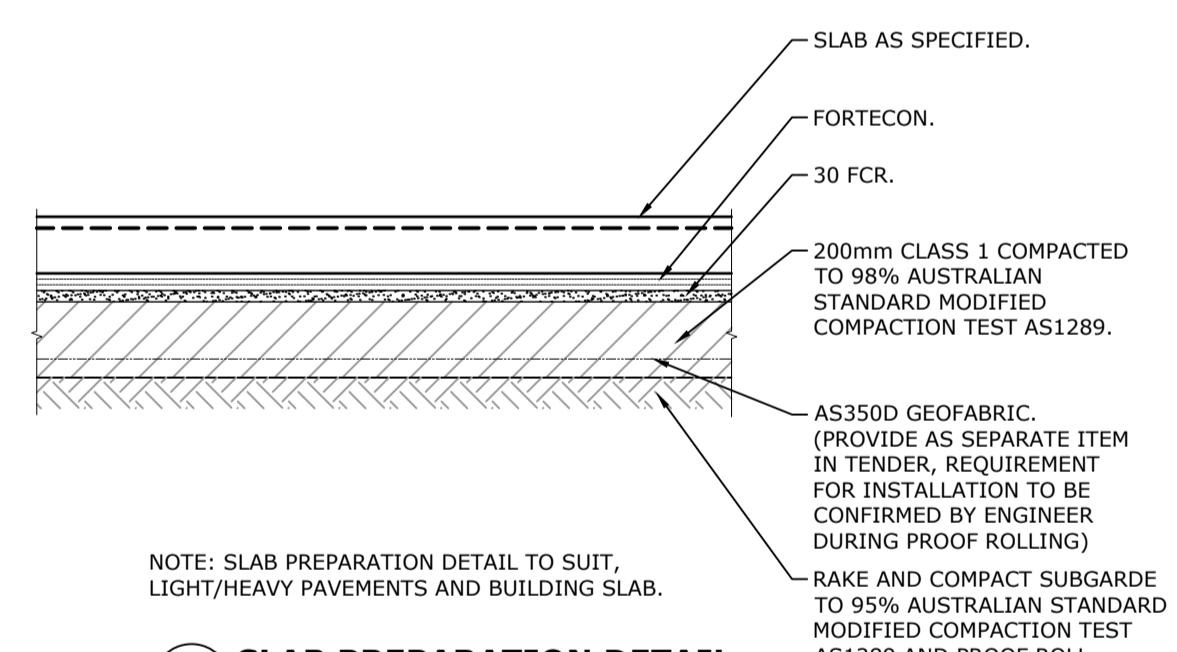


NOTE: HEAVY DUTY PAVEMENT DESIGNED FOR MAX 9,000kg AIRCRAFT.

03 HEAVY DUTY PAVEMENT DETAIL
SCALE 1:20

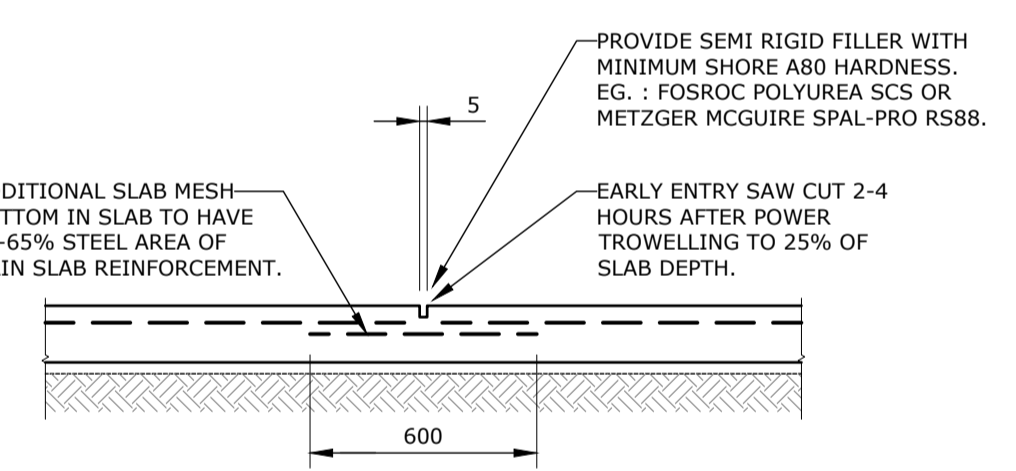


04 PAVEMENT CONSTRUCTION JOINT DETAIL
SCALE 1:20



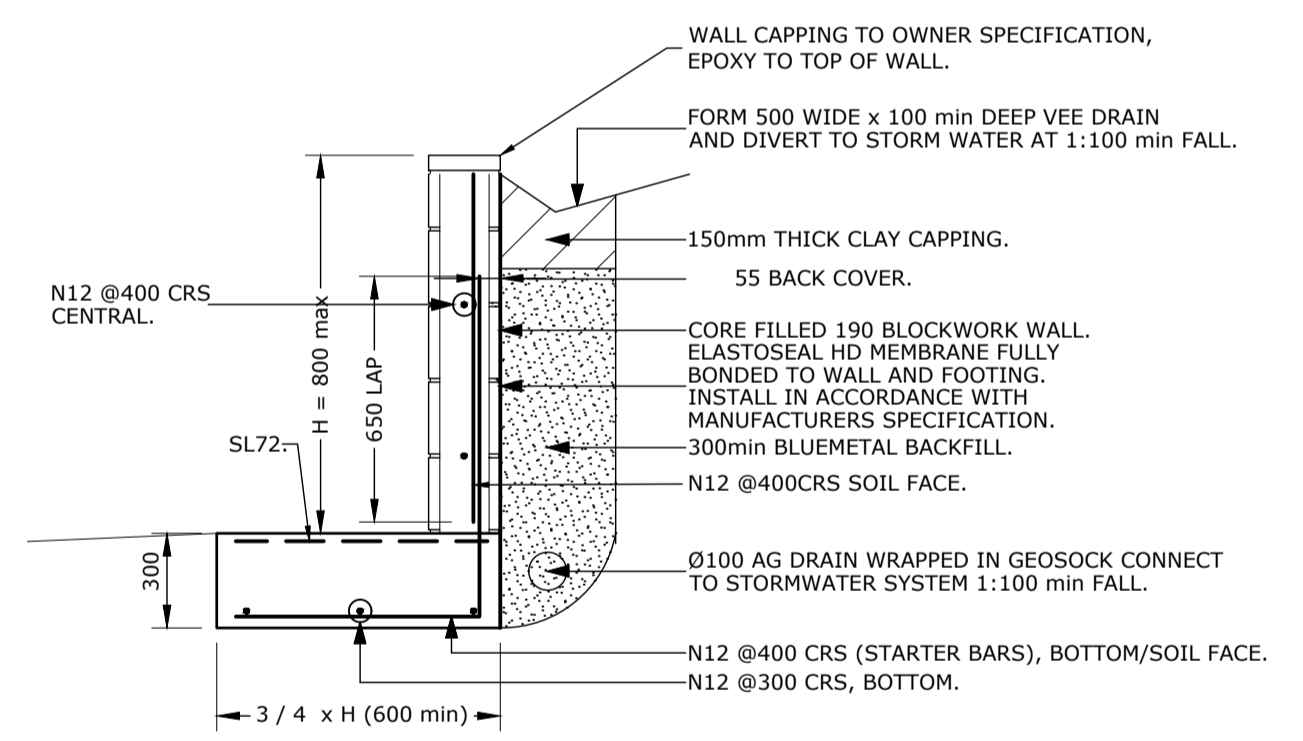
NOTE: SLAB PREPARATION DETAIL TO SUIT, LIGHT/HEAVY PAVEMENTS AND BUILDING SLAB.

05 SLAB PREPARATION DETAIL
SCALE 1:20

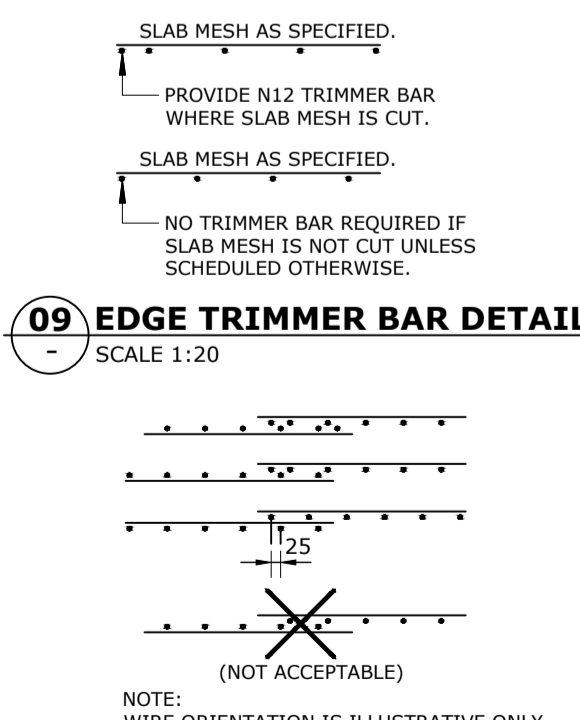


06 TYPICAL PAVEMENT SAWCUT JOINT
SCALE 1:20

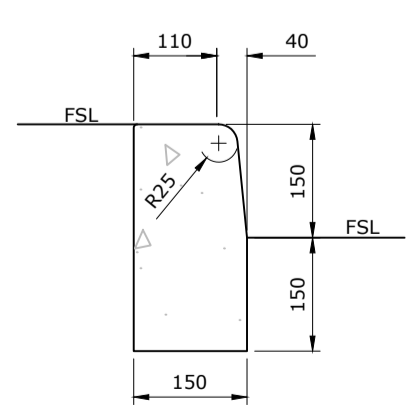
07 DETAIL REMOVED FROM DESIGN
SCALE NTS



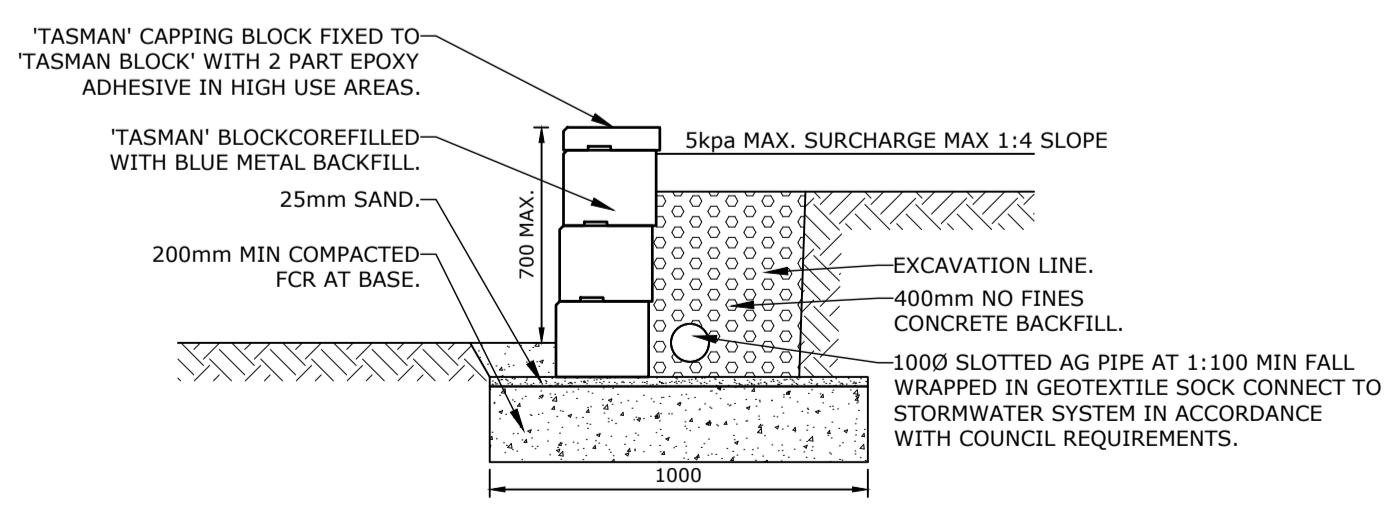
08 RETAINING WALL DETAIL (≤ 1,200 HIGH) - RW1
SCALE 1:20



09 EDGE TRIMMER BAR DETAIL
SCALE 1:20



11 TYPE BK (BARRIER KERB)
SCALE 1:10



NOTE: WALL MAY BE SUBSTITUTED WITH WALL SHOWN IN DETAIL 8.

12 GRAVITY 'TASMAN' BLOCK RETAINING WALL
SCALE 1:20

REV	Description	Date	By
BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM

CES Coordinated Engineering Services
136 Davey Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

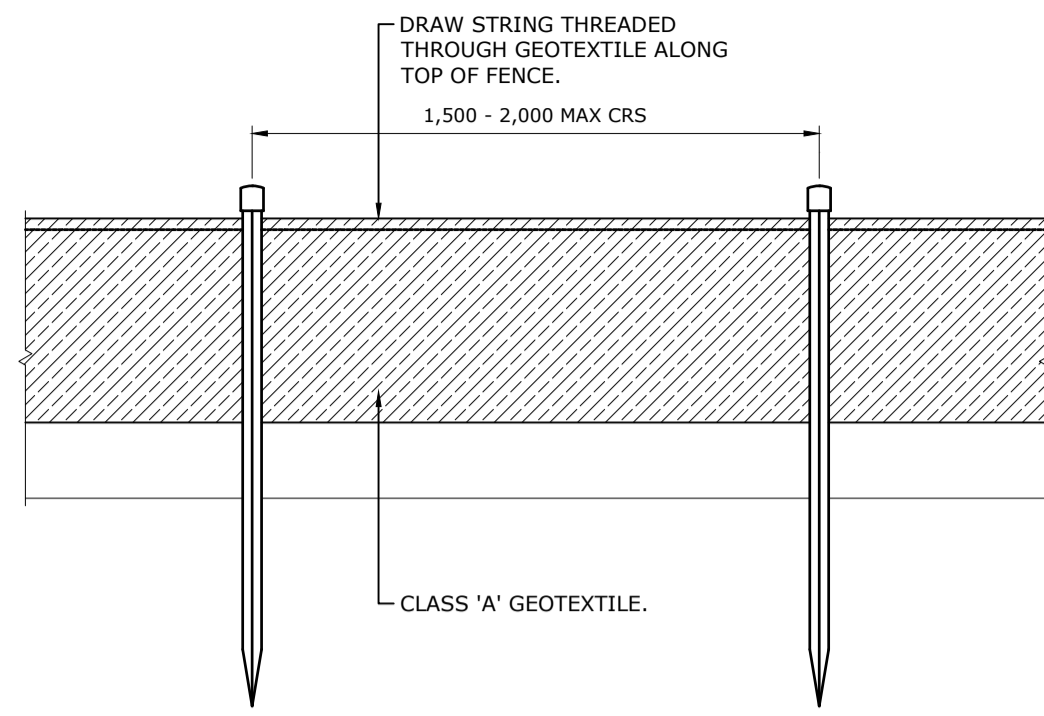
JMC
Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
for: ARTAS

ARTAS ARCHITECTS
CIVIL SERVICES
CIVIL DETAILS

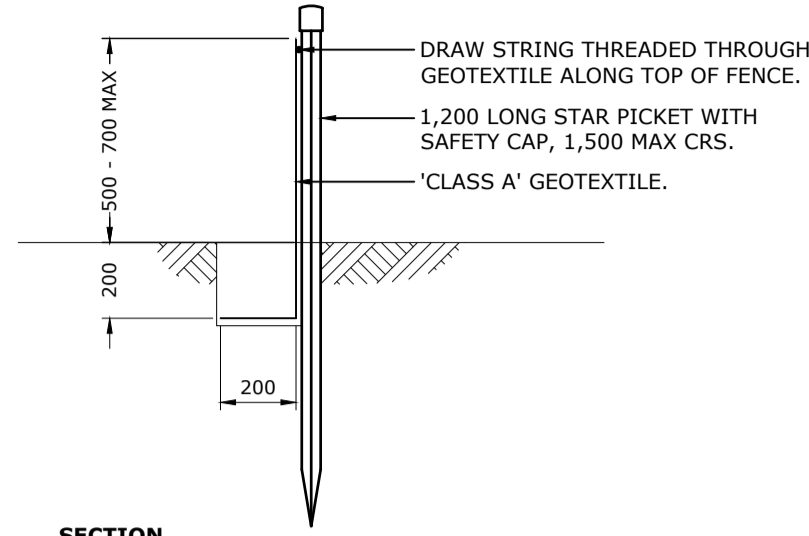
Drawn: AK
Authorised: WC
Plot Date: 12/09/2025
Scale/Size: AS SHOWN @A1
File ref: 246096-C1.dwg

PROJECT & SHEET:
246096 - C10

ISSUE:
BA3

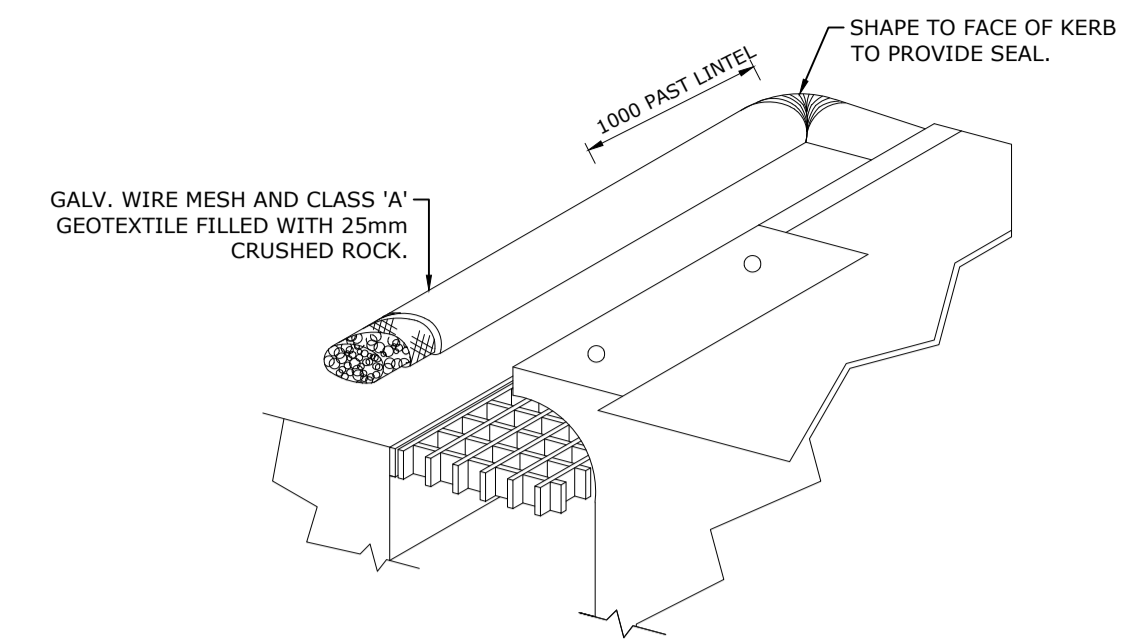


ELEVATION



SECTION

SILT FENCE DETAIL
SCALE 1:20



SILT FENCE AT GULLY PIT DETAIL
SCALE 1:20

SILT FENCE CONSTRUCT AS DETAILED AND INSTALL CLASS 'A' GEOTEXTILE OR USE PROPRIETARY SILT FENCE. EG. MACCAFERRI 'SILT LOK'.

OMIT SANDBAG WALL AND SILT TRAP WHEN PIT IS IN A LOW POINT.

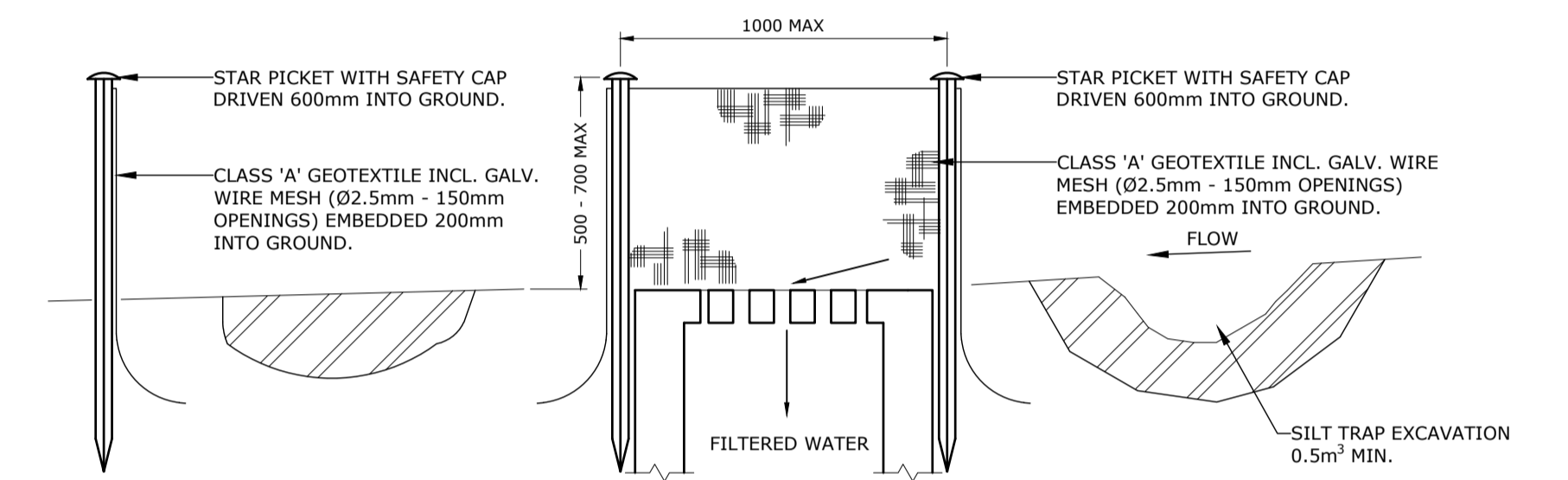
GULLY PIT GALVANISED WIRE MESH 2mm DIA x 12mm OPENING.

GENERAL SEDIMENT FENCES ARE TO BE CLEANED DAILY TO PREVENT BREAKAGE/OVERTOPPING.

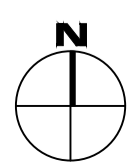
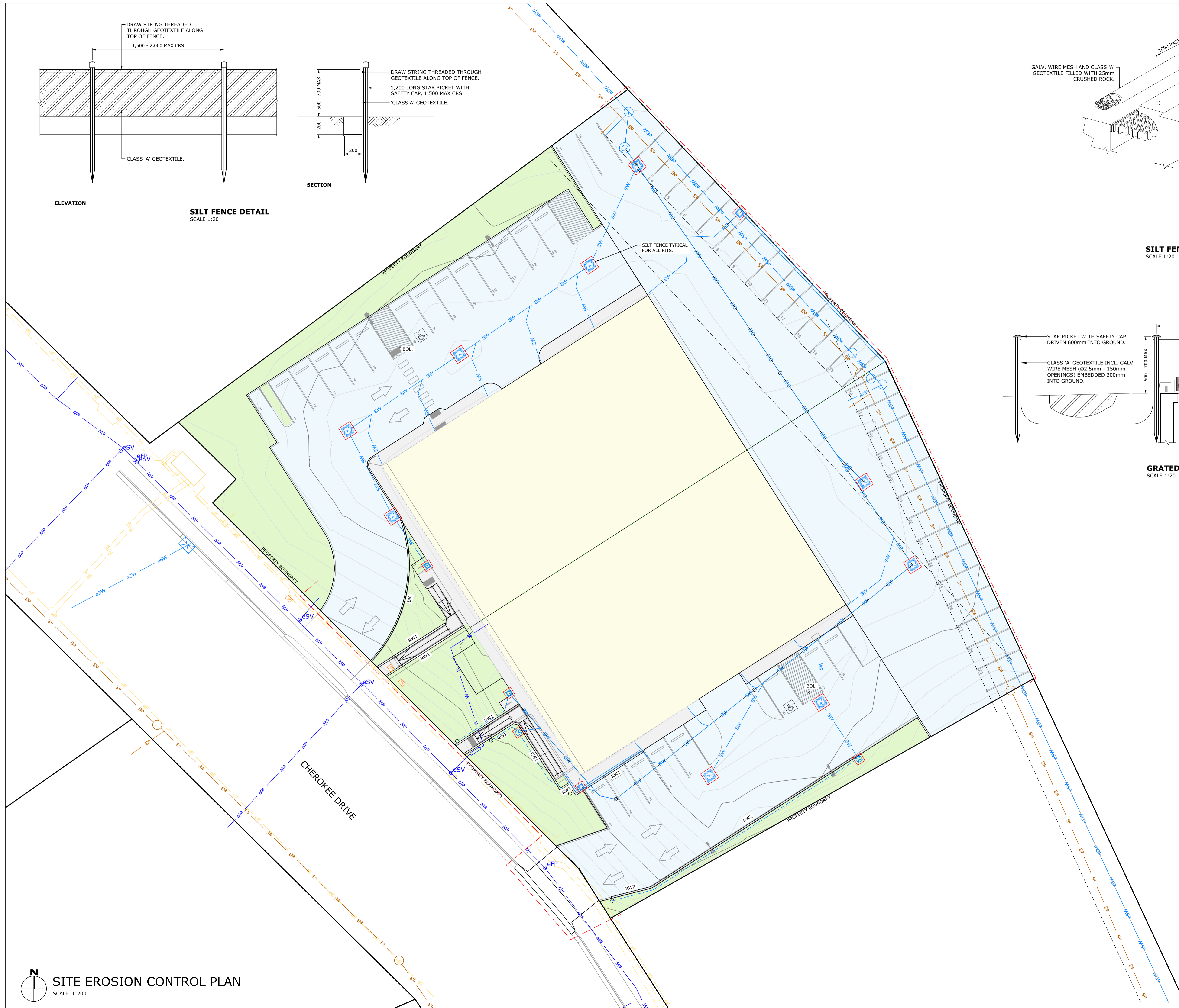
IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES.

IT IS STRONGLY RECOMMENDED THAT THE DEVELOPER RE-COVERS ANY DISTURBED AREAS WITH TOPSOIL AS QUICKLY AS POSSIBLE AFTER BULK EARTHWORKS ARE COMPLETED TO PREVENT SOIL DISPERSION.

NOTE
INSTALL SILT MANAGEMENT AS REQUIRED. LOCATIONS TO BE CONFIRMED ON SITE. ENSURE SILT MANAGEMENT COMPLIES WITH CURRENT COUNCIL STANDARDS AND REQUIREMENTS.



GRATED PIT SILT FENCE DETAIL
SCALE 1:20



SITE EROSION CONTROL PLAN
SCALE 1:200

BA3	ISSUED FOR BUILDING APPROVALS	12/09/2025	AK
BA2	ISSUED FOR BUILDING APPROVALS	07/01/2025	AK
BA1	ISSUED FOR BUILDING APPROVALS	13/11/2024	JM
REV	Description	Date	By

CES Coordinated Engineering Services
136 Davey Street, Hobart | (03) 6294 6033
73 Paterson Street, Launceston | (03) 6338 9974

JMC
Project address: 41-43 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170
for: ARTAS

ARTAS ARCHITECTS	CIVIL SERVICES SITE EROSION CONTROL PLAN
Drawn: AK Authorised: WC Plot Date: 07/07/2025 Scale/Size: AS SHOWN @A1 File ref: 246096-C11.dwg	PROJECT & SHEET: 246096 - C11 ISSUE: BA3

23,000mm

1,800mm



AUTOMOTIVE TRAINING FACILITY



TasTAFE TASMANIA **AUTOMOTIVE TRAINING FACILITY**





2000

1500

TasTAFE
TASMANIA
AUTOMOTIVE
TRAINING
FACILITY
Main Office →

JCB
55



5,600mm



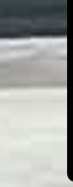
1,700mm



TasTAFE
TASMANIA
AUTOMOTIVE
TRAINING
FACILITY



550mm W x 240mm H





**AUTOMOTIVE
TRAINING
FACILITY**



18 February 2026
Reference: 2425-105

Natalie Waters
Senior Planner
Clarence City Council

By email: cityplanning@ccc.tas.gov.au; nwaters@ccc.tas.gov.au

Dear Natalie,

41 & 43 Cherokee Drive, Cambridge
Change of use to Educational and Occasional Care

Era Advisory has been engaged by Errol Stewart of South Hobart Investments to provide an assessment of the proposed change of use from Storage to Educational and Occasional Care at 41 and 43 Cherokee Drive in Cambridge, under the *Tasmanian Planning Scheme – Clarence* (the planning scheme).

The site has been approved for a Storage facility (helicopter hangar) that is currently under construction. A change of use is being sought to enable the development of an Automotive Service Centre that will be operated by TasTAFE, providing training to Automotive students.

The proposal includes the following works to facilitate the change of use from the original approved plans:

- Provision of additional overflow car parking spaces in lieu of the approved helicopter landing area.
- Internal construction of the automotive workshop with space for tools and 12 car hoists.
- Additional construction of internal walls separating the automotive workshop from training rooms, meeting rooms, office, entry area and amenities.
- Provision of additional internal amenities including toilet stalls.

The site is within the Light Industrial Zone.

Background

An application for this proposal was submitted to Clarence City Council in May 2025 (PDPLANPMTD-2025/052754). Council considered the proposed use to be Educational and Occasional Care, which was previously Prohibited within the Light Industrial Zone. The application was subsequently withdrawn.

State Planning Provisions amendment 02-2025 recently came into effect (date 18 February 2026). The amendment allows for a new employment training centre to receive Discretionary approval within the Light Industrial Zone. As such, this proposal seeks Discretionary approval for a proposed change of use to Educational and Occasional Care (employment training centre).

Use class and status

The proposal falls into the use class of Educational and Occasional Care, which is defined as:

use of land for educational or short-term care purposes. Examples include a childcare centre, day respite centre, employment training centre, kindergarten, primary school, secondary school and tertiary institution.

Furthermore, the proposal fits within the definition of an employment training centre, which is defined as follows:

means use of land to provide education and training to jobseekers and unemployed persons, or vocational training in specialised or technical skills.

An Educational and Occasional Care use for an employment training centre is classed as Discretionary within the Light Industrial Zone.

Light Industrial Zone purpose

Pursuant to clause 18.1 in the planning scheme, the purpose of the Light Industrial Zone is:

- To provide for manufacturing, processing, repair, storage and distribution of goods and materials where off site impacts are minimal or can be managed to minimise conflict with, or unreasonable loss of amenity to, any other uses.
- To provide for use or development that supports and does not adversely impact on industrial activity.

As a Discretionary use, the proposal must be consistent with the Light Industrial Zone purpose.

The use involves vehicle servicing, mechanical work and related training activities. It will function as a training facility for automotive students, delivering skills and qualifications directly aligned with the needs of local industries. Automotive servicing and mechanical repair are industrial functions that would be anticipated in the Light Industrial Zone.

Internal workshop spaces, car hoists and training rooms are contained within the building, effectively managing noise, emissions or other off-site impacts. The provision of additional overflow car parking spaces in lieu of the approved helicopter landing area does not create any new impacts on industrial activity or amenity.

Overall, the proposed use is consistent with the zone purposes statements as it provides for a use with industrial characteristics that will not conflict with surrounding uses or create an unreasonable loss of amenity.

Use Standards

The site is not within 50 m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone or Rural Living Zone.

The proposed use is a Discretionary use. Clause 18.3.2 Discretionary Uses is applicable.

Acceptable Solutions

Performance Criteria

Objective

That uses listed as Discretionary do not compromise the use or development of the land for industrial activities with minimal or managed off site impacts.

A1

No Acceptable Solution.

P1

A use listed as Discretionary must not compromise the use or development of the surrounding properties for industrial activities with minimal or managed off site impacts, having regard to:

- (a) the characteristics of the site;
 - (b) the size and scale of the proposed use; and
 - (c) the function of the industrial area.
-

Planner Response

The proposed use as an Automotive Training Centre will be light industrial in character and function. As such, it will not impede the function of the surrounding industrial area. There will be no adverse impacts on surrounding industrial activity. The size and scale of the proposed use is generally consistent with that which has already been approved for the site.

The performance criteria (P1) are satisfied.

Development Standards for Buildings and Works

There are no proposed changes to building height, building setback, fencing, outdoor storage areas or landscaping from the previously approved plans. Further assessment against Development Standards for Building and Works is not required.

Parking and Sustainable Transport Code

The proposal is subject to the standards under C2.5 Use Standards. Based on information from the operator, there will be 10 staff members and between 24-36 students onsite at any one time.

Clause

Response

C2.5.1 Car parking numbers

Table C2.1 requires 1 car parking space per employee + 1 space per 6 tertiary education students. This makes a requirement of 16 car parking spaces.

49 car parking spaces are proposed. **The acceptable solution is met.**

C2.5.2 Bicycle parking numbers

Table C2.1 requires 1 bicycle parking space per 5 employees and tertiary education students. This makes a requirement of 9 bicycle parking spaces.

4 bicycle parking spaces are proposed. This is considered to meet the reasonable needs of the use as the site is within the Light Industrial Zone and users of the site are more likely to drive a car. **The performance criteria are satisfied.**

C2.5.3 Motorcycle parking numbers

Pursuant to Table C2.1 there is no motorcycle parking requirement for this proposal.

Nonetheless, the proposal includes 1 dedicated motorcycle parking space. **The acceptable solution is met.**

Road and Railway Assets Code

The proposal is subject to the Road and Railway Assets Code as the proposal is expected to increase the amount of vehicular traffic using an existing vehicle crossing. Clause C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction is applicable.

Acceptable Solutions

Performance Criteria

Objective

To minimise any adverse effects on the safety and efficiency of the road or rail network from vehicular traffic generated from the site at an existing or new vehicle crossing or level crossing or new junction.

A1.1

For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:

- (a) a new junction;
- (b) a new vehicle crossing; or
- (c) a new level crossing.

A1.2

For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.

A1.3

For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.

A1.4

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:

- (a) the amounts in Table C3.1; or
- (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.

A1.5

Vehicular traffic must be able to enter and leave a major road in a forward direction.

P1

Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:

- (a) any increase in traffic caused by the use;
- (b) the nature of the traffic generated by the use;
- (c) the nature of the road;
- (d) the speed limit and traffic flow of the road;
- (e) any alternative access to a road;
- (f) the need for the use;
- (g) any traffic impact assessment; and
- (h) any advice received from the rail or road authority.

Planner Response

Cherokee Drive is a local sealed road. A1.1 is not applicable.

No new junction, vehicle crossing or level crossing is proposed. A1.2 is not applicable.

The proposal does not affect the rail network. A1.3 is not applicable.

Vehicular traffic using the existing vehicle crossing is expected to increase by more than 40 vehicle movements per day (AADT) from the approved use. The proposal requires assessment against the performance criteria.

Based on information from the operator, there will be 10 staff members and between 24-36 students onsite at any one time. Classes will start at 8:30am and run until 4:30pm. All students would arrive for an 8:30 am start. Starting

times for students would not be varied throughout the day. As such, it is anticipated that there would be approximately 92 vehicle movements on peak attendance days on the assumption that every staff member and student drives their own car to and from the site. It is noted that vehicle movements will vary depending on the weekday, training week and TAFE study calendar (e.g., semester breaks), reducing the number of vehicle movements when considering AADT.

The site is within the Light Industrial Zone and the area has been designed and developed to support industrial traffic. Access to Cherokee Drive is via Kennedy Drive, which is a collector road. The existing and new vehicle access to the site has been designed to accommodate significant traffic volumes expected in an industrial area. The proposal is to be assessed by Clarence City Council's Development Engineering personnel.

The site is appropriate for the proposed use, which is industrial in nature. Increased vehicle movements are required to support the use. The use is needed as it will provide a key training facility, enabling the development of automotive skills in Tasmania.

Cherokee Drive is not a major road. A1.5 is not applicable.

The performance criteria (P1) are satisfied.

Safeguarding of Airports Code

The site is covered by the airport noise exposure area overlay and the airport obstacle limitation area overlay. The Safeguarding of Airports Code applies to:

- a. a sensitive use within an airport noise exposure area; and*
- b. development within an airport obstacle limitation area*

No sensitive use is proposed. The Code applies to there is proposed development within an airport obstacle limitation area.

The airport obstacle limitation area is associated with a Commonwealth-leased airport (Hobart International Airport). A1/P1 of Clause C16.6.1 applies to the development.

A1 - Buildings and works within an airport obstacle limitation area associated with a Commonwealth-leased airport that exceed the specified height limit shown on the airport obstacle limitation area overlay applicable for the site of the development must have approval from the relevant Commonwealth department under the Airports Act 1996 (Commonwealth).

The height limit shown on the overlay is 22 m. The proposal satisfies A1 as it will not exceed 22 m.

Flood-prone Areas Code

A small corner of the site is covered by the flood-prone areas overlay. The change of use proposal will not create any new impervious surfaces from the previously approved plans. Further assessment against the Flood-prone Areas Code is not required.

Yours sincerely,



Grace Elliott
Planner

Attachments

Planning application form

Title documentation

Proposal plans

19 March 2026
Reference: 2425-105

Janelle Townsend
Senior Planner
Clarence City Council

By email: cityplanning@ccc.tas.gov.au

Dear Janelle,

PDPLANPMTD-2026/059327 - 41 Cherokee Drive, Cambridge
Response to request for additional information

Era Advisory continues to act on behalf of South Hobart Investments in relation to the proposed change of use to Educational and Occasional Care (employment training centre) at 41 Cherokee Drive, Cambridge.

1 Response to additional information

Responses to the request for additional information dated 6 March 2026 is provided in the table below.

Information requested	Response
<p>Please revise the submitted plans to clearly identify the components approved under PDPLANPMTD-2024/043645 and PDPPAMEND-2024-045695 and those subject to this application. Noting that additional parking, changes to parking on the southern side, changes to landscaped areas, changes to ramp accesses, and signage appear to have not been previously approved.</p> <p>Please also remove the site boundary indicator, noting the site has now been consolidated.</p>	<p>See attached amended proposal plans that clearly identify the components approved and proposed.</p> <p>The former site boundary indicator has been removed from the site plan.</p>
<p><i>C1.6.1 Design and siting of signs</i></p> <ul style="list-style-type: none">The signs shown in the application have not been previously approved and it is recommended that you update the application to include these signs.Please provide signage plans and elevations to enable assessment of the signs. The signs appear to be wall signs and it is likely they will not meet Acceptable Solutions A1 and A3; you may also wish	<p>See attached amended proposal plans (now including signage elevations) and schedule of signage designs.</p> <p>An assessment against the Signs Code is provided in Section 2. The proposed signage satisfies the performance criteria under Clause C1.6.1 (P1 and P3).</p>

Information requested

Response

to provide a response to the relevant Performance Criteria.

With regard to the additional parking area and changes to the approved parking area, Council's development engineers request that the plans show:

- drainage of the driveway and parking area with a final connection point to public stormwater to enable assessment of C2.6.1 Construction of parking areas;
- driveway and parking gradients for new manoeuvring, circulation, and parking areas and parking dimensions and turning path for the corner parking spaces which seems to be obstructed by gates to enable assessment of C2.6.2 Design and layout of parking areas Acceptable Solution A1.1;
- Measures to achieve safe and convenient pedestrian access to enable assessment of C2.6.5 Pedestrian access; and
- Dimensions of loading bays along with the type of vehicles, and their turning path, associated with the proposed use to enable assessment of C2.6.6 Loading bays.

The following information is provided in response to this request:

- See attached civil drawings prepared by Coordinated Engineering Services.
- See attached civil drawings and amended proposal plans.
- The proposal plans have been amended to include a line marked path at the rear of the building that connects to the approved pedestrian pathways. This is to achieve safe and convenient pedestrian access from the proposed rear car parking area.
- A dedicated loading zone for deliveries has been added and dimensioned on the amended proposal plans.

2 Assessment against C1.0 Signs Code

2.1 Proposed signage

Sign	Detail	Area
Front fence elevation – Wall sign	New ACM signage panel 2 m x 1.5 m	3 m ³
Southeast elevation – Wall sign	New ACM signage panel 5.6 m x 1.7 m	9.52 m ²
Southeast elevation – 'Main Office' sign – Exempt from Signs Code pursuant to C1.4.2 (not intended to be seen from outside the site)	New laser cut vinyl lettering signage panel 0.55 m x 0.24 m	0.132 m ²
Southwest elevation – Wall sign	New ACM signage panel 23 m x 1.8 m	41.4 m ²

2.2 Applicable standards

Clause

Applicability

Development standards for Buildings and Works

Clause	Applicability	
C1.6.1 Design and siting of signs	A1/P1	Applicable.
	A2/P2	Not applicable. Site does not adjoin a listed zone.
	A3/P3	Applicable.
C1.6.2 Illuminated signs	Not applicable. No illuminated signs proposed.	
C1.6.3 Third party sign	Not applicable. No third party sign proposed.	
C1.6.4 Signs on local heritage places and in local heritage precincts and local historic landscape precincts	Not applicable. Site is not a local heritage place or within a local historic landscape precinct.	

2.3 Clause C1.6.1 Design and siting of signs

Acceptable Solutions

Performance Criteria

Objective

That:

- (a) signage is well designed and sited; and
- (b) signs do not contribute to visual clutter or cause an unreasonable loss of visual amenity to the surrounding area.

A1

A sign must:

- (a) be located within the applicable zone for the relevant sign type set out in Table C1.6; and
 - (b) meet the sign standards for the relevant sign type set out in Table C1.6,
- excluding for the following sign types, for which there is no Acceptable Solution:
- (i) roof sign;
 - (ii) sky sign; and
 - (iii) billboard.

P1.1

A sign must:

- (a) be located within an applicable zone for the relevant sign type as set out in Table C1.6; and
- (b) be compatible with the streetscape or landscape, having regard to:
 - (i) the size and dimensions of the sign;
 - (ii) the size and scale of the building upon which the sign is proposed;
 - (iii) the amenity of surrounding properties;
 - (iv) the repetition of messages or information;
 - (v) the number and density of signs on the site and on adjacent properties; and
 - (vi) the impact on the safe and efficient movement of vehicles and pedestrians.

P1.2

If a roof sign, sky sign or billboard, the sign must:

- (a) be located within the applicable zone for the relevant sign type set out in Table C1.6;
- (b) meet the sign standards for the relevant sign type in Table C1.6; and
- (c) not contribute to visual clutter or cause unreasonable loss of amenity to the surrounding area, having regard to:

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- (i) the size and dimensions of the sign;
 - (ii) the size and scale of the building upon which the sign is proposed;
 - (iii) the amenity of surrounding properties;
 - (iv) the repetition of messages or information;
 - (v) the number and density of signs on the site and on adjacent properties; and
 - (vi) the impact on the safe and efficient movement of vehicles and pedestrians.
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Planner Response

Pursuant to Table C1.6, a wall sign is acceptable within the Light Industrial Zone. A1(a) is met. To meet the acceptable solution, the proposed wall signs must:

- (a) must not extend beyond the wall or above the top of the wall to which it is attached;
- (b) have a maximum area of 4.5m²; and
- (c) must not occupy more than 25% of the wall area.

The proposed signs do not extend beyond the wall or above the top of the walls to which they are attached.

The front fence sign has an area of 3 m² and occupies less than 25% of the wall (fence) area. The front fence sign meets the acceptable solution.

The southeast elevation sign has an area of 9.52 m² and the southwest elevation sign has an area of 41.4 m², both triggering the performance criteria. Both signs occupy less than 25% of their respective wall areas.

As a wall sign is acceptable within the Light Industrial Zone, P1.1(a) is met.

Both discretionary wall signs will be compatible with the existing streetscape. Larger building signs are appropriate within the Light Industrial Zone, having regard to the scale and functional characteristics of industrial development. The number and scale of the proposed signage are commensurate with the scale and function of the proposed use. There is no potential for impact on residential amenity, as the site is not visible from any residential zone and is surrounded by light industrial uses. The signage does not result in unnecessary repetition of information and serves a clear business identification function.

The proposed signs are required to achieve legibility from the road network and will not adversely affect vehicle or pedestrian movements.

No roof sign, sky sign, or billboard is proposed. P1.2 is not applicable.

The performance criteria (P1) are satisfied.

A3

The number of signs for each business or tenancy on a road frontage of a building must be no more than:

- (a) 1 of each sign type, unless otherwise stated in Table C1.6;
 - (b) 1 window sign for each window;
 - (c) 3 if the street frontage is less than 20m in length; and
 - (d) 6 if the street frontage is 20m or more,
- excluding the following sign types, for which there is no limit:

- (i) name plate; and
- (ii) temporary sign.

P3

The number of signs for each business or tenancy on a street frontage must:

- (a) not unreasonably increase in the existing level of visual clutter in the streetscape, and where possible, reduce any existing visual clutter in the streetscape by replacing existing signs with fewer, more effective signs; and
 - (b) not involve the repetition of messages or information.
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Planner Response

The proposal includes one wall sign on the front fence and one wall sign on the building frontage, triggering the performance criteria. As the street frontage is over 20 m, the proposal meets A3(d).

The proposed frontage signage will not unreasonably increase the existing level of visual clutter in the streetscape. Only two frontage signs are proposed which have each been designed effectively to perform their necessary functions.

The frontage signs do not involve the repetition of messages or information as they serve different purposes. The building wall sign performs a business identification function. The fence wall sign performs a wayfinding function, pointing visitors towards the main office.

The performance criteria (P3) are satisfied.

I trust the information provided is sufficient to satisfy the requests and that the application can proceed to advertising.

Yours sincerely,

Grace Elliott
Planner

Attachments *Amended proposal plans*
 Civil drawings
 Signage design schedule