
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025142**

Location: **18 & 20 Beach Road, Ulverstone**

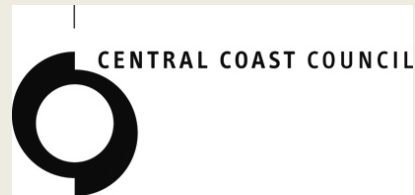
Proposal: **Residential - boundary adjustment and
Visitor Accommodation x2**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before 24 November 2025

Date of Notification: **8 November 2025**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

CENTRAL COAST COUNCIL **CENTRAL COAST COUNCIL**
LAND USE PLANNING

Received: 24/06/2025
Application No: DA2025142
Doc ID: 522563

Office use only: *Zone:* *Permit Pathway – NPR/Permitted/Discretionary*

Use or Development Site:

Site Address 18 & 20 Beach Road, Ulverstone

Certificate of Title Reference CT: 172960/1 & CT: 172960/2

Land Area 650m2 & 657m2 **Heritage Listed Property** NO YES

Applicant(s)

First Name(s) Paul **Surname(s)** Paul Allen

Company name (if applicable) PLA Designs Pty Ltd **Contact No:** 0407 532 435

Postal Address: PO Box 428 Somerset TAS 7322

Email address: paul@pladesign.com.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s) Stephen & Angella **Middle Names(s)**

Surname(s) Jackson and Palm Tree-View Investment Company Pty Ltd **Company name** (if applicable)

Postal Address: 20 Beach Road, Ulverstone

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Boundary Adjustment + Duplex x2 for Visitor Accommodation Use

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ 900,000 Estimate/ Actual

Total floor area of the development 481.m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I Paul Allen , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant *Paul Allen*

Date 24 May 2025

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
 responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we Paul Allen
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s Paul Allen Date 24 June 2025

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 172960	FOLIO 1
EDITION 3	DATE OF ISSUE 28-Aug-2020



CENTRAL COAST COUNCIL
LAND USE **PLANNING**

Received: 24/06/2025

Application No: DA2025142

Doc ID: 522565

SEARCH DATE : 24-Jun-2025

SEARCH TIME : 03.55 PM

DESCRIPTION OF LAND

Town of ULVERSTONE
 Lot 1 on Sealed Plan 172960
 Derivation : Part of Lot 4, 3A-1R-32P Sec. F.f. Gtd. to
 Harriett Ellis
 Prior CTs 164950/1 and 164950/2

SCHEDULE 1

M836274 TRANSFER to STEPHEN JEREMY JACKSON and ANGELLA TAMARA
 JACKSON Registered 28-Aug-2020 at noon

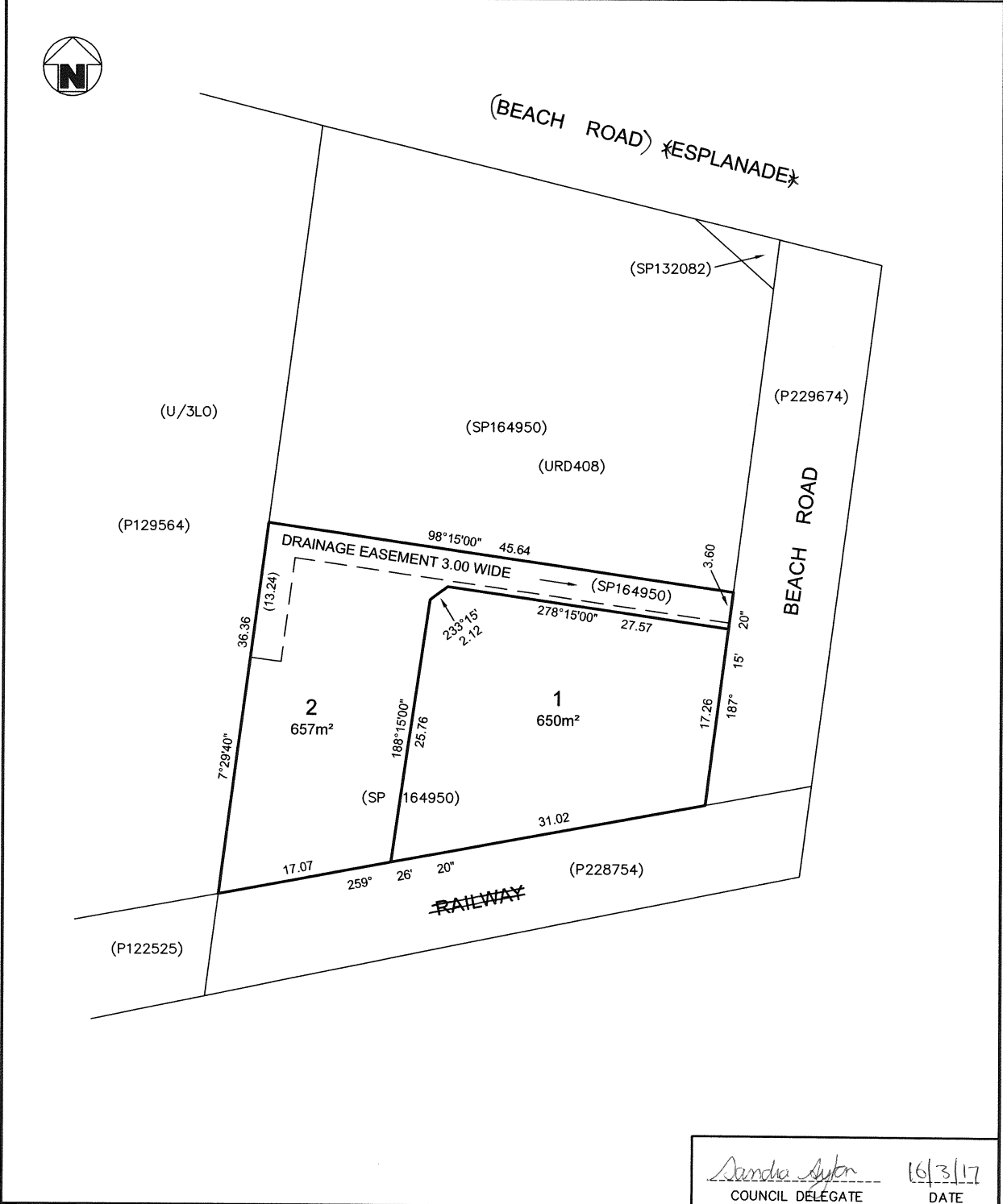
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP172960 FENCING COVENANT in Schedule of Easements
 SP164950 FENCING COVENANT in Schedule of Easements
 E232984 MORTGAGE to B&E Ltd Registered 28-Aug-2020 at 12.01
 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations


OWNERS: MOBEGO PTY. LTD		PLAN OF SURVEY		REGISTERED NUMBER
FOLIO REFERENCE 164950/1; 164950/2				SP172960
GRANTEE Part of Lot 4, 3A-1R-32P Sec. F.f. Gtd. to Harriett Ellis.		BY SURVEYOR D.P. TOMPKINS	SURVEY & ALIGNMENT SERVICES	APPROVED EFFECTIVE FROM 27 MAR 2017
MAPSHEET MUNICIPAL CODE No 104 (4244-43)		LAST UPI No		LAST PLAN No. (SP164950)
		LOCATION TOWN OF ULVERSTONE		
		SCALE 1:350 LENGTHS IN METRES		
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN				



Sandra Ayler 16/3/17
COUNCIL DELEGATE DATE

SEARCH OF TORRENS TITLE

VOLUME 172960	FOLIO 2
EDITION 4	DATE OF ISSUE 13-Jul-2024



CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 24/06/2025
Application No: DA2025142
Doc ID: 522566

SEARCH DATE : 11-Jun-2025
SEARCH TIME : 06.00 PM

DESCRIPTION OF LAND

Town of ULVERSTONE
Lot 2 on Sealed Plan 172960
Derivation : Part of Lot 4, 3A-1R-32P Sec. F.f. Gtd. to
Harriett Ellis
Prior CTs 164950/1 and 164950/2

SCHEDULE 1

N202545 TRANSFER to PALM TREE-VIEW INVESTMENT COMPANY PTY LTD
Registered 13-Jul-2024 at noon

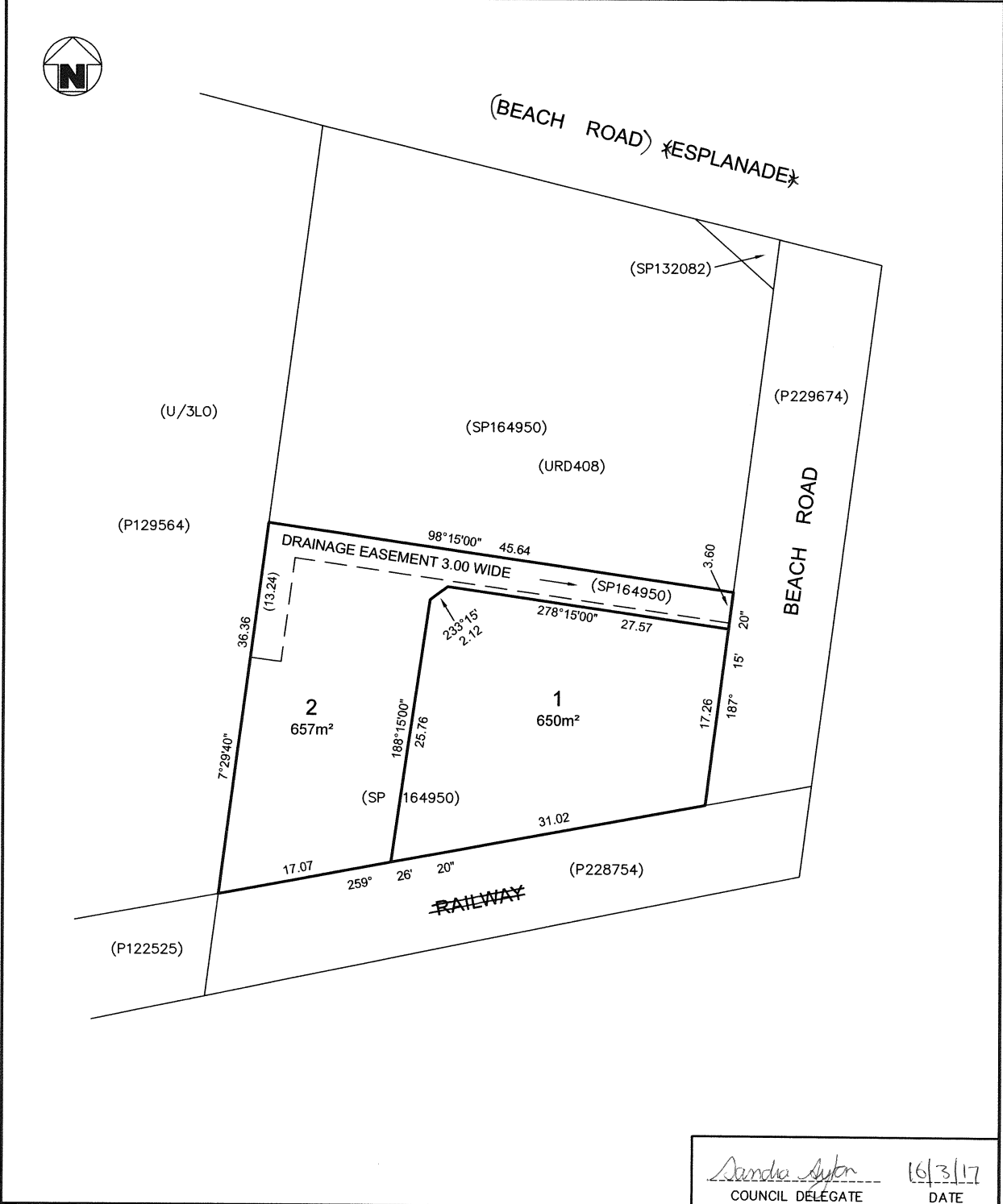
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP172960 EASEMENTS in Schedule of Easements
SP172960 FENCING COVENANT in Schedule of Easements
SP164950 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNERS: MOBEGO PTY. LTD		PLAN OF SURVEY		REGISTERED NUMBER
FOLIO REFERENCE 164950/1; 164950/2				SP172960
GRANTEE Part of Lot 4, 3A-1R-32P Sec. F.f. Gtd. to Harriett Ellis.		BY SURVEYOR D.P. TOMPKINS	SURVEY & ALIGNMENT SERVICES	APPROVED EFFECTIVE FROM 27 MAR 2017
MAPSHEET MUNICIPAL CODE No 104 (4244-43)		LOCATION TOWN OF ULVERSTONE		Recorder of Titles <i>Alice Kana</i>
LAST UPI No	LAST PLAN No. (SP164950)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	24/06/2025
Application No:	DA2025142
Doc ID:	522566

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 172960

PAGE 1 OF 1 PAGE

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANTS

- 1. The owners of each Lot on the Plan are subject to the Fencing Covenant contained in SP164950.
- 2. The owners of each Lot on the Plan covenant with Mobego Pty Ltd ("the Vendor") that the Vendor shall not be required to fence.

EASEMENTS

appurtenant to Central Coast Council

Lot 2 on the Plan is subject to a Right of Drainage over the strip of land marked "DRAINAGE EASEMENT 3.00 WIDE (SP164950)" on the Plan as created by, and more fully set forth in, SP164950.

No other easement or profits a prendre created to benefit or burden any of the lots on the Plan.

*RALES
Mx*

SIGNED by **MOBEGO PTY LTD** pursuant to Section 127(1) of the Corporations Act 2001)

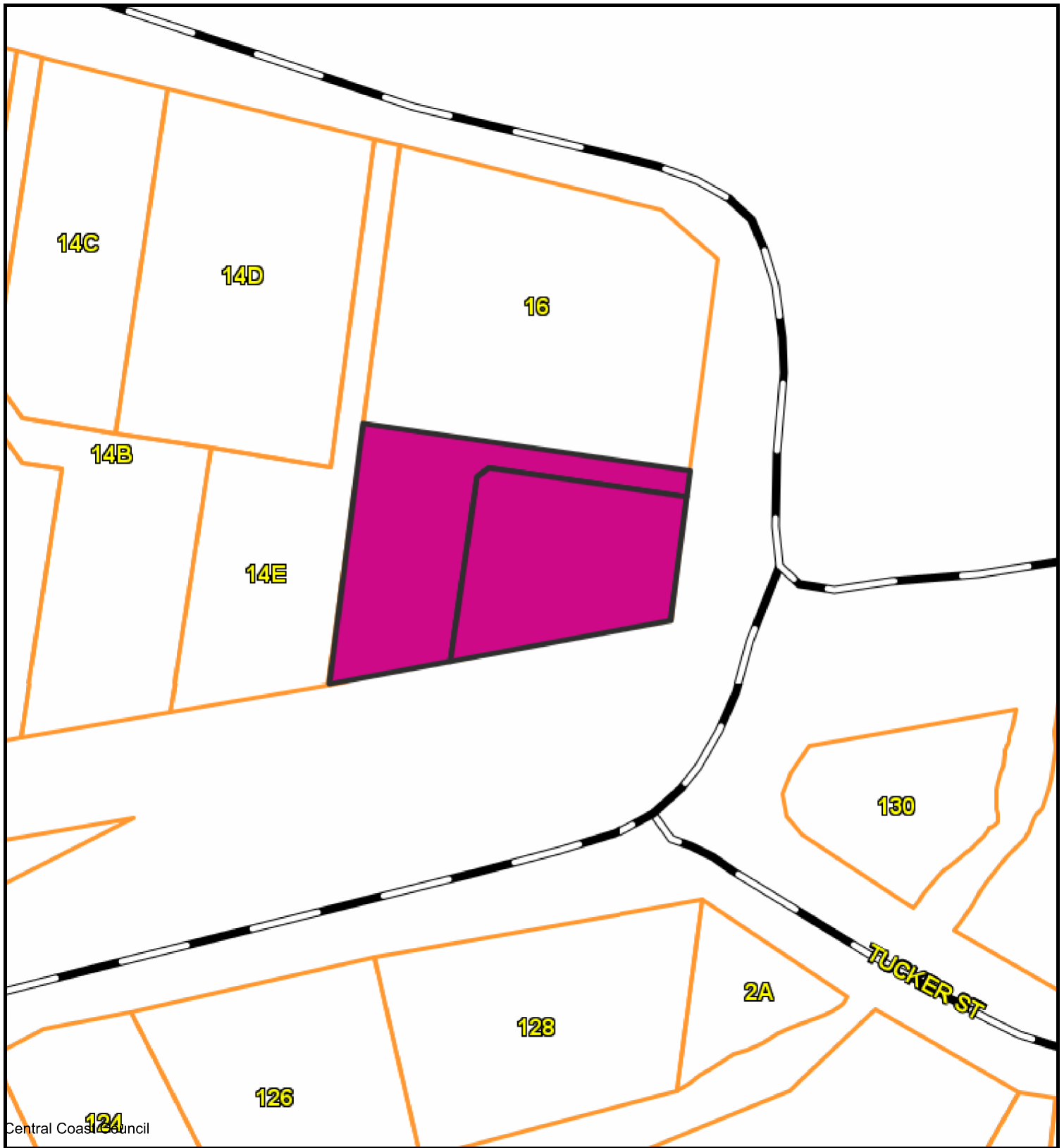
Director
Michael Best

Director
Gregory Ronald Morton

Signed by **WESTPAC BANKING CORPORATION** as Mortgagee

I certify that the Attorney for Mortgagee, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.	SIGNED by MOHAMMAD AH SAN as Tier Three attorney for Westpac Banking Corporation under power of attorney registered no. 72/546 DATED: 17/1/2021
Signature of witness: <i>Bruce Wright</i>	(Signature) Tier Three Attorney
Name of witness: Bruce Wright	By executing this agreement the attorney states that the attorney has received no notice of the

SUBDIVIDER: MOBEGO PTY LTD Concord West, NSW.	PLAN SEALED BY: <i>[Signature]</i> the power of attorney
FOLIO REF: Certificate of Titles Volume 164950 Folios 1 and 2	DATE: 16/3/17 DA 216114
SOLICITOR & REFERENCE: TEMPLE-SMITH LAWYERS CNS:171784	REF NO. <i>[Signature]</i> Council Delegate
Central Coast Council	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



6-Nov-2025

**18 & 20 BEACH ROAD,
 ULVERSTONE
 DA2025142**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.

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20 m

Scale =
1:737.100

Development Application

Use Class: Visitor Accommodation + Boundary Adjustment

Development: Duplex Visitor Accommodation x2

Location: 18 Beach Road, Ulverstone

Project No: 24140-P



AUTHOR DETAILS:

Reporting Planner: Jayne Newman

Report Date: 24 June 2025

PROPERTY DETAILS:

Location: 18 Beach Road, Ulverstone

Proposal: Duplex for Visitor Accommodation x2
+ Boundary Adjustment

Use Class: Visitor Accommodation

Zoning: General Residential

Title Reference: CT: 172960/2

PID: 3218240



Figure 1: Source - Listmap

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1. Executive Summary

This report together with the attached development plans and additional supporting reports have been prepared to provide demonstration against the relative clauses detailed within the Tasmanian Planning Scheme – Central Coast. The proposal is for a boundary adjustment, together with a visitor accommodation use within the General Residential zone. A visitor accommodation use is a permitted use within the use table. The application invokes discretion relative to development standards, which has been addressed within this report.

2. Background

The proposal is located on a lot having a site area of 657m², known as 18 Beach Road, Ulverstone. The lot is vacant of development having a frontage to Beach Road to the east via a 27m access strip at a width of 3.6 metres. Land to the east, north and west contain existing residential uses, while land to the south adjoins the Railway Network.

3. Proposal

Application is made for a visitor accommodation duplex, providing two mirror image developments. The proposal provides each with a ground floor double garage, two bedrooms, bathroom, laundry and study. The first floor provides for a master bedroom, ensuite and open plan kitchen, dining and living room adjoining a northern facing balcony. Construction material will be a mix of colorbond nailstrip and brick cladding with colorbond custom orb roofing.

The development is sited 3 metres from the western and southern boundaries and 1.32 metres from the eastern, having a total height of 7.5 metres.

The application also includes a boundary adjustment, providing a minor alteration to each lot. This will allow for greater separation compliance for the eastern boundary of the proposed duplex and space for an additional parking space, if required in the future.

Use Standards

8.3.2 Visitor Accommodation

That Visitor Accommodation:

- (a) is compatible with the character and use of the area;
- (b) does not cause an unreasonable loss of residential amenity; and
- (c) does not impact the safety and efficiency of local roads or rights of way.

A1	P1
<p>Visitor Accommodation must:</p> <ul style="list-style-type: none"> (a) accommodate guests in existing habitable buildings; and (b) have a gross floor area of not more than 200m² per lot. 	<p>Visitor Accommodation must be compatible with the character and use of the area and not cause an unreasonable loss of residential amenity, having regard to:</p> <ul style="list-style-type: none"> (a) the privacy of adjoining properties; (b) any likely increase in noise to adjoining properties; (c) the scale of the use and its compatibility with the surrounding character and uses within the area; (d) retaining the primary residential function of an area; (e) the impact on the safety and efficiency of the local road network; and (f) any impact on the owners and users rights of way.

COMMENT:

The proposal provides for a duplex, where two visitor accommodation uses are proposed, therefore exceeding a gross area per lot of 200m². Both buildings have been designed to ensure separation between dwellings. The building is separated over three metres from the western boundary, which is consistent with a first-floor separation of a residential use, which is considered sufficient in mitigating overlooking concerns. For the eastern adjoining lot, although closer to the boundary, there is a separation of 9.6 metres to the outdoor alfresco area, attached to the dwelling. It is considered that there is sufficient separation between habitable room windows and outdoor entertaining areas, not to cause an unreasonable loss of amenity.

The target customer base is families who wish to have a holiday away from home, located close to the beach. Noise impacts based on this are consistent with other residential uses in the area. It is also noted that construction material and windows will be double glazed and insulated to reduce the likelihood of noise outside of the building. This is also the case with both eastern and western walls located on the outdoor deck. For the dwelling to the north, there is a separation of 7.98 metres provided to the boundary, reducing any likely impact through noise or overlooking. This area is both a mix of residential uses, holiday homes and visitor accommodation (including the caravan park). The two-visitor accommodation uses located within a single building, will not distort the primary function of the area, where the use is not dissimilar to a residential use, only for a short permit of time.

No impact will occur to the safety and efficiency of the road network, as the use will allow for two vehicle parking spaces, which would be the same as a residential use. All vehicles and enter and exit the site in a forward motion.

No right of ways are impacted by the development.

The application is considered to achieve compliance with the performance criteria and objective to this clause, having compatibility with the character and use of the area, where no unreasonable loss of amenity will occur and there is no impact on the safety of road uses.

Development Standards

8.5.1 Non-dwelling development

That all non-dwelling development:

- (a) is compatible with the character, siting, apparent scale, bulk, massing and proportion of residential development; and
- (b) does not cause an unreasonable loss of amenity on adjoining residential properties.

A1	P1
<p>A building that is not a dwelling, excluding for Food Services, local shop, garage or carport, and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> (a) if the frontage is a primary frontage, not less than 4.5m, or if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 3.0m, or if the setback from the primary frontage is less than 3.0m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining properties on the same street. 	<p>A building that is not a dwelling, excluding for Food Services and local shop, must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p>

COMMENT:

As the site is internal, there is more than 4.5 metres of setback to Beach Road, achieving compliance with A1(a).

<p>A2</p> <p>A building that is not a dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side or rear boundaries to a building height of not more than 8.5m above existing ground level; and</p> <p>(b) only have a setback less than 1.5m from a side or rear boundary if the building:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</p> <p>(ii) does not exceed a total length of 9m or one-third of the length of the side or rear boundary (whichever is lesser).</p>	<p>P2</p> <p>The siting and scale of a building that is not a dwelling must:</p> <p>(a) not cause an unreasonable loss of amenity, having regard to:</p> <p>(i) reduction in sunlight to a habitable room, excluding a bedroom, of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; and</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from an adjoining property; and</p> <p>(b) provide separation between buildings on adjoining properties that is consistent with that existing on established properties in the area.</p>
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COMMENT:

The proposal is sited outside of the building envelope, as shown on the eastern elevation. Shadow diagrams have been provided showing the level of impact on adjoining properties. As the western portion of the building is sited within the building envelope, it is not considered to create an unreasonable loss of amenity to the adjoining property. It is also noted, that for only a small portion of the day, the adjoining dwelling is impacted, with the majority of shading located over the driveway and parking area.

Land directly south is the railway, where the majority of shading will occur. This land does not contain a habitable use, therefore will not cause any impact to a dwelling.

For the eastern elevation, the building is sited 1.32 metres from the boundary. The shadow diagrams provided detail shading to the adjoining lot (20 Beach Road, Ulverstone), from 1pm. The shading will not reach the dwelling until around 4pm, which is almost last light. This means that the private open space area achieves full sunlight until 1pm with a minimum private open space area still available for the whole day within the northern section. The proposal is therefore not considered to cause an unreasonable loss of amenity through shading of habitable rooms or private open space area to the east. There is approximately 10 metres of separation between the buildings, minimising the level of impact relative to visual bulk and scale.

The application is considered to achieve compliance with the performance criteria and relative objective (b), where it is demonstrated that there is no unreasonable loss of amenity to adjoining residential uses.

<p>A3</p> <p>A building that is not a dwelling, must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) a site area of which not less than 35% is free from impervious surfaces.</p>	<p>P3</p> <p>A building that is not a dwelling, must have:</p> <p>(a) site coverage consistent with that existing on established properties in the area; and</p> <p>(b) reasonable space for the planting of gardens and landscaping.</p>
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COMMENT:

The site coverage is considered to be consistent with that existing in the area as it provides for 41% (excluding the access strip). In relation to the level of impervious surfaces, the site provides for 23%. Although less than the 35% detailed within the acceptable solution, it will still provide sufficient area for plantings and landscaping, as shown along the southern, eastern and western sides of the building. Consistency is achieved with both 10 and 14B Beach Road, which both have a greater site coverage as well as less areas free from impervious surface than that of the proposed development.

The proposal is considered to achieve compliance with the performance criteria and objectives to the clause, providing for development that is consistent with dwellings within the area.

A4	P4
No Acceptable Solution.	A fence (including a free-standing wall) for a building that is not a dwelling within 4.5m of a frontage must: <ul style="list-style-type: none"> (a) provide for security and privacy while allowing for passive surveillance of the road; and (b) be compatible with the height and transparency of fences in the street, having regard to: <ul style="list-style-type: none"> (i) the topography of the site; and (ii) traffic volumes on the adjoining road.
COMMENT: <i>Not applicable. No frontage fences are proposed.</i>	

A5	P5
Outdoor storage areas, for a building that is not a dwelling, including waste storage, must not: <ul style="list-style-type: none"> (a) be visible from any road or public open space adjoining the site; and (b) encroach upon parking areas, driveways or landscaped areas. 	Outdoor storage areas, for a building that is not a dwelling, must be located or screened to minimise their impact on views into the site from any roads or public open space adjoining the site, having regard to: <ul style="list-style-type: none"> (a) the nature of the use; (b) the type of goods, materials or waste to be stored; (c) the topography of the site; and (d) any screening proposed.
COMMENT: <i>No outdoor storage areas will be visible from Beach Road, with storage provided within the garage or rear of the property, as shown on sheet 4, parking plan.</i>	

A6	P6
Air extraction, pumping, refrigeration systems or compressors, for a building that is not a dwelling, must have a setback from the boundary of a property containing a sensitive use not less than 10m	Air conditioning, air extraction, pumping, heating or refrigeration systems or compressors, for a building that is not a dwelling, within 10m of the boundary of a property containing a sensitive use must be designed, located, baffled or insulated to not cause an unreasonable loss of amenity, having regard to: <ul style="list-style-type: none"> (a) the characteristics and frequency of any emissions generated; (b) the nature of the proposed use; (c) the topography of the site and location of the sensitive use; and (d) any mitigation measures proposed.
COMMENT: <i>Not applicable. The proposal will not require any air extraction, pumping, refrigeration systems or compressors. The level of use will not be dissimilar to that of a residential development.</i>	

8.5.2 Non-residential garages and carports

To maintain frontage setbacks compatible with the streetscape and reduce the potential for garage and carport openings to dominate the primary frontage.

A1	P1
<p>A garage or carport not forming part of a dwelling, must have a setback from a primary frontage of not less than:</p> <ul style="list-style-type: none">(a) 5.5m, or alternatively 1m behind the building line;(b) the same as the building line, if a portion of the building gross floor area is located above the garage or carport; or(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.	<p>A garage or carport not forming part of a dwelling, must have a setback from a primary frontage that is compatible with the setbacks of garages or carports in the street, having regard to any topographical constraints.</p>

COMMENT:

The garage is sited more than 5.5 metres from the frontage due to the internal nature of the lot, therefore compliant with A1.

A2	P2
<p>A garage or carport not forming part of a dwelling, within 12m of a primary frontage (whether the garage or carport is free-standing) must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>A garage or carport not forming part of a dwelling, must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.</p>

COMMENT:

The building is sited more than 27 metres from the primary frontage, therefore compliant with A2.

CODES	
C1.0 – Signs Code	N/A
No signage is proposed as part of this application.	
C2.0 – Parking and Sustainable Transport Code	Yes
C2.5.1 – Car parking numbers	
That an appropriate level of car parking spaces are provided to meet the needs of the use.	
<p>A1 The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:</p> <ul style="list-style-type: none"> (a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan; (b) the site is contained within a parking precinct plan and subject to Clause C2.7; (c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where: <ul style="list-style-type: none"> (i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or (ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows: <p>$N = A + (C - B)$</p> <p>N=Number of on-site car parking spaces required A=Number of existing on site car parking spaces B=Number of on-site car parking spaces required for the existing use or development specified in Table C2.1 C=Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</p>	<p>P1.1 The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:</p> <ul style="list-style-type: none"> (a) the availability of off-street public car parking spaces within reasonable walking distance of the site; (b) the ability of multiple users to share spaces because of: <ul style="list-style-type: none"> (i) variations in car parking demand over time; or (ii) efficiencies gained by consolidation of car parking spaces; (c) the availability and frequency of public transport within reasonable walking distance of the site; (d) the availability and frequency of other transport alternatives; (e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping; (f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity; (g) the effect on streetscape; and (h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development. <p>P1.2 The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:</p> <ul style="list-style-type: none"> (a) the nature and intensity of the use and car parking required; (b) the size of the dwelling and the number of bedrooms; and (c) the pattern of parking in the surrounding area.
<p>Comment: Both units are provided with a double garage, with only one space per unit required for visitor accommodation, therefore compliant with table C2.1.</p>	

C2.6.1 – Construction of parking areas

That parking areas are constructed to an appropriate standard.

A1
All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all weather pavement;
- (b) be drained to the public stormwater system, or contain stormwater on the site; and
- (c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.

P1

All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) the nature of the use;
- (b) the topography of the land;
- (c) the drainage system available;
- (d) the likelihood of transporting sediment or debris from the site onto a road or public place;
- (e) the likelihood of generating dust; and
- (f) the nature of the proposed surfacing.

Comment:

As shown within plumbing plan 24140-09, the site provides for drainage to the existing stormwater connection point. The car parking plan also depicts the driveway constructed from an all-weather surface material.

C2.6.2 – Design and layout of parking areas

That parking areas are designed and laid out to provide convenient, safe and efficient parking.

A1.1
Parking, access ways, manoeuvring and circulation spaces must either:

- (a) comply with the following:
 - (i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;
 - (ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;
 - (iii) have an access width not less than the requirements in Table C2.2;
 - (iv) have car parking space dimensions which satisfy the requirements in Table C2.3;
 - (v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;
 - (vi) have a vertical clearance of not less than 2.1m above the parking surface level; and
 - (vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or
- (b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.

A1.2

Parking spaces provided for use by persons with a disability must satisfy the following:

- (a) be located as close as practicable to the main entry point to the building;
- (b) be incorporated into the overall car park design; and
- (c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities. [S35]

P1

All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:

- (a) the characteristics of the site;
- (b) the proposed slope, dimensions and layout;
- (c) useability in all weather conditions;
- (d) vehicle and pedestrian traffic safety;
- (e) the nature and use of the development;
- (f) the expected number and type of vehicles;
- (g) the likely use of the parking areas by persons with a disability;
- (h) the nature of traffic in the surrounding area;
- (i) the proposed means of parking delineation; and
- (j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.

Comment:

The gradient of the parking areas, including driveway and circulation space, is less than 5% and greater than 1%, in accordance with AS 2890:1 clause 2.4.6.

Although the use only requires two parking space (one per visitor accommodation unit), it will provide for both entry and exit in a forward motion.

Table C2.2 only requires an access strip of 3 metres, with 3.6m provided.

Although a visitor accommodation use only requires 2 parking space, as shown on sheet 4, carparking dimensions and manoeuvring spaces comply with table C2.3 for 90 degrees.

As shown on the elevation plan, both roller doors have a vertical clearance of 2.1 metres.

As each unit has separate parking spaces providing internally within a garage, no line marking is required.

A1.2 – No disability parking spaces is required for the visitor accommodation use.

C2.6.3 – Number of accesses for vehicles

That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and
- (c) the number of accesses minimise impacts on the streetscape.

<p>A1 The number of accesses provided for each frontage must:</p> <ul style="list-style-type: none"> (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater. 	<p>P1 The number of accesses for each frontage must be minimised, having regard to:</p> <ul style="list-style-type: none"> (a) any loss of on-street parking; and (b) pedestrian safety and amenity; (c) traffic safety; (d) residential amenity on adjoining land; and (e) the impact on the streetscape.
---	--

Comment:

The number of accesses to the site will remain the same at one.

C2.6.5 – Pedestrian access

That pedestrian access within parking areas is provided in a safe and convenient manner.

<p>A1.1 Uses that require 10 or more car parking spaces must:</p> <ul style="list-style-type: none"> (a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by: <ul style="list-style-type: none"> (i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or (ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and (b) be signed and line marked at points where pedestrians cross access ways or parking aisles. <p>A1.2 In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.</p>	<p>P1 Safe and convenient pedestrian access must be provided within parking areas, having regard to:</p> <ul style="list-style-type: none"> (a) the characteristics of the site; (b) the nature of the use; (c) the number of parking spaces; (d) the frequency of vehicle movements; (e) the needs of persons with a disability; (f) the location and number of footpath crossings; (g) vehicle and pedestrian traffic safety; (h) the location of any access ways or parking aisles; and (i) any protective devices proposed for pedestrian safety.
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Comment: Not applicable.

The proposal only requires 2 parking spaces.

C3.0 – Road and Railways Assets Code	N/A
<p><i>The access is approved for a residential use, which would impose two vehicle parking spaces. The application is for two visitor accommodation units, which require 1 space per unit. Therefore, the amount of vehicle traffic will not increase from that of the approved use.</i></p> <p><i>A visitor accommodation use is for short to medium-term accommodation, while a sensitive use is defined as a use involving the presence of people for extended periods of time. The proposal therefore does not involve a sensitive use as per the definition.</i></p> <p><i>The code is therefore not applicable as per C3.2.1(a) and (c).</i></p>	
C4.0 – Electrical Transmission Infrastructure Protection Code	N/A
<p>The proposal does not involve works located within an electricity transmission corridor.</p>	
C5.0 – Telecommunications Code	N/A
<p>The application does not propose any telecommunication facilities.</p>	
C6.0 – Local Historic Heritage Code	N/A
<p>The application does not involve any land requiring assessment against heritage provisions.</p>	
C7.0 – Natural Assets Code	N/A
<p>The Priority Vegetation layer is only applicable to subdivision within the General Residential zone.</p>	
C8.0 – Scenic Protection Code	N/A
<p>The scenic protection code is not applicable to the General Residential zone.</p>	
C9.0 – Attenuation Code	N/A
<p>The site has not been identified as being located within an attenuation distance detailed within C9.2 or C9.2.</p>	
C10.0 – Coastal Erosion Hazard Code	N/A
<p>The site is not within an area identified as containing a coastal erosion hazard.</p>	
C11.0 – Coastal Inundation Hazard Code	N/A
<p>As the access is already in place, there will be no works within the low coastal inundation hazard band.</p>	
C12.0 – Flood Prone Areas Code	N/A
<p>The site is not within an area identified as flood prone.</p>	
C13.0 – Bushfire Prone Areas Code	N/A
<p>The site is not identified within the bushfire prone areas overlay.</p>	
C14.0 – Potentially Contaminated Land Code	N/A
<p>The site has not been identified as contaminated land.</p>	
C15.0 – Landslip Hazard Code	N/A
<p>The site is not identified as containing any landslip hazards.</p>	
C16.0 – Safeguarding of Airports Code	N/A
<p>The site is not impacted by the safeguarding of airports code.</p>	

22 October 2025

Paul Allen
PLA Designs
PO Box 428
SOMERSET Tasmania 7322

Dear Paul

Re: 18 Beach Road Ulverstone – Stormwater Assessment

The site of the proposed development at 18 Beach Road, Ulverstone has a total area of approximately 657m². The proposed development would have approximately 80% impervious area. The stormwater design has generally been undertaken in accordance with the Central Coast Council Stormwater Detention Policy. It is noted that there is generally a fall towards the north-east down the driveway. As a result, any overland flow from a 1% AEP event can be directed to the road reserve.

The proposed site plan for the development is presented in the figure below.

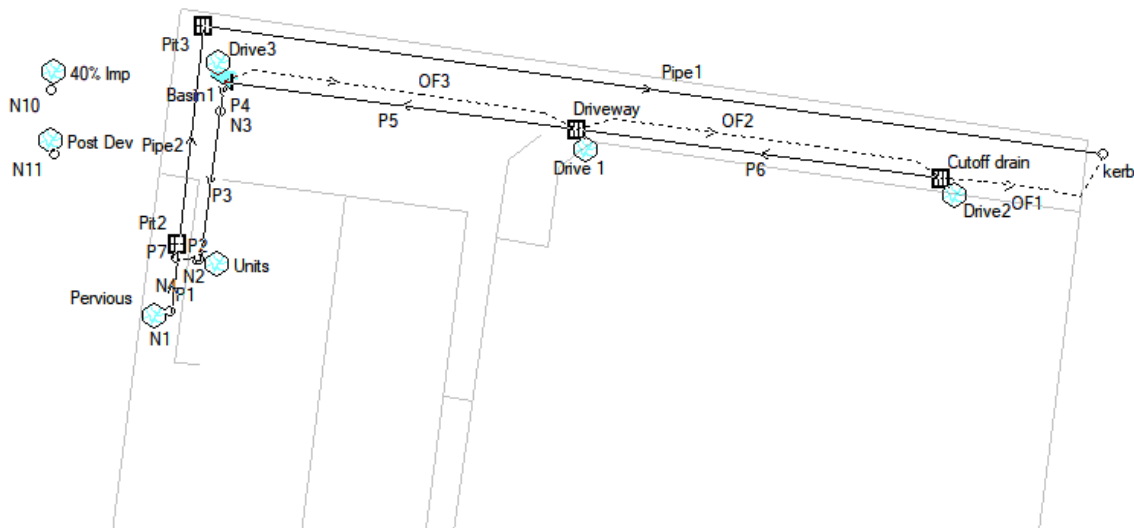


Figure 1 - DRAINS Layout

**Pitt & Sherry
(Operations) Pty Ltd**
ABN 67 140 184 309

Phone 1300 748 874
info@pittsh.com.au
pittsh.com.au

Located nationally —
Melbourne
Sydney
Brisbane
Hobart
Launceston
Newcastle
Devonport



Stormwater Discharge and Detention

The driveway is intended to be profiled to ensure no overland flow is to be directed across private property boundaries, with any overland flow directed down the driveway and to the road reserve. The proposed connection point is located on the western side of the property. A DRAINS hydraulic/hydrologic assessment has been undertaken to assess stormwater discharge at both developed and 40% impervious (existing) conditions. The following assumptions and parameters were adopted:

- Site specific rainfall data obtained from the Bureau of Meteorology. Median pre-burst rainfall was adopted. An ensemble of temporal patterns was assessed
- A suitable range of storm durations was assessed to adequately identify peak discharge flows, and

A summary of the permissible flows from the model is outlined in Table 1 below.

Storm Event	Permissible Site Discharge	Proposed Site Discharge
50% AEP (1 in 2 yr)	5 l/s	6 l/s
20% AEP (1 in 5 yr)	8 l/s	8 l/s
10% AEP (1 in 10 yr)	11 l/s	11 l/s
5% AEP (1 in 20 yr)	13 l/s	13 l/s

Table 1 – Permissible Site Discharges

The OSD system consists of a 900 SQ pit (Nominated Pit 1) located in front of the proposed duplex, at the north-western corner of the site. This pit is to have a 50mm Orifice fitted over the outlet. There is an oversized inground pipe with a diameter of 300mm, nominally 15m long running along the driveway to provide additional storage.

As can be seen in Table 1 above, the proposed detention system whereby all driveway area is directed to the detention system, the proposed discharge from the site matches the permissible discharge. The only exception is for a 50% AEP, where the proposed discharge is only slightly higher than permissible. This is considered acceptable, as there is likely to be some contribution of above ground storage within the driveway that has not been considered in the modelling.

In the event that the main outlet is blocked, all overflow for a 1% AEP event is to be directed along the driveway to the road reserve. In addition, the floor level of the proposed duplex is to be set at RL3.9m, which is nominally 300mm above the surface level at Pit 1. This provides suitable freeboard above the maximum flood level.

A copy of the DRAINS file, along with an output file of the modelling results has been included with this note. If you have any questions, feel free to contact me on 6451 5599.

Yours sincerely



Andrew Van Tatenhove
Senior Civil Engineer

Enc. DRAINS model & output

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: *Owner /Agent*
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: *Phone No:* *Fax No:*
Licence No: *Email address:*

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: *Lot No:*
Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

PLA Design Drawings 24140 – 04 & 09

Relevant calculations:

Not Provided

References:

AS2890.1 – Parking Facilities
Central Coast Council – Stormwater Detention Policy

Substance of Certificate: (what it is that is being certified)

Design of stormwater detention system in accordance with the CCC Stormwater Detention Policy.

Certification also includes a review of vehicle turning assessment as documented on Sheet 04. Includes manoeuvrability and review of vertical clearances as per C2.6.2-(A1.1).

Scope and/or Limitations

pitt&sherry have been engaged to undertake the design and certification only.

I certify the matters described in this certificate.

Qualified person:

Signed: 

Certificate No:

P.25.0064.025

Date:

22/10/25

**PROPOSED BOUNDARY ADJUSTMENT
& VISITOR ACCOMMODATION
18 & 20 BEACH ROAD ULVERSTONE
STEPHEN & ANGELLA JACKSON**

DRAWING INDEX

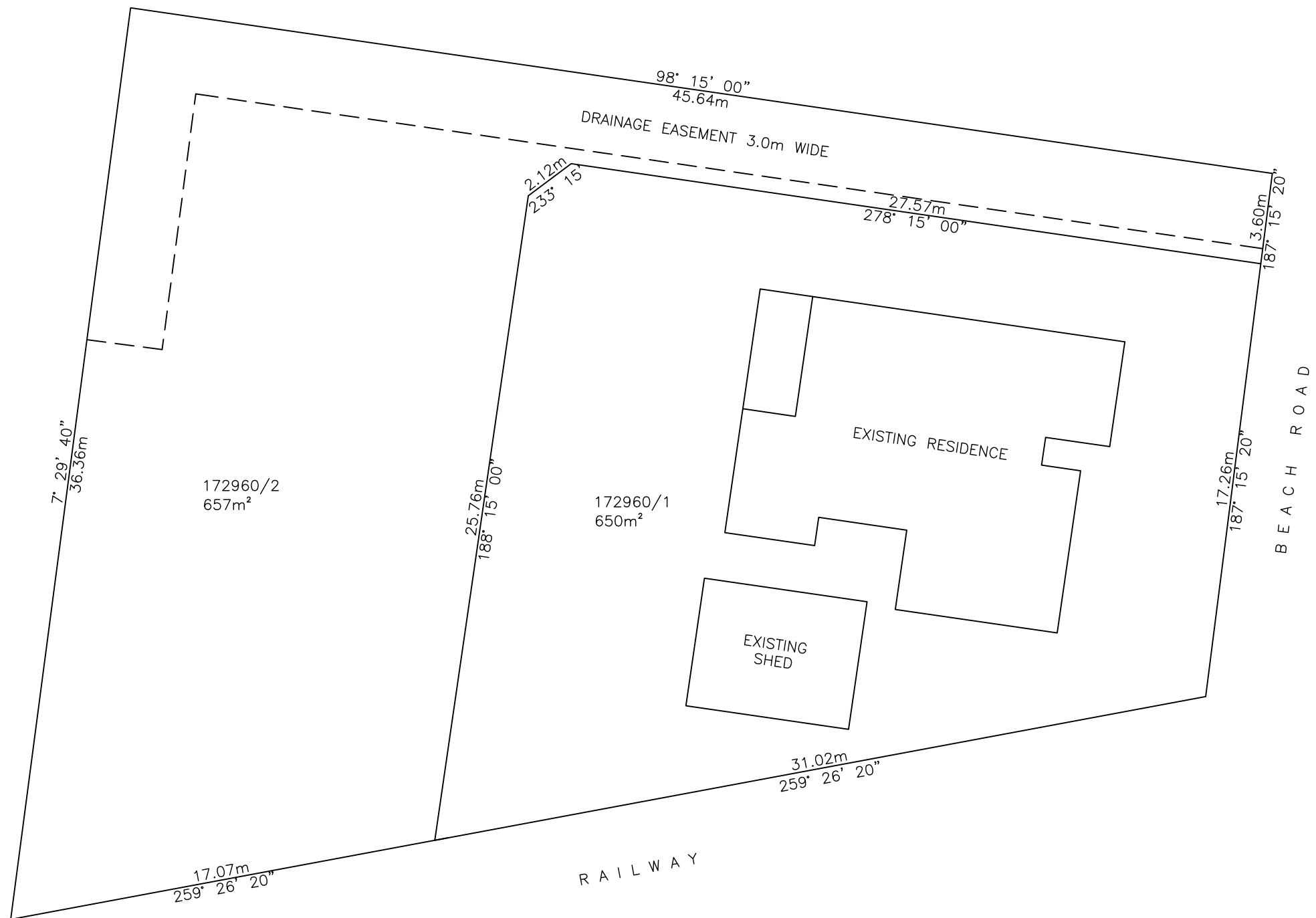
DRAWING No.	DESCRIPTION	REVISION
01	COVER SHEET	E
02	EXISTING SITE PLAN	C
03	PROPOSED SITE PLAN	D
04	CAR PARKING PLAN	A
05	GROUND FLOOR PLAN	E
06	FIRST FLOOR PLAN	E
07	ELEVATIONS SHT.1	F
08	ELEVATIONS SHT.2	D
09	PLUMBING PLAN	C
10	SHADOW PLANS	B



PROJECT DETAILS:

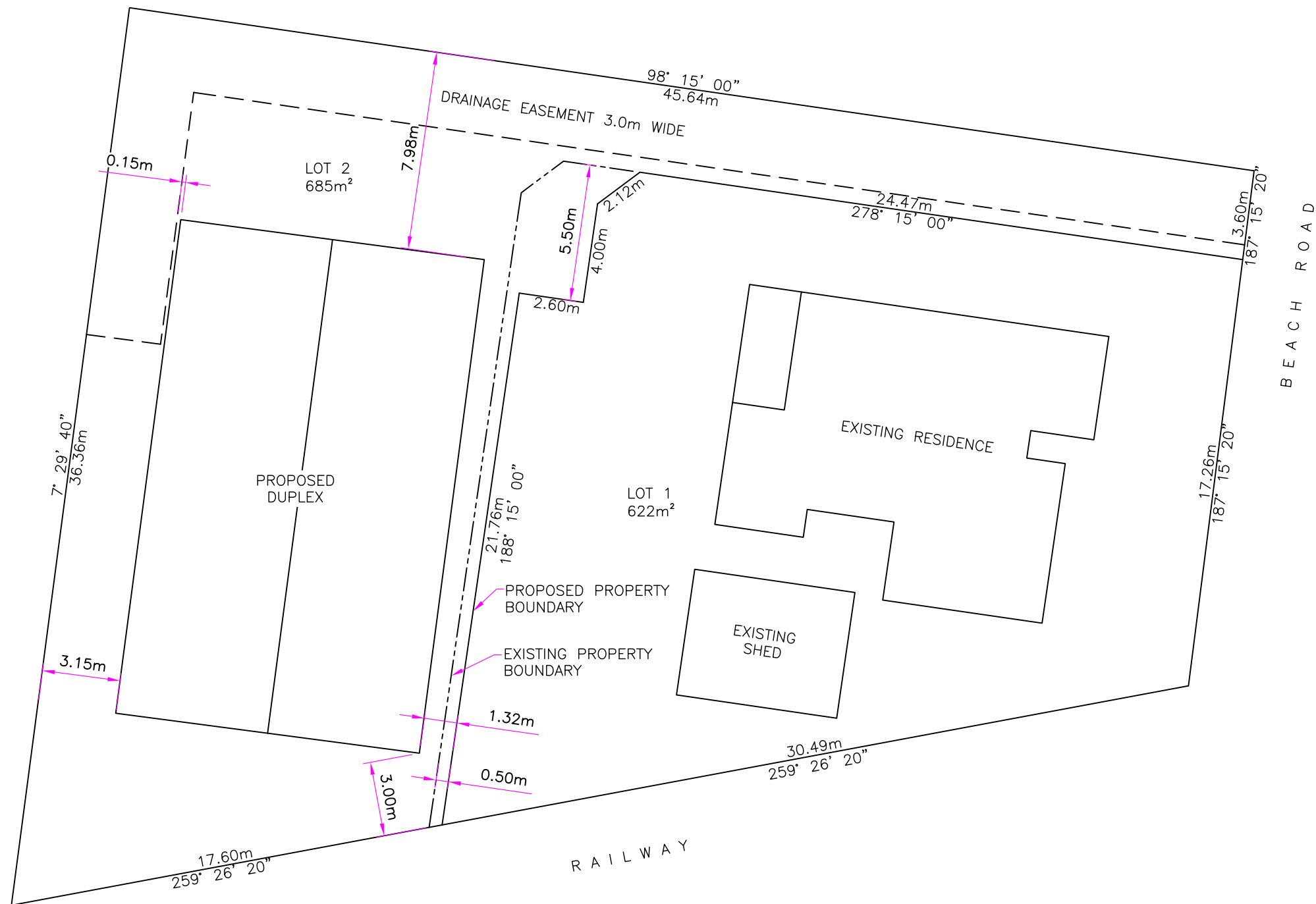
TITLE REFERENCE: 172960/1 & 172960/2
 AREAS:
 SITE — 650m² & 657m²
 EXISTING FLOOR — 0m²
 PROPOSED FLOOR — 481m²
 TOTAL FLOOR — 481m²
 SITE CLASSIFICATION: S
 WIND CLASSIFICATION: N2
 CLIMATE ZONE: 7
 BUSHFIRE ATTACK LEVEL: NOT APPLICABLE
 CORROSION ENVIRONMENT: SEVERE
 ALPINE AREA: NOT APPLICABLE

Accreditation No. CC1779G Ph: 0407 532 435 Email: paul@pladesign.com.au	DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	
	DRAWN	A.R.M.		
	CHECKED	P.L.A.		
	SHEET SIZE	A3		
	SCALE			
DRAWING No.		24140-01	REV.	DATE
			E	10.10.25



EXISTING SITE PLAN

Accreditation No. CC1779G Ph: 0407 532 435 Email: paul@pladesign.com.au	DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	REV.	DATE
	DRAWN	A.R.M.		C	16.06.25
	CHECKED	P.L.A.			
	SHEET SIZE	A3			
	SCALE	1 : 200			
ABN: 27 165 669 278	DRAWING No. 24140-02				



PROPOSED SITE PLAN

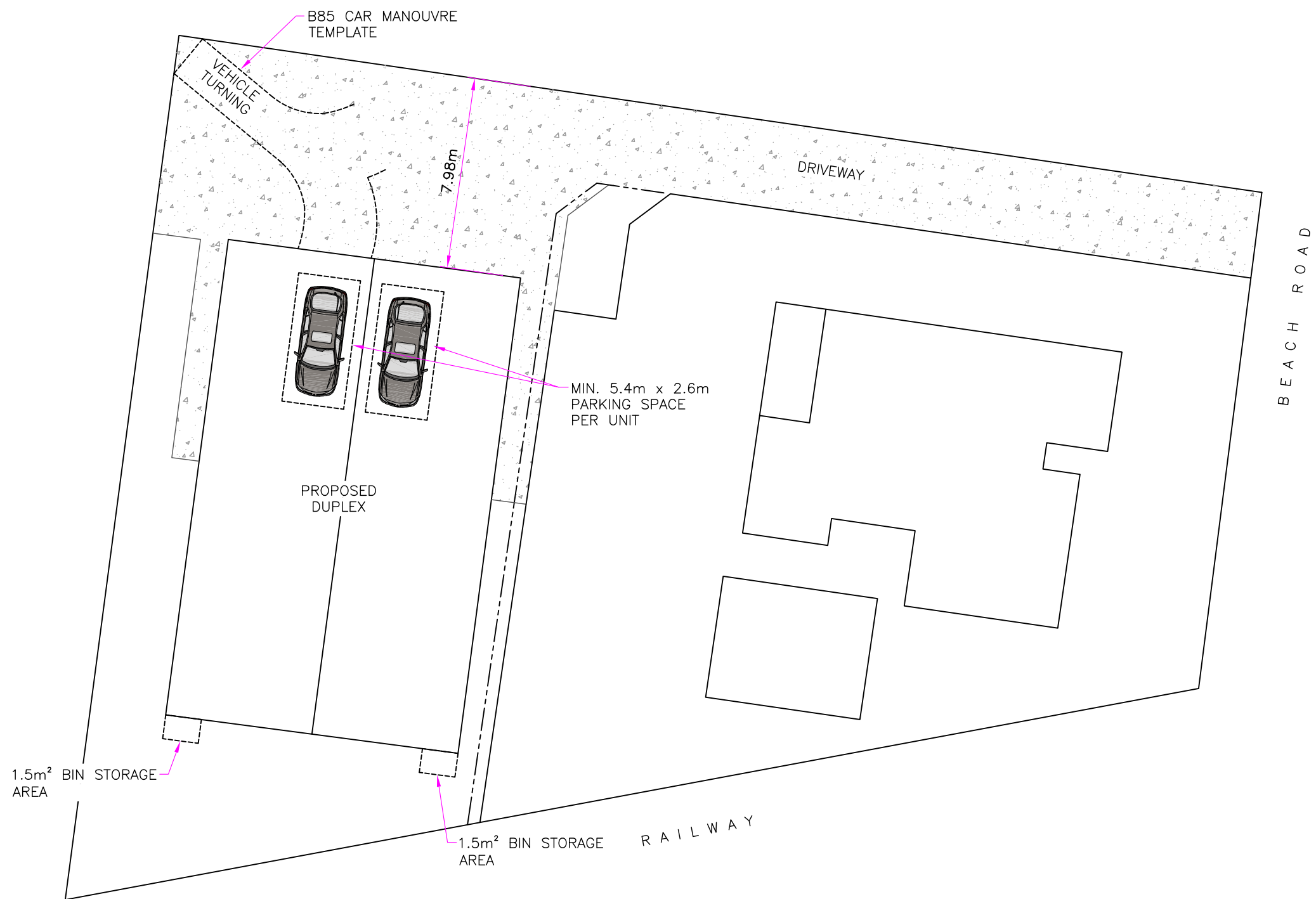
Accreditation No. CC1779G



Ph: 0407 532 435
Email: paul@pladesign.com.au

DATE	SEP 2024
DRAWN	A.R.M.
CHECKED	P.L.A.
SHEET SIZE	A3
SCALE	1 : 200

PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION		REV.	DATE
18 & 20 BEACH ROAD ULVERSTONE		D	10.10.25
STEPHEN & ANGELLA JACKSON			
DRAWING No. 24140-03			



CAR PARKING PLAN

SITE PERMEABLE AREA = 158m² = 23% OF TOTAL LOT AREA

Accreditation No. CC1779G Ph: 0407 532 435 Email: paul@pladesign.com.au	DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	REV.	DATE	
	DRAWN	A.R.M.		DRAWING No.	A	16.06.25
	CHECKED	P.L.A.				
	SHEET SIZE	A3				
	SCALE	1 : 200				



GROUND FLOOR PLAN

GROUND FLOOR AREA

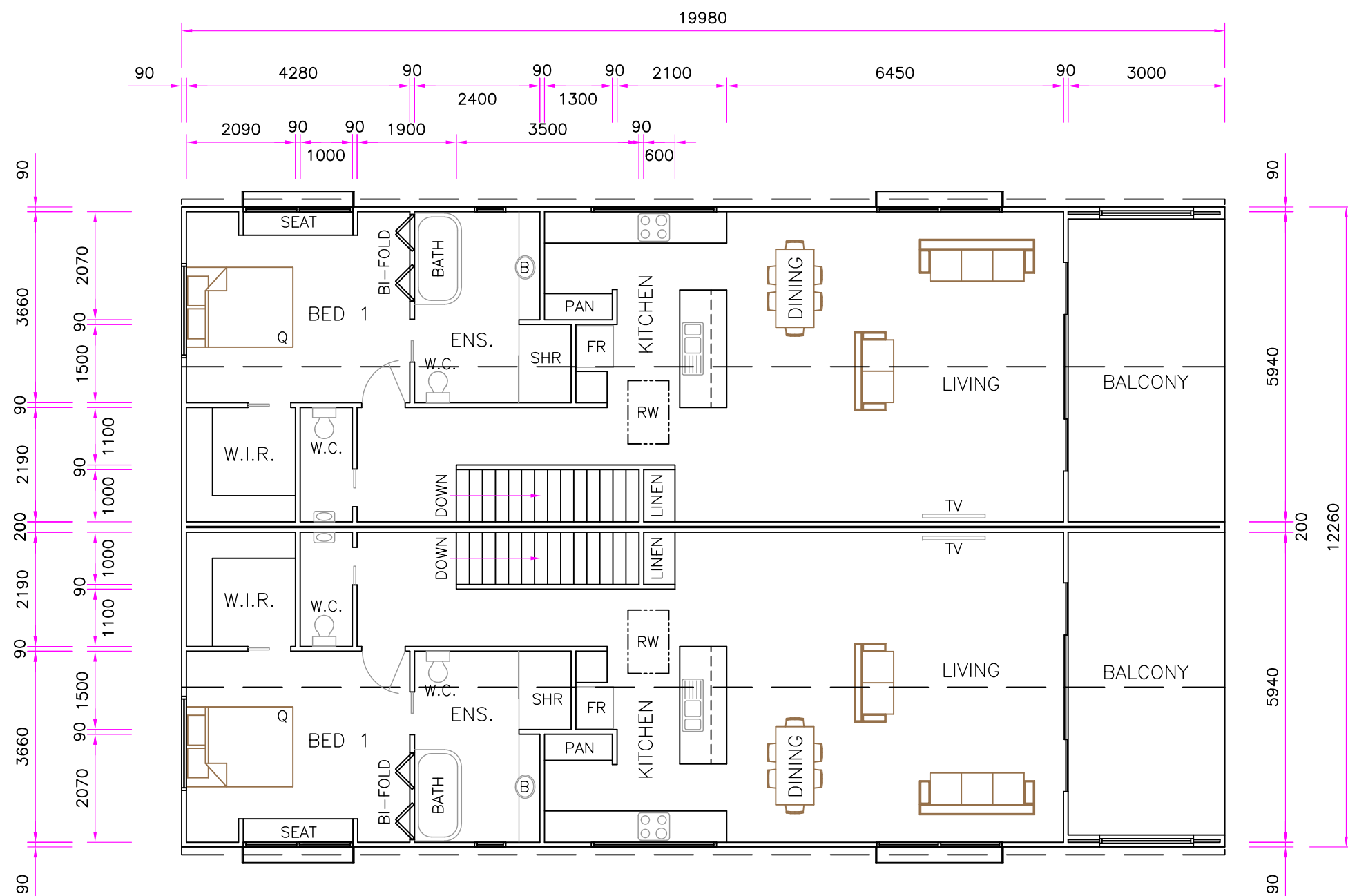
RESIDENCE = 77.61m² (8.35 SQ.)
 GARAGE = 40.46m² (4.35 SQ.)
 TOTAL (PER DWELLING) = 118.07m² (12.70 SQ.)

Accreditation No. CC1779G

DESIGNS
 Ph: 0407 532 435
 Email: paul@pladesign.com.au

DATE	SEP 2024
DRAWN	A.R.M.
CHECKED	P.L.A.
SHEET SIZE	A3
SCALE	1 : 100

PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	
DRAWING No.	24140-05
REV.	DATE
E	16.06.25



FIRST FLOOR PLAN

FIRST FLOOR AREA

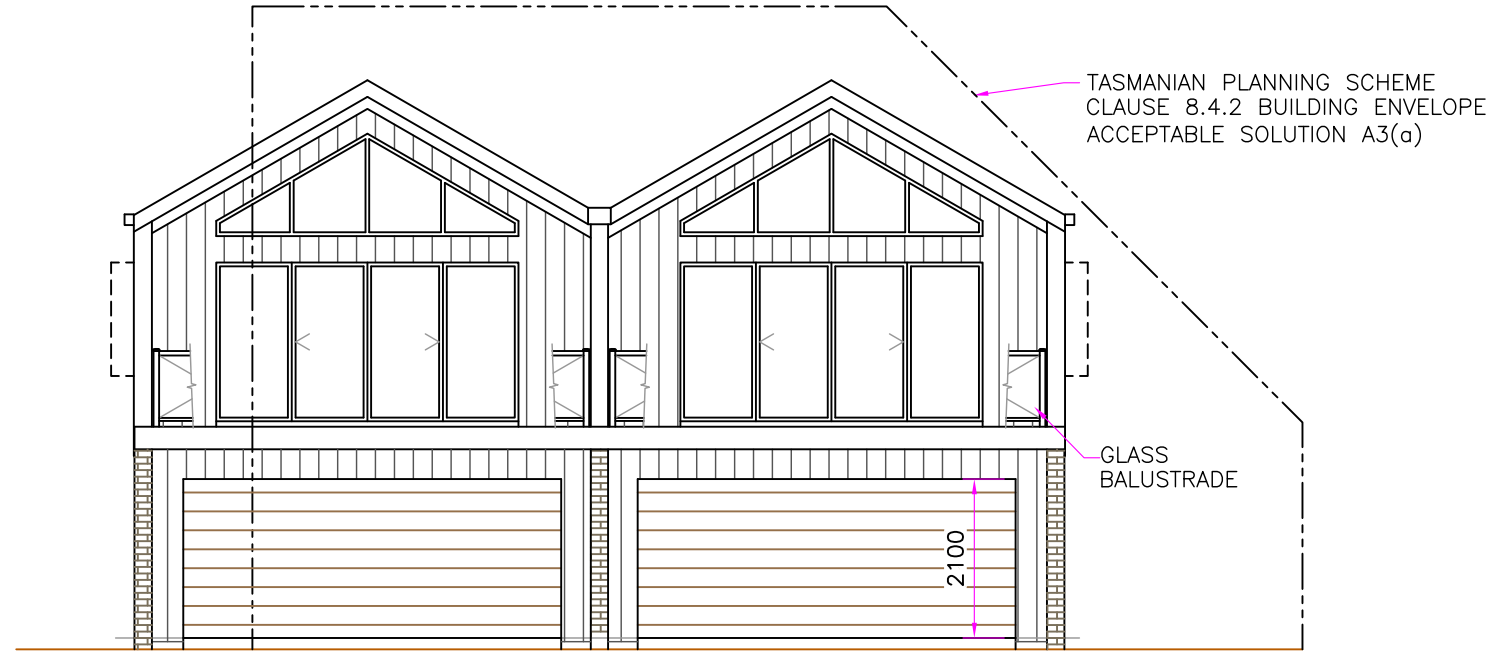
RESIDENCE = 104.09m² (11.19 SQ.)
 BALCONY = 18.39m² (1.98 SQ.)
 TOTAL (PER DWELLING) = 122.48m² (13.18 SQ.)

Accreditation No. CC1779G

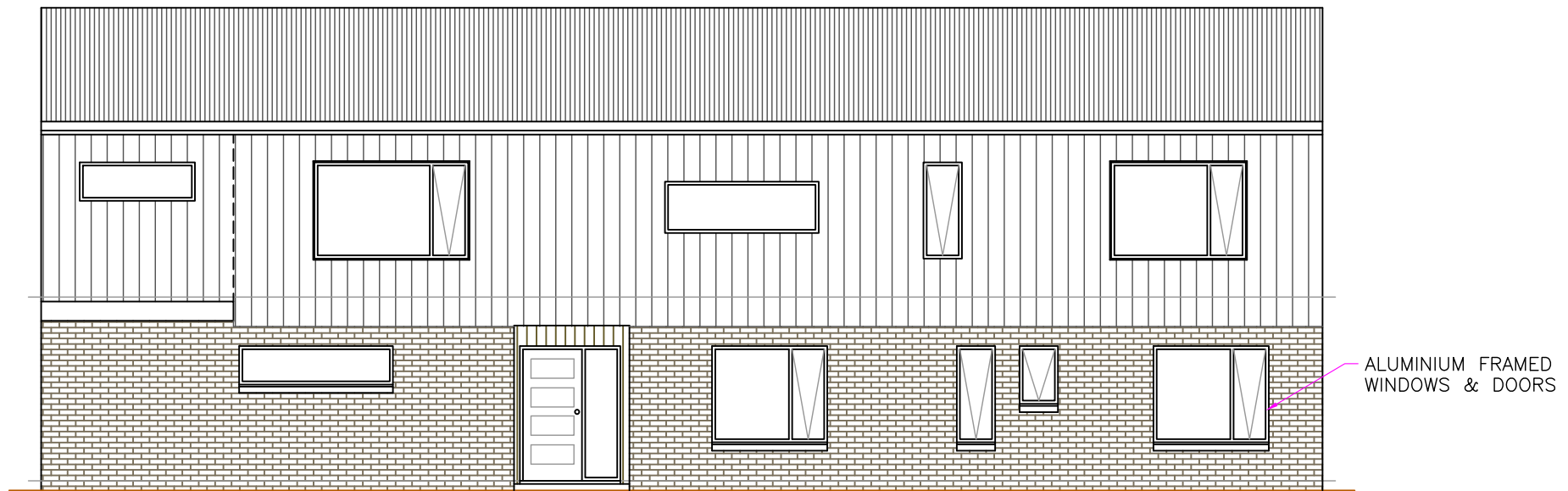
Ph: 0407 532 435
 Email: paul@pladesign.com.au

DATE	SEP 2024
DRAWN	P.L.A.
CHECKED	
SHEET SIZE	A3
SCALE	1 : 100


PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	
DRAWING No.	24140-06
REV.	DATE
E	16.06.25



NORTHERN ELEVATION



WESTERN ELEVATION

Accreditation No. CC1779G  Ph: 0407 532 435 Email: paul@pladesign.com.au	DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	REV.	DATE	
	DRAWN	P.L.A.		DRAWING No.	F	10.10.25
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	SCALE	1 : 100				

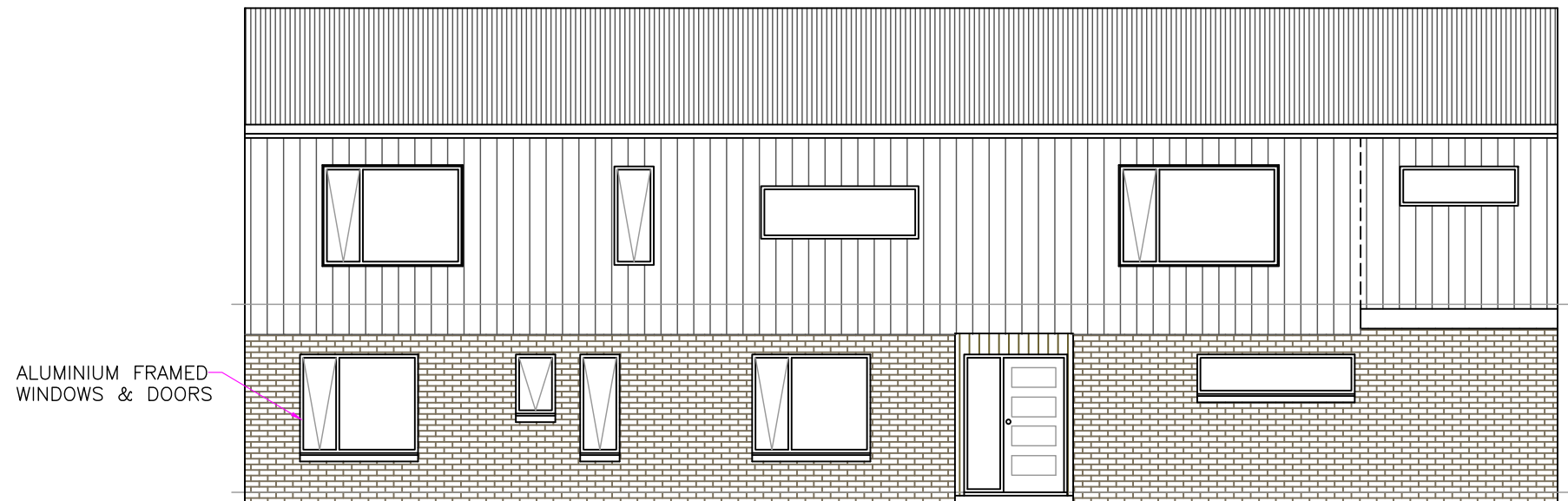


COLORBOND NAILSTRIP CLADDING

BRICK VENEER EXTERIOR


APPROX. - 7500

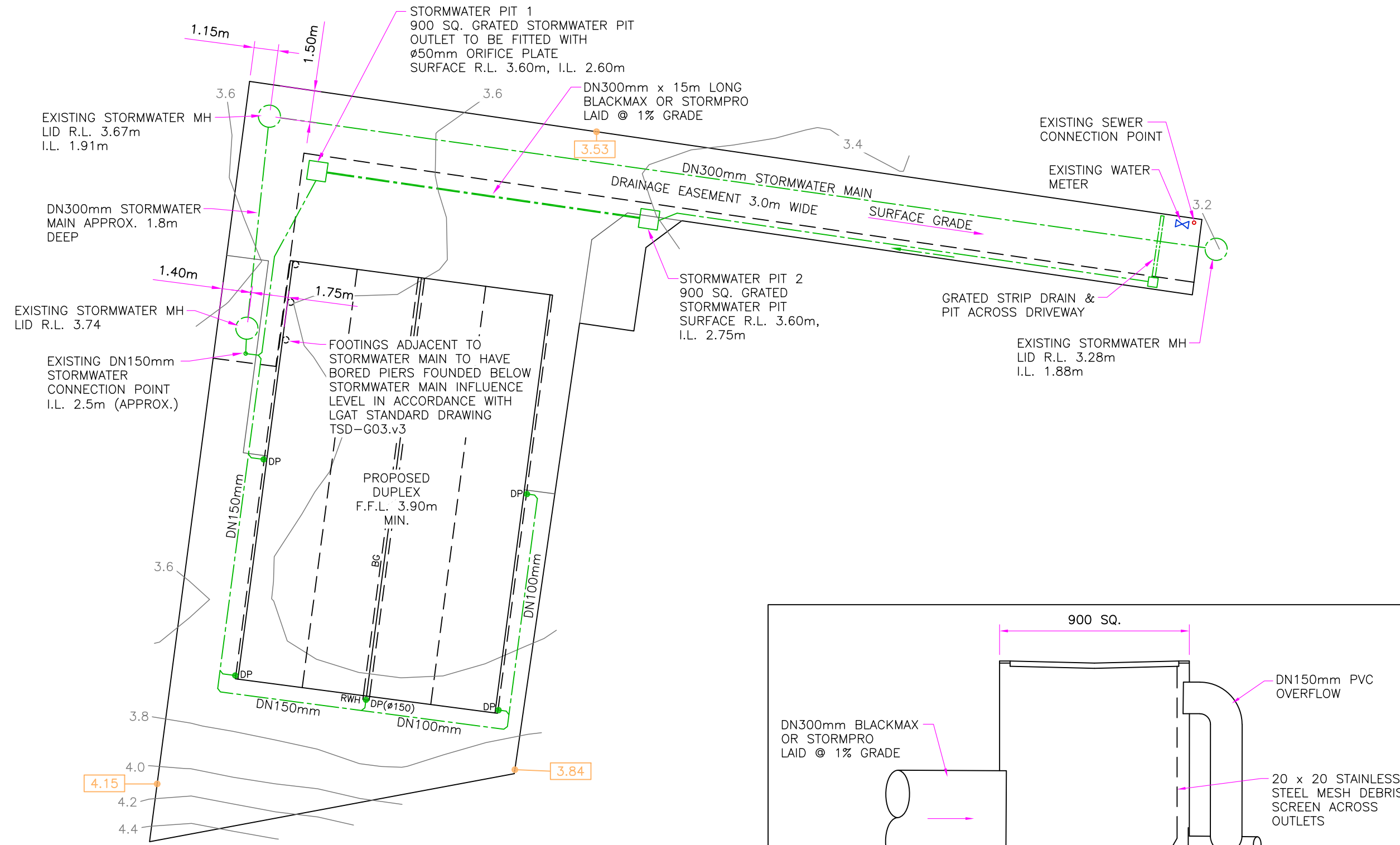
SOUTHERN ELEVATION



ALUMINIUM FRAMED WINDOWS & DOORS

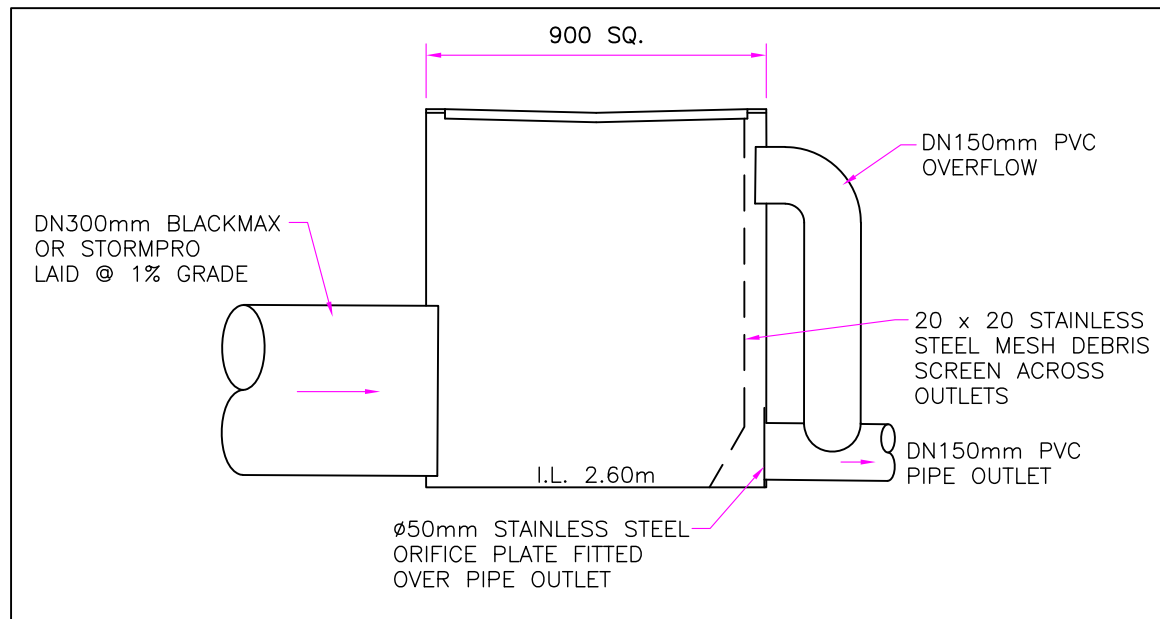
EASTERN ELEVATION

Accreditation No. CC1779G  Ph: 0407 532 435 Email: paul@pladesign.com.au	DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	REV.	DATE
	DRAWN	A.R.M.		D	16.06.25
	CHECKED	P.L.A.			
	SHEET SIZE	A3			
	SCALE	1 : 100			
DRAWING No. 24140-08					



PLUMBING PLAN – STORMWATER

– EXISTING SITE LEVEL (m)



STORMWATER DETENTION PIT 1 DETAIL

SCALE 1 : 20

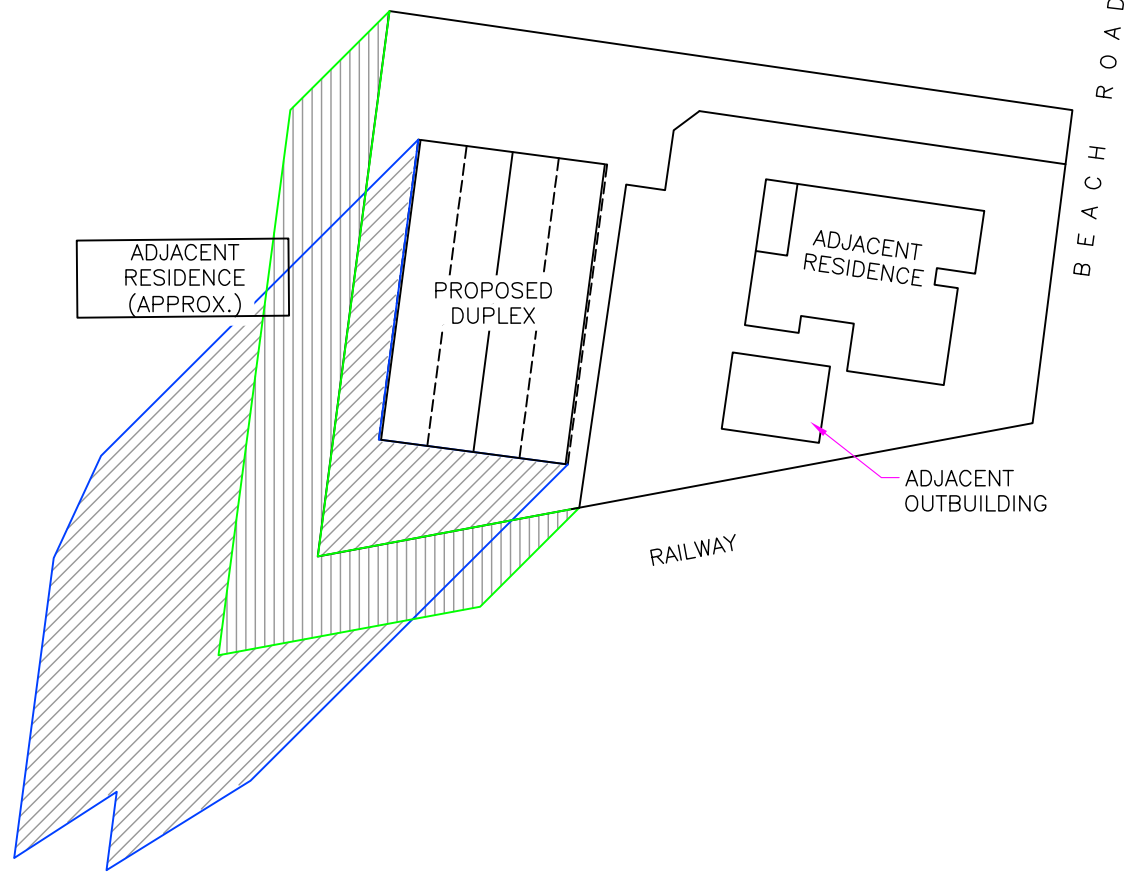
- STORMWATER NOTES:**
1. STORMWATER DETENTION IN ACCORDANCE WITH CENTRAL COAST COUNCIL STORMWATER DETENTION POLICY.
 2. ROOF DRAINAGE TO CONNECT INTO EXISTING DN150mm STORMWATER CONNECTION.
 3. SURFACE WATER DRAINAGE TO CONNECT INTO EXISTING DN150mm STORMWATER CONNECTION VIA DRIVEWAY PITS & SUB-SURFACE PIPES.
 4. OVERFLOW FROM SURFACE WATER PITS TO FLOW DOWN DRIVEWAY.

pitt&sherry
ABN 77 001 556 083
ANDREW VAN TATENHOVE
MEMBERSHIP NO. 2683167
THE INSTITUTION OF ENGINEERS AUSTRALIA
ACCREDITED BUILDING PRACTITIONER
TASMANIA
ENGINEER CIVIL CC62281W

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Ph: 0407 532 435
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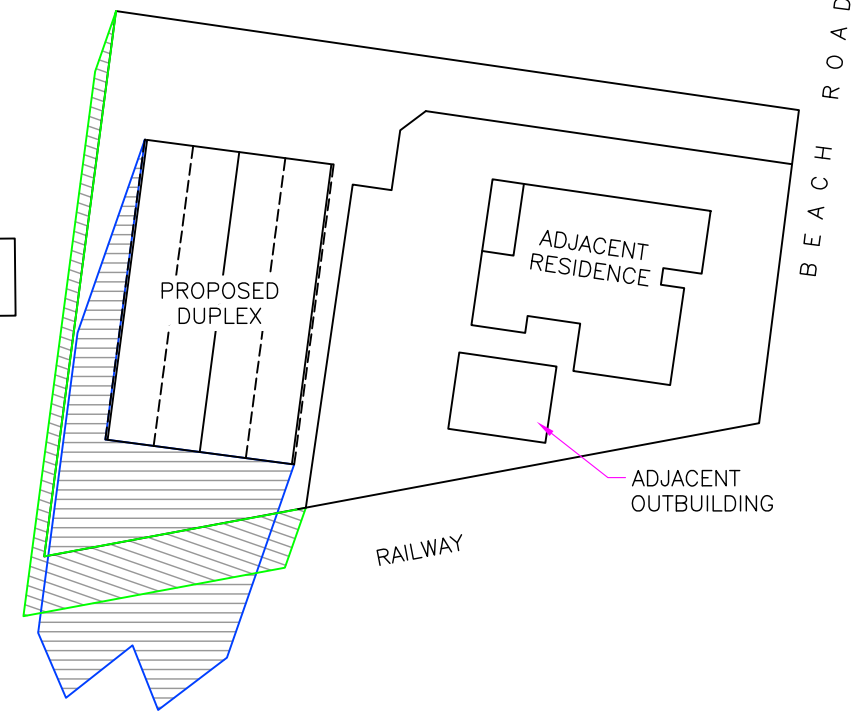
Accreditation No. CC1779G
ABN: 27 165 669 278

DATE	SEP 2024	PROPOSED BOUNDARY ADJUSTMENT & VISITOR ACCOMMODATION 18 & 20 BEACH ROAD ULVERSTONE STEPHEN & ANGELLA JACKSON	REV.	DATE
DRAWN	P.L.A.		C	10.10.25
CHECKED				
SHEET SIZE	A3			
SCALE	1 : 200			
DRAWING No. 24140-09				

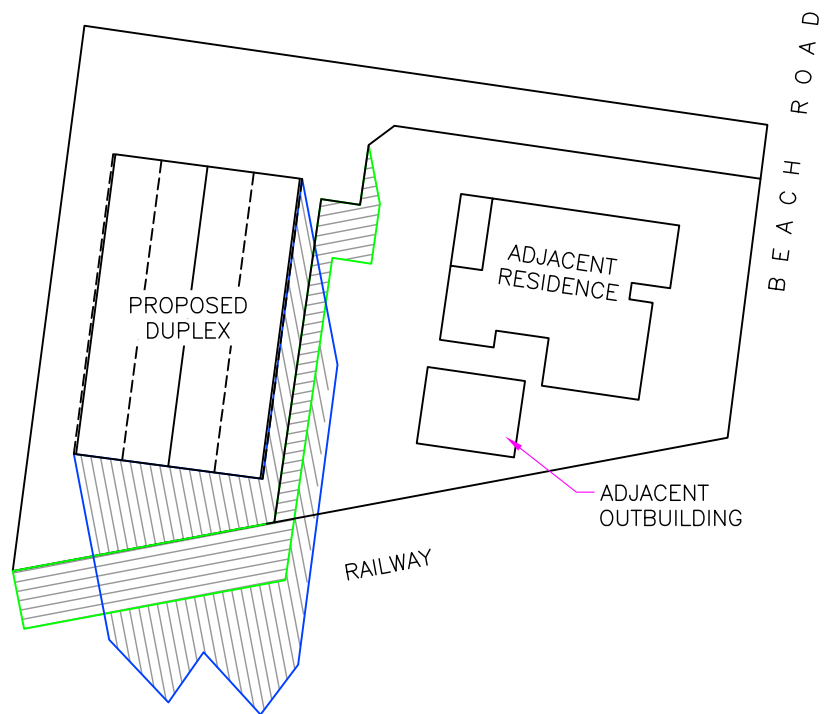


9:00 am
 AZIMUTH = 45.1°
 ALTITUDE = 11.0°

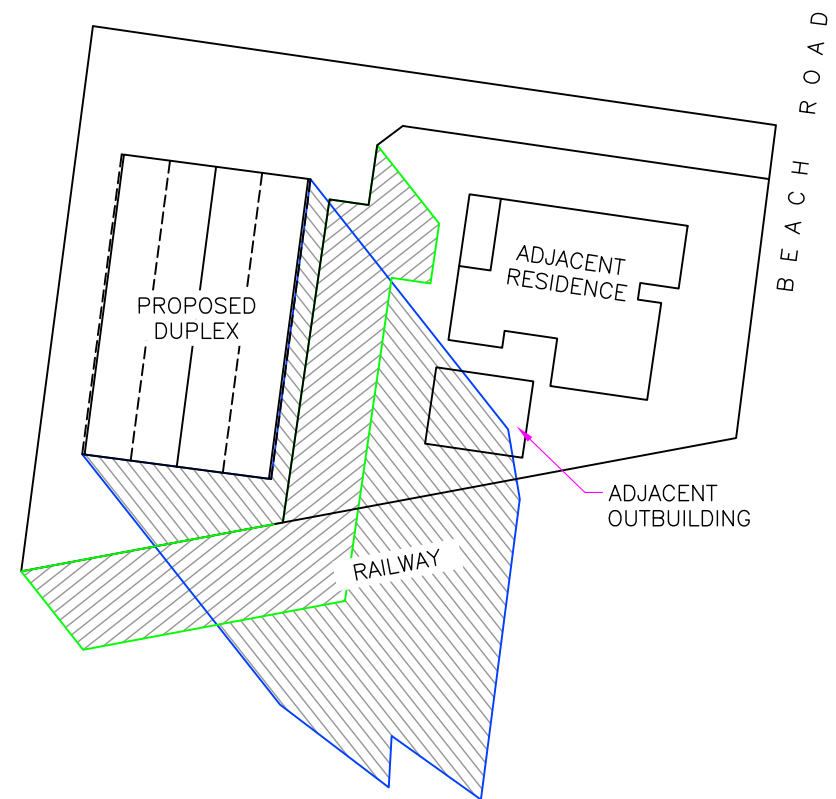
ADJACENT RESIDENCE (APPROX.)



11:00 am
 AZIMUTH = 19.2°
 ALTITUDE = 23.0°



1:00 P.M.
 AZIMUTH = 349.2°
 ALTITUDE = 24.7°



3:00 P.M.
 AZIMUTH = 321.7°
 ALTITUDE = 15.2°

NOTE:
 WINTER SOLSTICE SUNSET
 TIME = 4.54pm

- SHADING CAUSED BY PROPOSED BUILDING
- SHADING CAUSED BY 1.8m HIGH FENCE

LATITUDE = -41° 09' 14"
 LONGITUDE = 146° 11' 03"
 DATE = 21st JUNE

SHADOW PLANS

Accreditation No. CC1779G



Ph: 0407 532 435
 Email: paul@pladesign.com.au

DATE	SEP 2024
DRAWN	P.L.A.
CHECKED	
SHEET SIZE	A3
SCALE	1 : 500

PROPOSED BOUNDARY ADJUSTMENT
 & VISITOR ACCOMMODATION
 18 & 20 BEACH ROAD ULVERSTONE
 STEPHEN & ANGELLA JACKSON

DRAWING No. 24140-10

REV.	DATE
B	16.06.25