
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025197**

Location: **135 Stubbs Road, Turners Beach**

Proposal: **Residential – shed**

Performance Criteria: **Site coverage**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2015*.

The representation must be made on or before **15 September 2025**

Date of Notification: **30 August 2025**

CENTRAL COAST COUNCIL

PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



**Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION**

**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 20/08/2025
Application No: DA2025197
Doc ID: 528626

Office use only: Zone: Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address: 135 Stubbs Rd TURNERS BEACH

Certificate of Title Reference: 226035 / 1

Land Area: 7.572 ha Heritage Listed Property: NO YES

Applicant(s)

First Name(s): Nathan Surname(s): Burton

Company name (if applicable): Contact No: 0418 130 657

Postal Address: 135 Stubbs Rd Turners Beach

Email address: nathan.burton@skills.tas.gov.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s): Nathan Middle Names(s): John
Belinda Jane

Surname(s): Burton Company name (if applicable):
Burton

Postal Address: 135 Stubbs Rd
Turners Beach

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Erection of Shed

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ 80 000 Estimate/ Actual

Total floor area of the development 200 m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant

Date

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN


I, _____ the Minister
 responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we Nathan John Burton, Belinda Jane Burton
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.


Signature of Applicant/s  Date 20/8/25

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 226035	FOLIO 1
EDITION 2	DATE OF ISSUE 21-Jan-2021

SEARCH DATE : 30-Jun-2025
SEARCH TIME : 09.04 AM



**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 20/08/2025
Application No: DA2025197
Doc ID: 528629

DESCRIPTION OF LAND

Parish of ABBOTSHAM, Land District of DEVON
Lot 1 on Plan 226035
Derivation : Part of Lot 6511 and Part of Lot 6824 Gtd. to J. Smith and Part of Lot 12580 Gtd. to J. O'Keeffe
Prior CT 2930/67

SCHEDULE 1

M859543 TRANSFER to BELINDA JANE BURTON and NATHAN JOHN BURTON Registered 21-Jan-2021 at noon

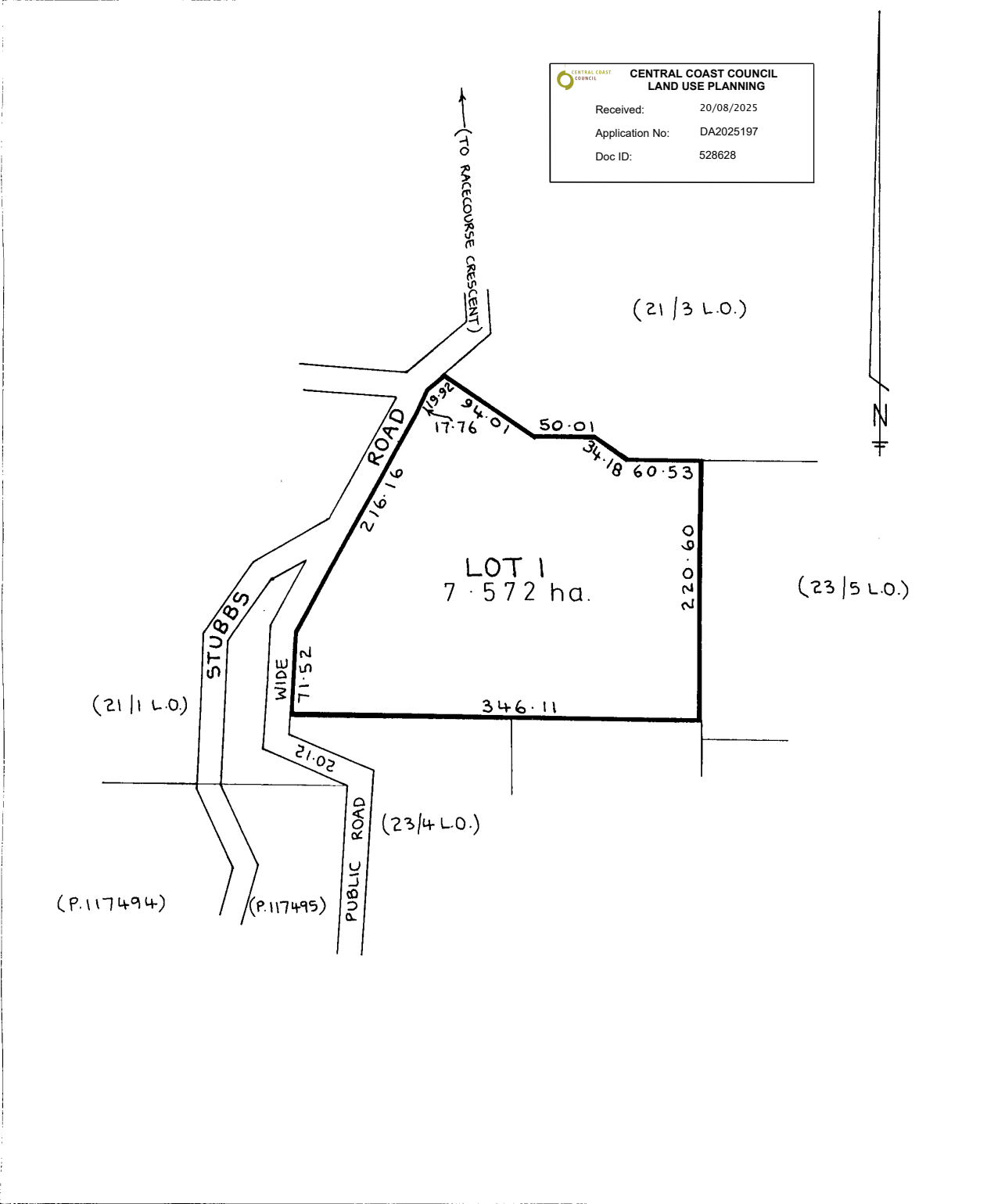
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
E247458 MORTGAGE to ING Bank (Australia) Limited Registered 21-Jan-2021 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

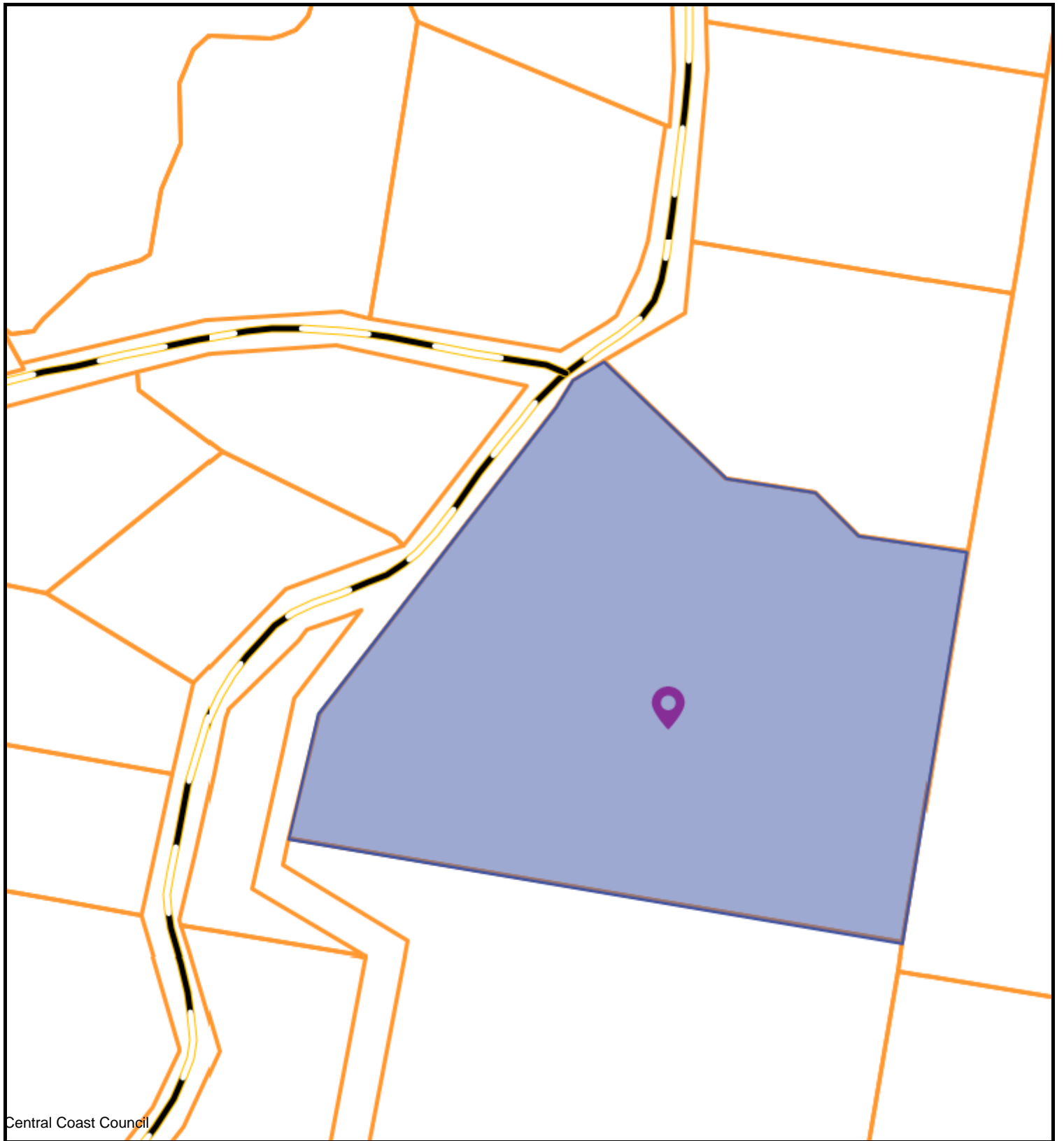
OWNER	FOLIO REFERENCE C.T. 2930/67	GRANTEE	PLAN OF TITLE		Registered Number
			LOCATION DEVON - ABBOTSHAM		P.226035
			FIRST SURVEY PLAN No.	APPROVED 26 MAY 1999	
			COMPILED BY LTO	<i>Michael Dean</i> Recorder of Titles	
			SCALE 1: 3000	LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 104 (4244-54)	LAST UPI No 6300848	LAST PLAN No. (40/30NS.)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



CENTRAL COAST COUNCIL
LAND USE PLANNING

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A-143
DAB



Central Coast Council



CENTRAL COAST COUNCIL
19 King Edward St
Ulverstone
TAS 7315
Telephone: 03 6429 8900
admin@centralcoast.tas.gov.au



27-Aug-2025

**135 STUBBS ROAD,
TURNERS BEACH
DA2025197**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document

All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.

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50 m

Scale =
1:2940.840

Nathan and Belinda Burton

135 Stubbs Rd, Turners Beach
New Shed and Bathroom in Existing House

- A01 Cover
- A02 Site Plan
- A03 Floor Plan
- A04 Safety Notes
- A05 Wet Area Notes

Project details:

Land Title Reference Number: 226035/1

Design Wind Speed: N2
Climate Zone: 7
Soil Classification: Assumed M
BAL Level: N/A
Alpine Area: N/A
Corrosion Environment: N/A
Other Hazards:
(Flooding, Landslip, Dispersive Soils,
Sand Dunes, Mine Subsidence,
Landfill) N/A

Area:
Land: 7 572ha
Existing Floor Area: 240m²
New Shed Area: 200m²

Works to be in accordance with
2022 HP and Volume 2.
Refer to AS1684.2 for connection details

Project Number: 2526-07
Date: 15.08.25

Works to be in accordance with 2022 HP and Volume 2.

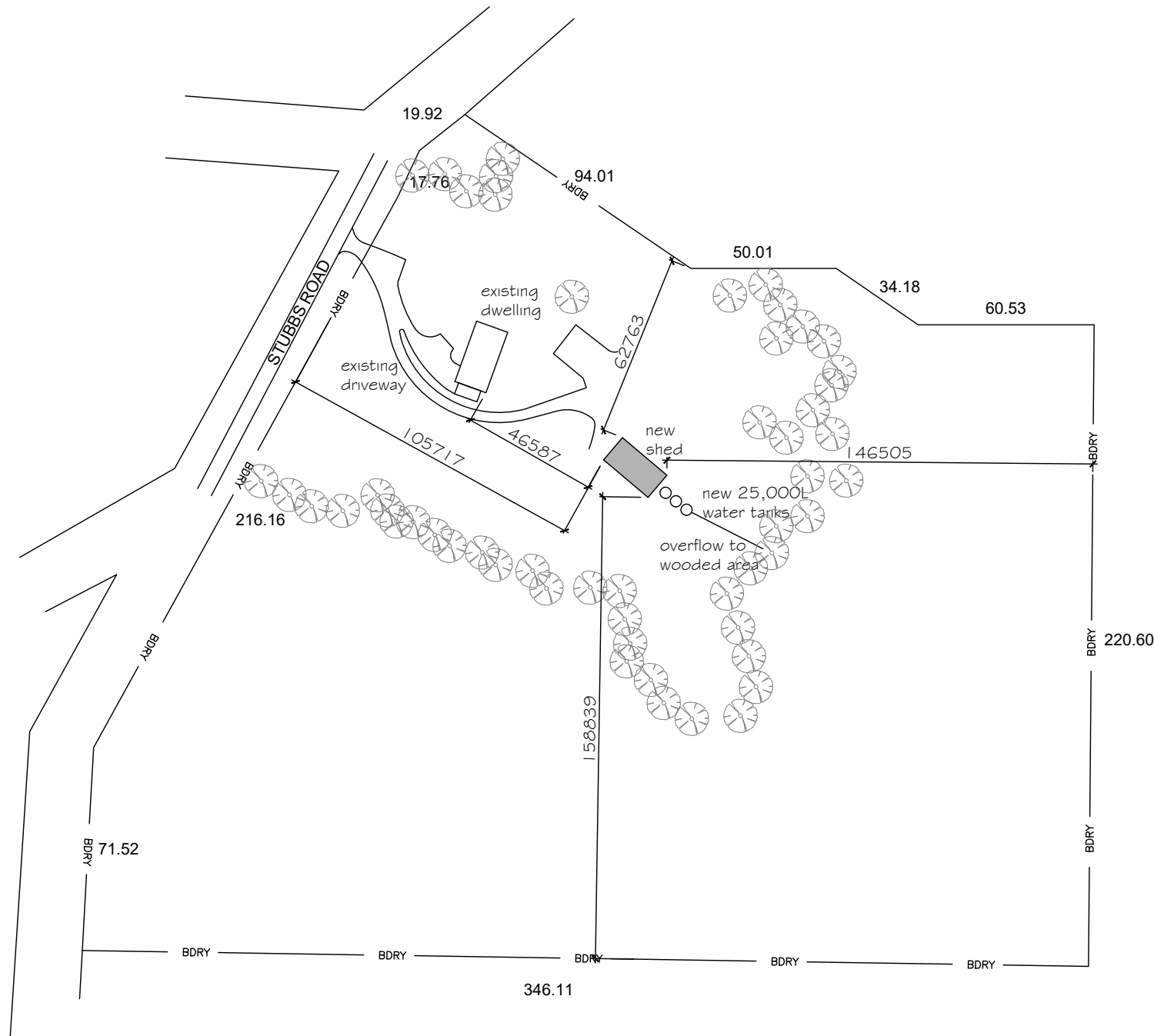
Refer to AS1684.2 for connection details

GENERAL NOTES:

- 1. Check all dimensions, boundaries, easements and service locations on site
- 2. All work shall comply with the current Tasmanian Building Regulations and relevant current Australian Standards, particularly AS2870 (residential slabs and footings) AS3700 (unified masonry code) AS3600 (concrete structures)

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
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SITE PLAN

Scale 1:2000

Template date: 08.05.25

Template date: 08.05.25



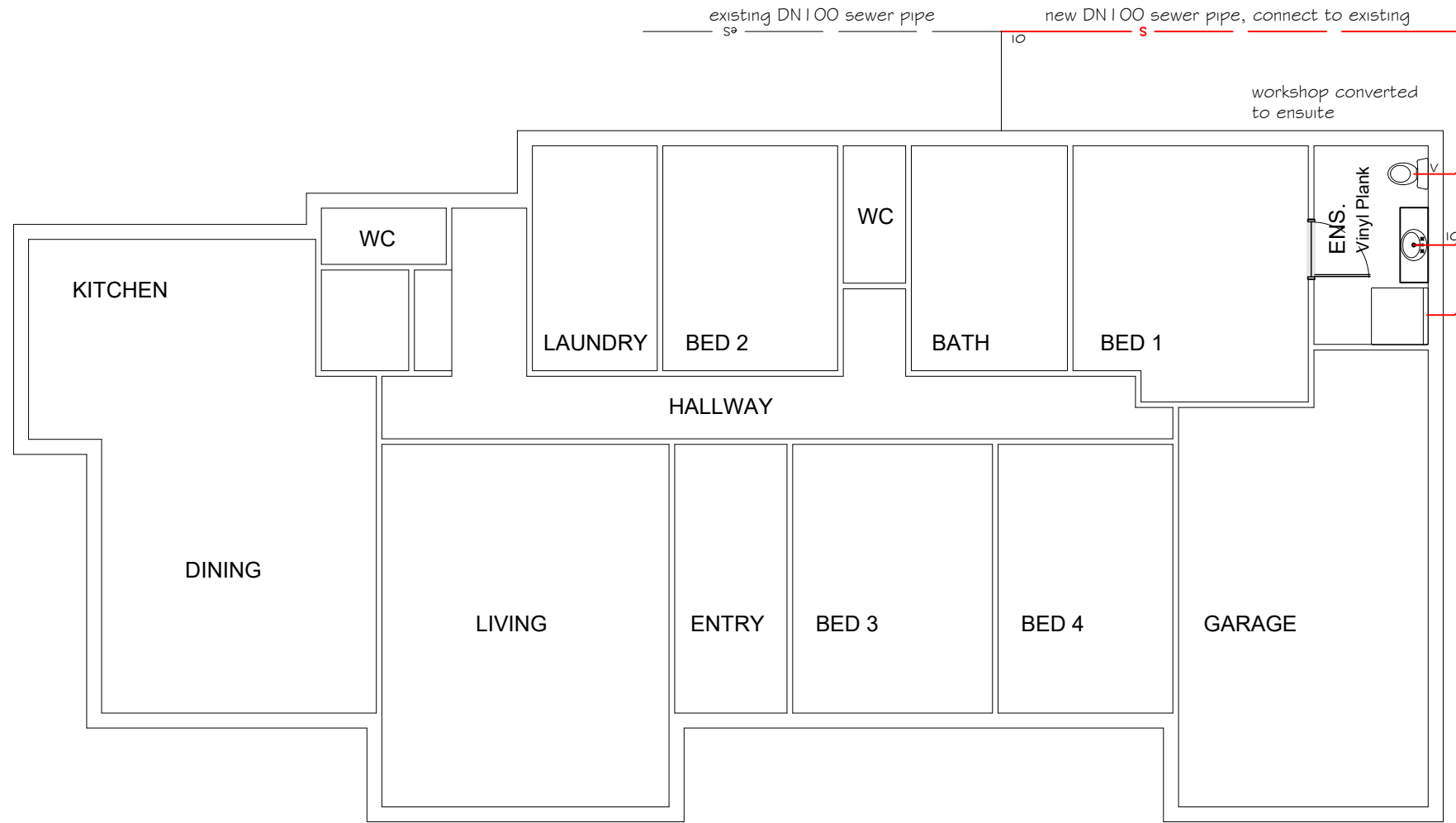
Works to be in accordance with
2022 HP and Volume 2.

Refer to AS1684.2 for connection details

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 20/08/2025
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Doc ID: 528669

Template date: 08.05.25



FLOOR PLAN
SCALE 1:100



Template date: 08.05.25

SAFETY NOTES

FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS DURING CONSTRUCTION

THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING IS A POSSIBILITY.

MAINTENANCE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL IS POSSIBLE, WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

B) SLIPPERY OR UNEVEN SURFACES ANCHORAGE POINTS

ANCHORAGE POINTS FOR PORTABLE SCAFFOLD OR FALL ARREST DEVICES ARE TO INCLUDED INSTALLED FOR USE BY MAINTENANCE WORKERS. ANY PERSONS ENGAGED TO WORK ON THE BUILDING AFTER COMPLETION OF CONSTRUCTION WORK SHOULD BE INFORMED ABOUT THE ANCHORAGE POINTS.

DURING OPERATION OR MAINTENANCE FLOOR FINISHES SPECIFIED

IF FINISHES HAVE BEEN SPECIFIED, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE ARCHITECT OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

STEPS, LOOSE OBJECTS & UNEVEN SURFACES

STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS. CONTRACTORS ARE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

- PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT
- PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS
- PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA
- ENDURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE)

BUILDING COMPONENTS

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE TEMPORARY BRACING.

TRAFFIC MANAGEMENT

FOR BUILDING A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.

FOR BUILDINGS WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS. CONFIRM WITH LOCAL COUNCIL WHEN DELIVERIES ARE TO BE MADE WHEN VEHICLES WILL HAVE TO REMAIN ON THE ROAD.

FOR ALL BUILDINGS: BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SHOULD BE ADOPTED FOR THE WORK SITE.

MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KGS SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

HAZARDOUS SUBSTANCES

ASBESTOS

REMOVAL AND DISPOSAL OF ASBESTOS IS TO BE DONE BY ACCREDITED PERSONNEL AND ACCORDING TO AUSTRALIAN STANDARDS.

SEALED FLOORS

THIS BUILDING MAY CONTAIN SEALED FLOORS WHICH HAVE AN APPLIED FINISH. AREAS WHERE FINISHES ARE APPLIED SHOULD BE KEPT WELL VENTILATED DURING SANDING AND APPLICATION AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT IS TO BE USED. MANUFACTURERS RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

SYNTHETIC MINERAL FIBRE

FIBREGLASS, ROCKWOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OF THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHED AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

SERVICES

GENERAL

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALITY CONTRACTORS SHOULD BE USED. LOCATIONS WITH UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING.

LOCATIONS WITH OVERHEAD POWER LINES: OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED.

HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

CONFINED SPACES

SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. ANY REQUIRED WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

EXCAVATION

CONSTRUCTION OF THIS BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING EXCAVATION SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED. REFER TO ENGINEERS DRAWINGS FOR UNDERPINNING SPECIFICATIONS. UNDERPINNING TO BE UNDERTAKEN BY ACCREDITED CONTRACTOR.

**WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS
PART HP 10.2**

Shower Area: (enclosed or unenclosed)

- Floors and horizontal surfaces - waterproof floor in shower area (including hob or step-down) or preformed shower base
- Walls - water proof walls in shower area to not less than 1800mm above finished floor level of the shower
- Wall Junctions and Joints - waterproof wall junctions within shower area to 40mm each side of junction
- Wall/Floor Junctions - waterproof wall/floor junctions within shower area
- Penetrations - waterproof penetrations in shower area

Area Outside Shower Area

For concrete and compressed fibre-cement sheet flooring - water resistant floor of the room, waterproof wall/floor junctions
For timber floors including particleboard, plywood and other timber based flooring materials - waterproof floor of the room, waterproof wall/floor junctions

Areas Adjacent to baths and spas

- Floors and horizontal surfaces - water resistant floor of the room
- Walls - water resistant to a height of not less than 150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall
- Wall Junctions and Joints - water resistant junctions within 150mm above a vessel for the extent of the vessel
- Wall/Floor Junctions - water resistant wall/floor junctions for the extent of the vessel
- Penetrations - waterproof tap and spout penetrations where they occur in horizontal surfaces

For timber floors including particleboard, plywood and other timber based flooring materials

- Floors and horizontal surfaces - waterproof floor of the room
- Walls - water resistant all exposed surfaces below vessel lip
- Wall Junctions and Joints - water resistant junctions within 150mm above a vessel for the extent of the vessel
- Wall/Floor Junctions - water resistant wall/floor junctions for the extent of the vessel
- Penetrations - waterproof tap and spout penetrations where they occur in horizontal surfaces

Inserted baths and spas

- Floors and horizontal surfaces - waterproof shelf area incorporating waterstop under the bath lip - no requirement for under bath
- Walls - waterproof to not less than 150mm above lip of bath or spa, no requirements under bath
- Wall Junctions and Joints - waterproof junctions within 150mm above bath or spa, no requirements under bath
- Penetrations - waterproof tap and spout penetrations where they occur in horizontal surfaces

Note: Where a shower is above a bath or spa, use requirements for shower.

Other Areas:

Laundries and WCs

- Floors and horizontal surfaces - water resistant floor of the room
- Wall/Floor Junctions - waterproof wall/floor junctions

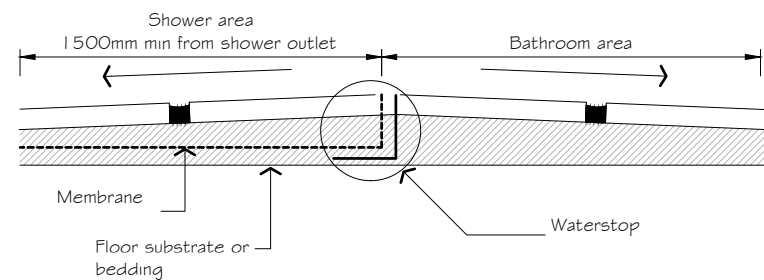
Walls adjoining other vessels (e.g. sink, basin or laundry tub)

- Walls - water resistant to a height of not less than 150mm above the vessel, for the extent of the vessel, where the vessel is within 75mm of a wall
- Wall junctions and joints - waterproof wall junctions where a vessel is fixed to a wall
- Penetrations - waterproof tap and spout penetrations where they occur in surfaces required to be waterproof or water resistant

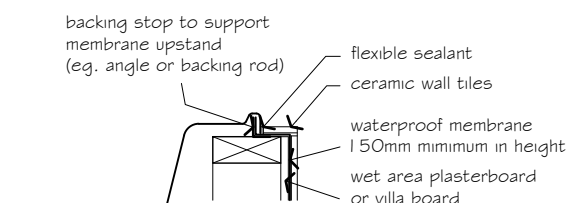
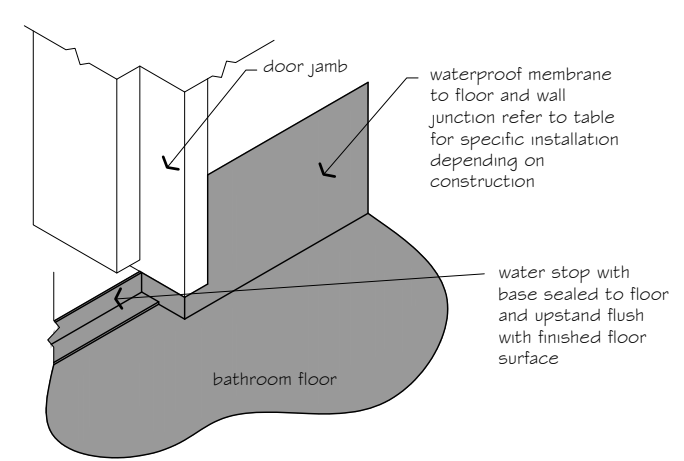
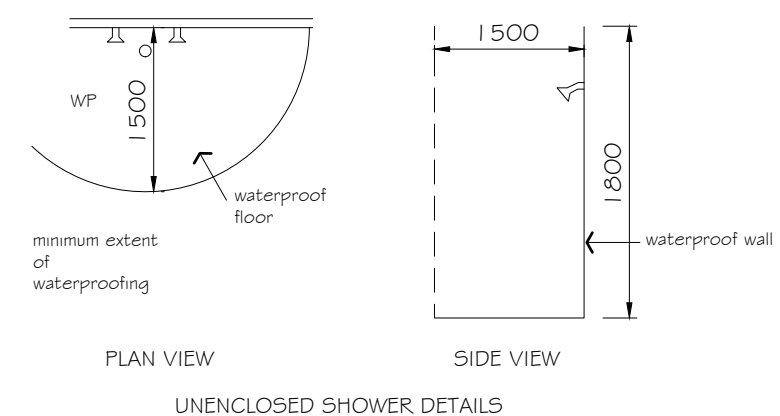
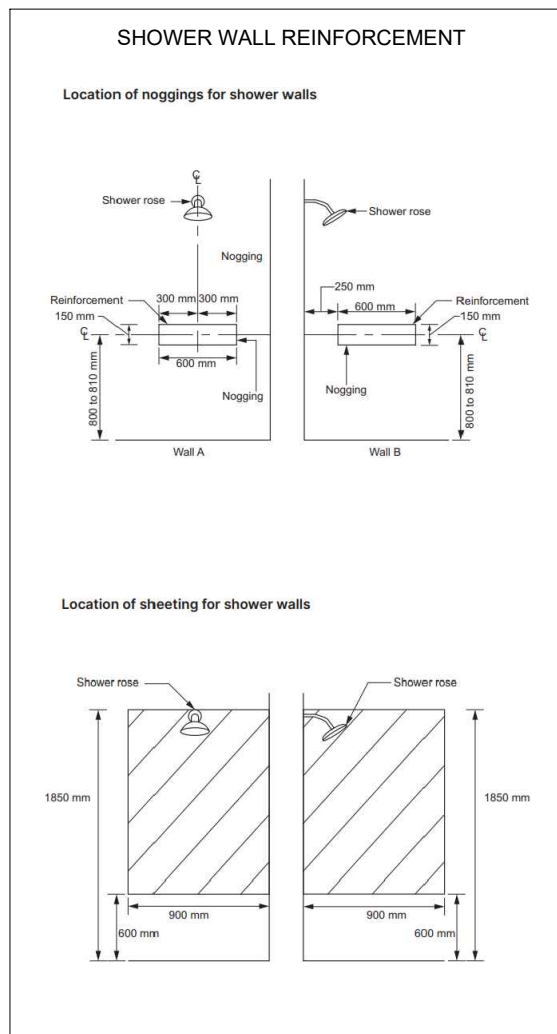
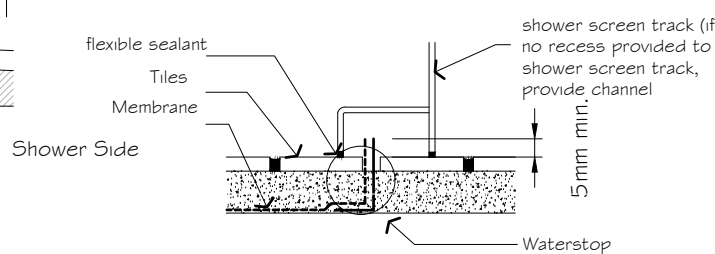
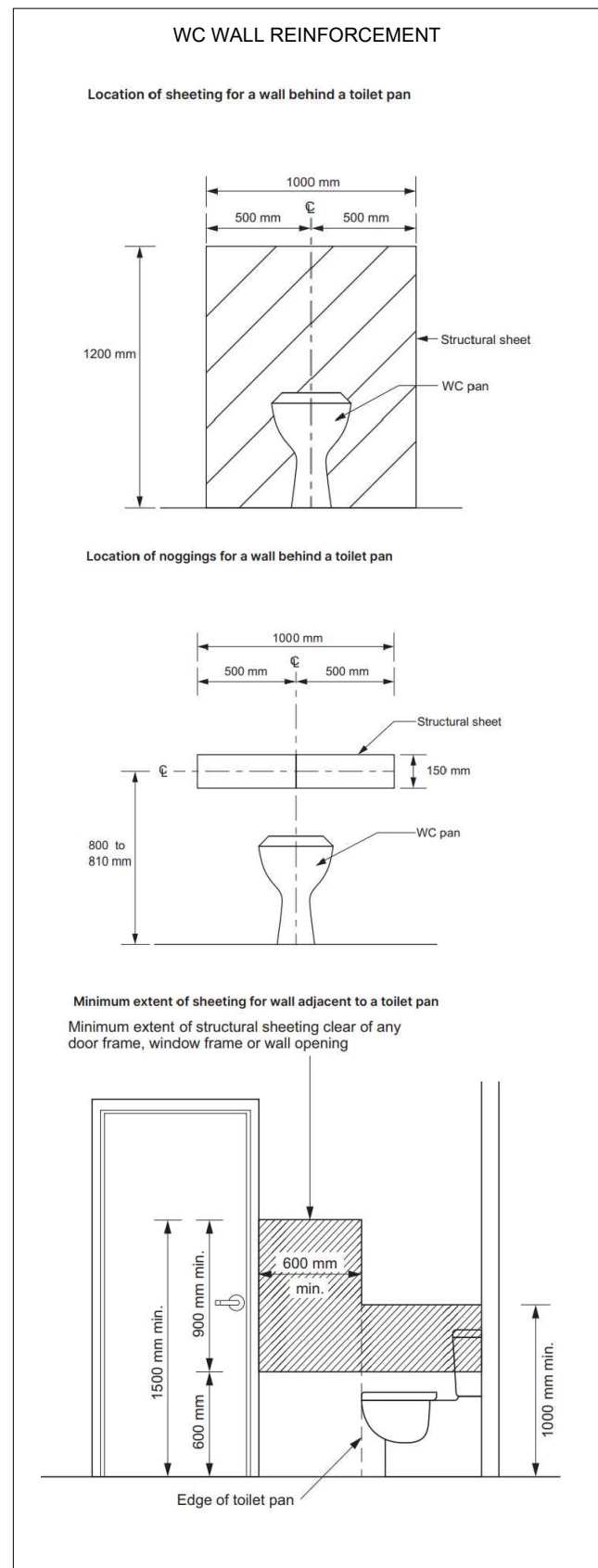
Unenclosed showers

1) unenclosed showers must be constructed as follows:

- a) a waterstop must be installed a minimum horizontal distance of 1500mm from the shower rose
 - b) the vertical leg of the waterstop must finish -
 - i) flush with the top surface of the floor and
 - ii) where the waterstop intersects with a wall or is joined -
 - A) the junction must be waterproof; or
 - B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area
- 2) in the case of 1)b)ii)B), at doorways, where the height of the tiling angle needs to be adjusted for tiling purposes, the angle must be fixed with sealant compatible with the waterproofing membrane without damaging the waterproofing system



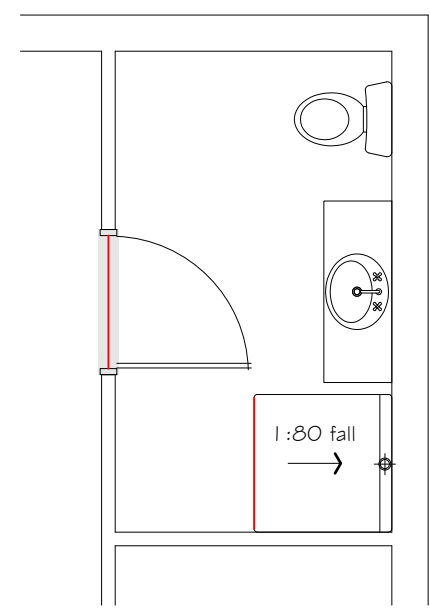
Typical termination of membrane at extent of shower area



waterstop shown in red

enclosed shower flush entry

reinforcement to WC and shower walls as per details



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LAND USE PLANNING

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**ENS TO BED 1
SCALE 1:50**

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "40.66m/s", WIND REGION "A4", TERRAIN CATEGORY "2.74", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: Nathan Burton
Site Address: 135 Stubbs Road, Turners Beach TAS 7315

Main Building: Span: 10, Length: 20, Height: 4, Roof Pitch: 11 degrees
The length being comprised of 4 bays, the largest bay is 5m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 5217.24kg

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.


GENERAL

The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.

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INTERNAL PORTALS
Column: C25019
Rafter: C25019
Knee Brace: C15024
Knee Brace Length: 2500
Apex Brace: NA
Apex Brace Length: NA

END PORTALS
Column: C25019
Rafter: C25019
Knee Brace: NA
Knee Brace Length: NA
Apex Brace: NA
Apex Brace Length: NA
Endwall Mullion: C25019

LEFT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

RIGHT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

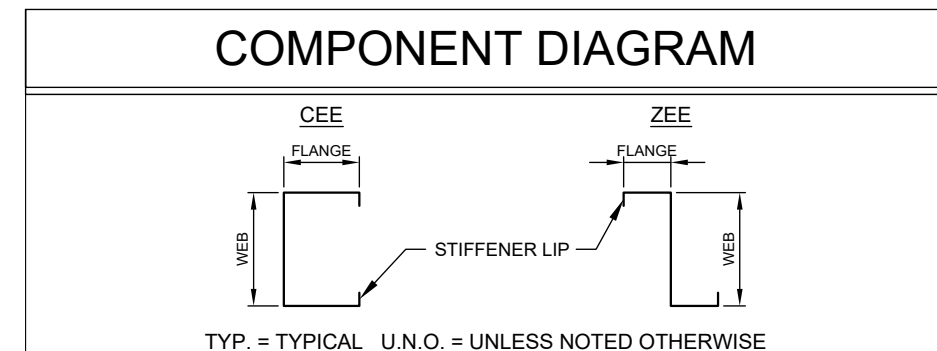
NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

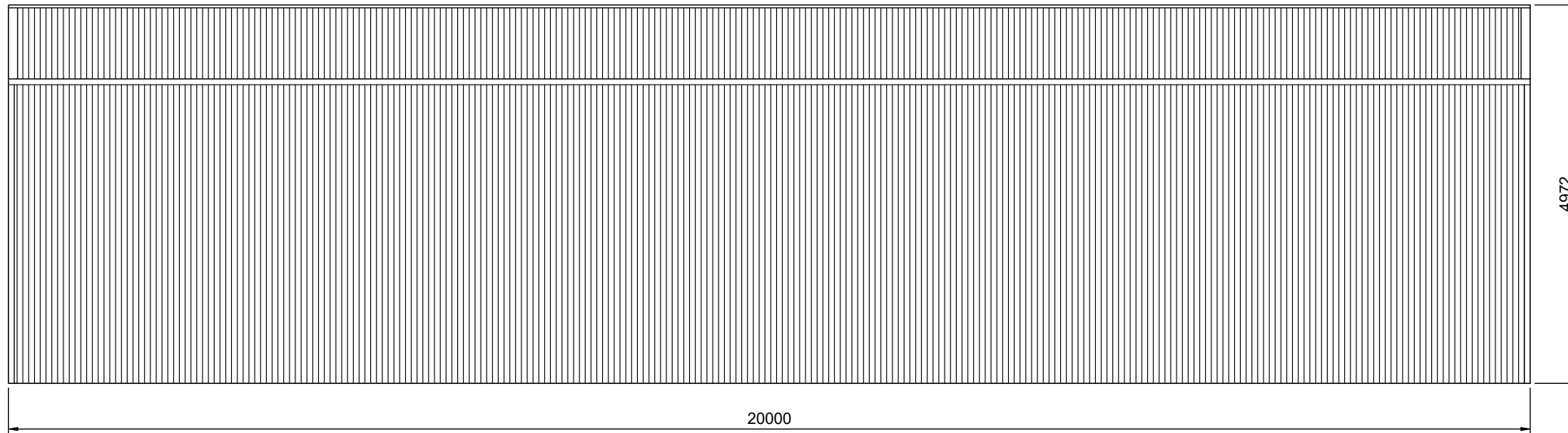
PURLINS AND GIRTS		
Eave Purlin: TH120100	Max Spacing: 1250	Overlap: 10%
Side Wall Girts: TH120100	Max Spacing: 1250	Overlap: 10%
Front End Wall Girts: TH120100	Max Spacing: 1250	Overlap: 10%
Back End Wall Girts: TH120100	Max Spacing: 1250	Overlap: 10%
Roof Purlins: TH120100	Max Spacing: 1250	Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor
Frame Bolts: M16x45 Purlin Assembly Zinc (Mild)
Frame Screws: Frame Screw 14x14x22
Cross Bracing Strap: 32mm x 1.2 strap
Open Bay Header Height: NA

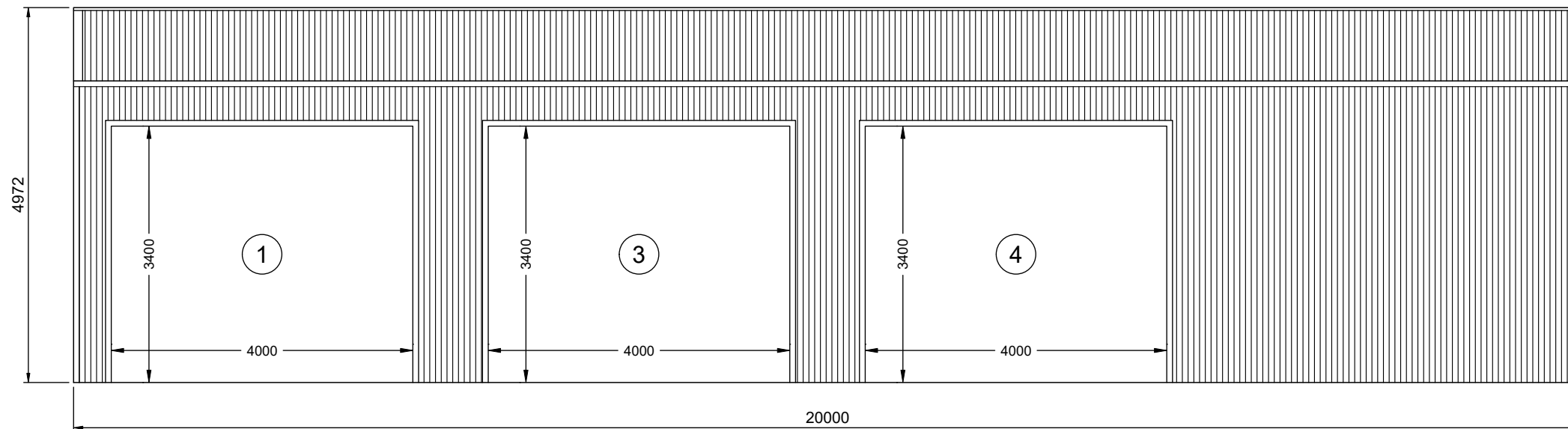
COLOUR SCHEDULE
Roof Sheets: Slate Grey
External Wall Sheets: Slate Grey
Roller Doors: Slate Grey
Flashings: Slate Grey
PA Doors: Slate Grey
Windows: NA





2 LEFT ELEVATION

SCALE: 1:75



1 RIGHT ELEVATION

SCALE: 1:75

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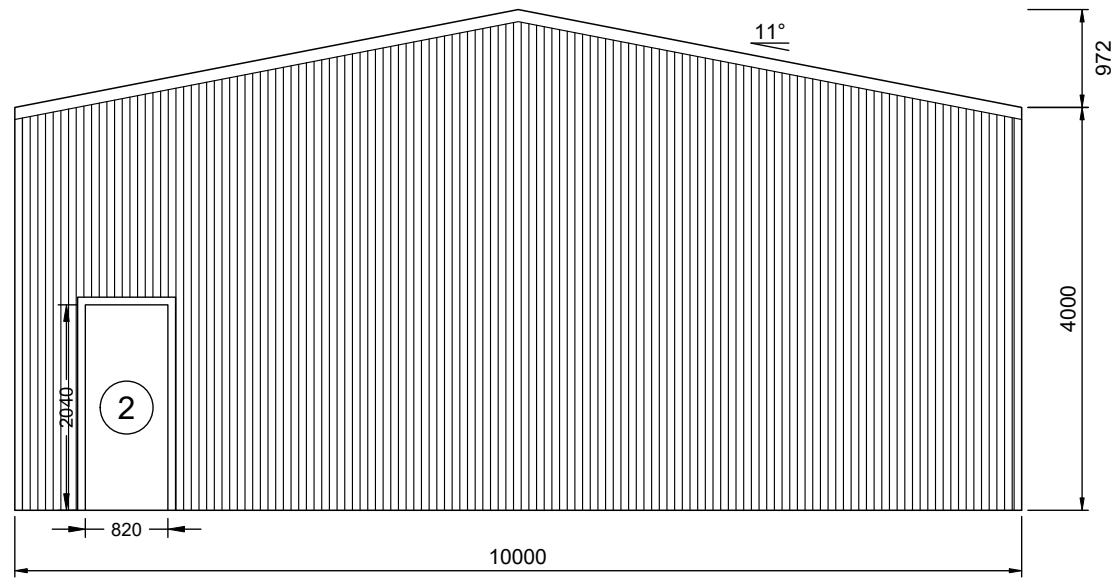
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 RPEQ 15562 TBP PE003976 (VIC)

Signature:  Date: 28.02.2025

Customer Name: Nathan Burton
 Site Address: 135 Stubbs Road
 Turners Beach,
 TAS, 7315

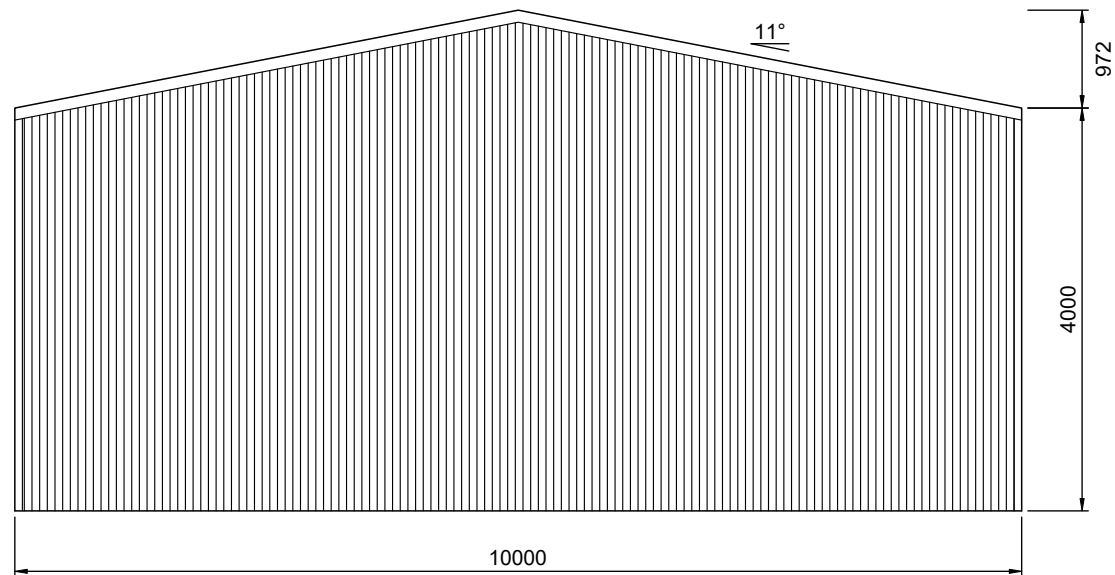
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1 REAR ELEVATION
3

SCALE: 1:75

FRAME #5



2 FRONT ELEVATION
3

SCALE: 1:75

FRAME #1

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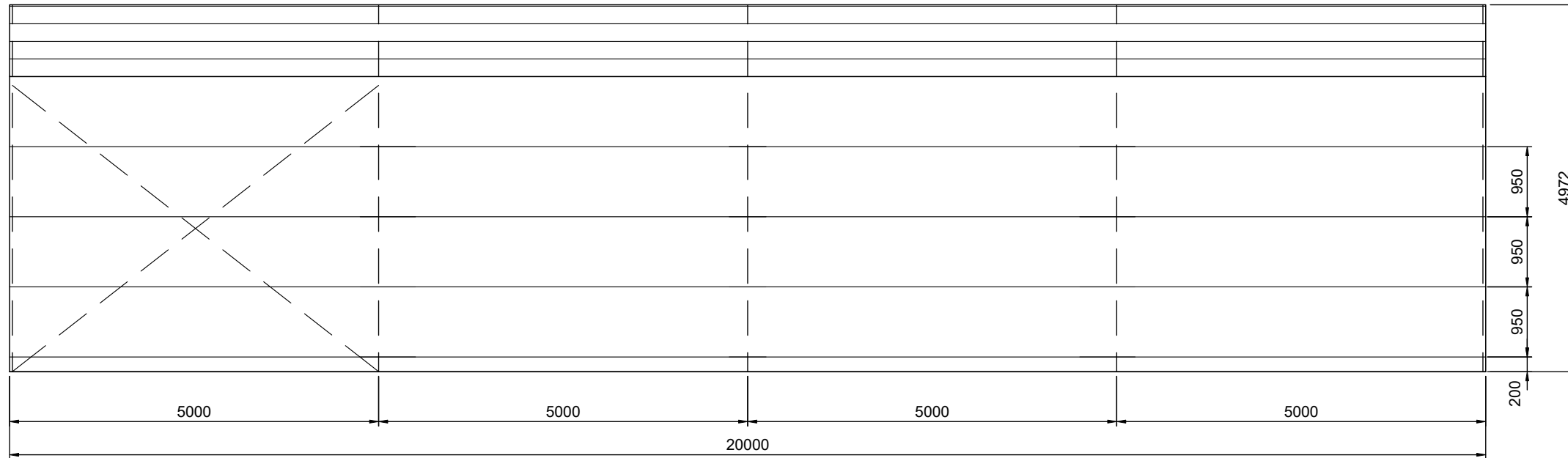
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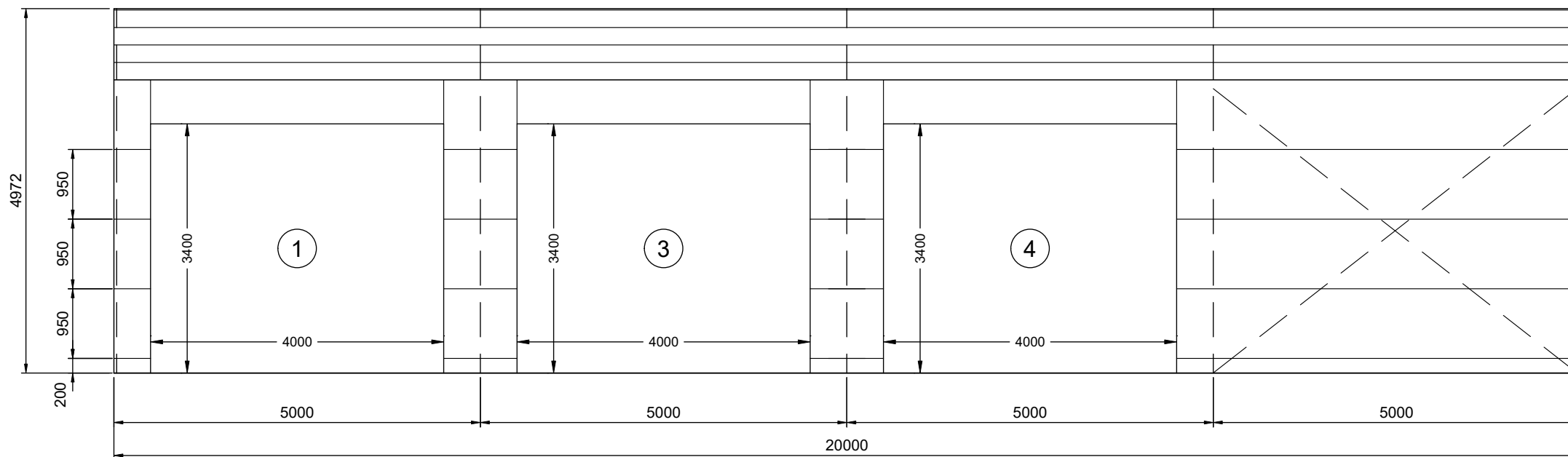
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2 LEFT ELEVATION
4 SCALE: 1:75



1 RIGHT ELEVATION
4 SCALE: 1:75

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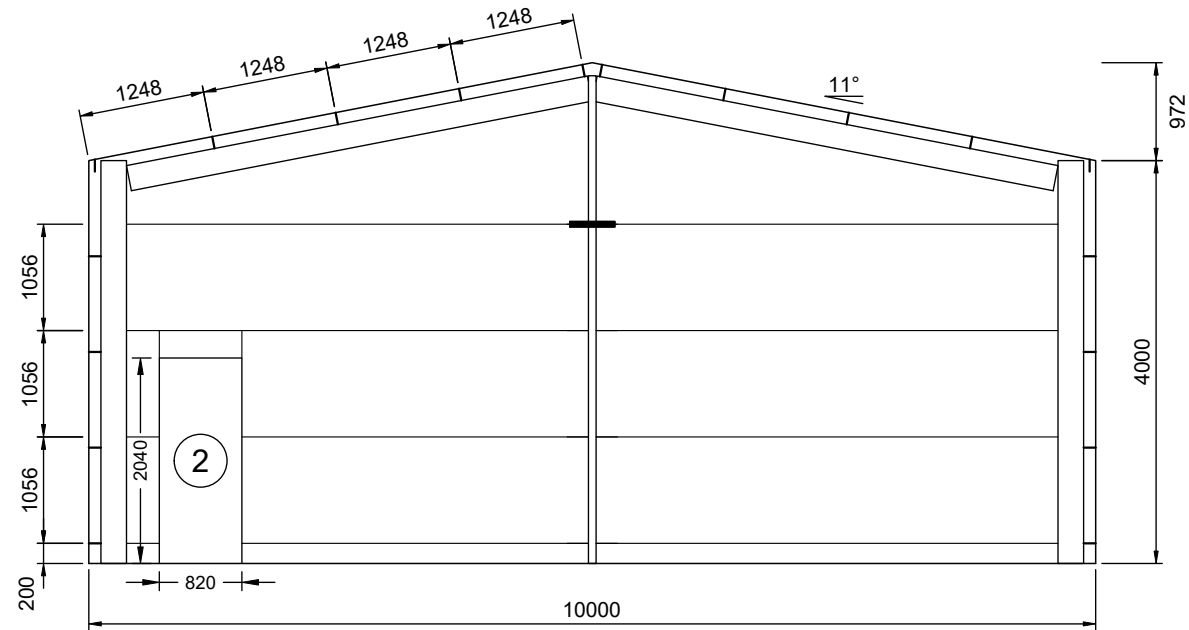


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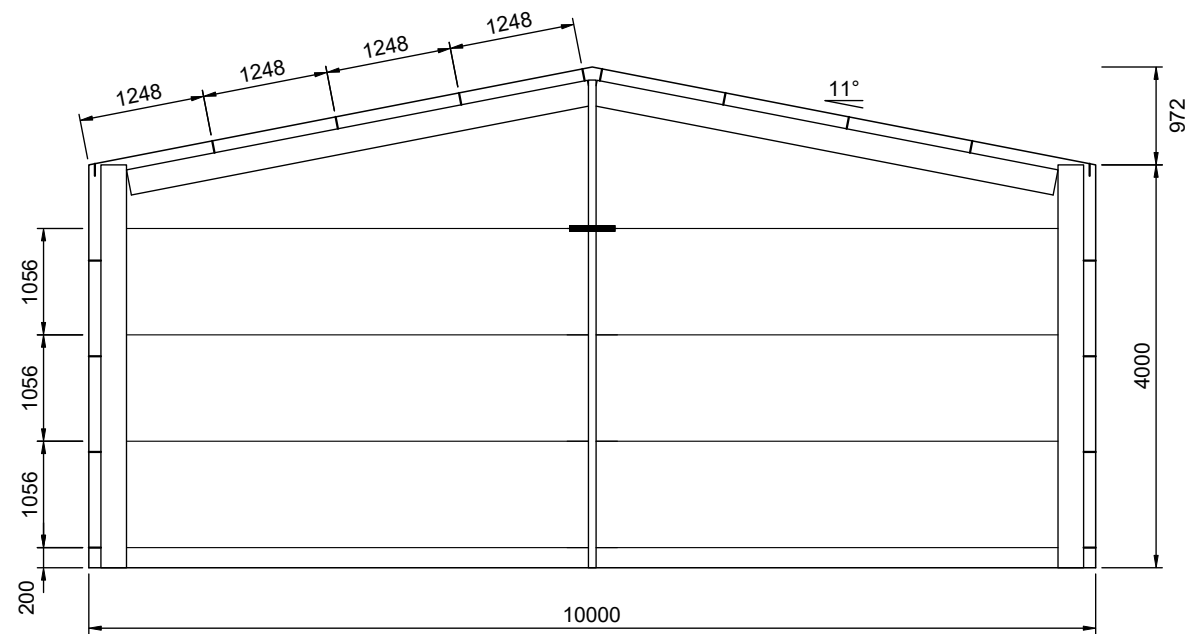
Signature:  Date: 28.02.2025

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1 REAR ELEVATION
5 SCALE: 1:75 FRAME #5



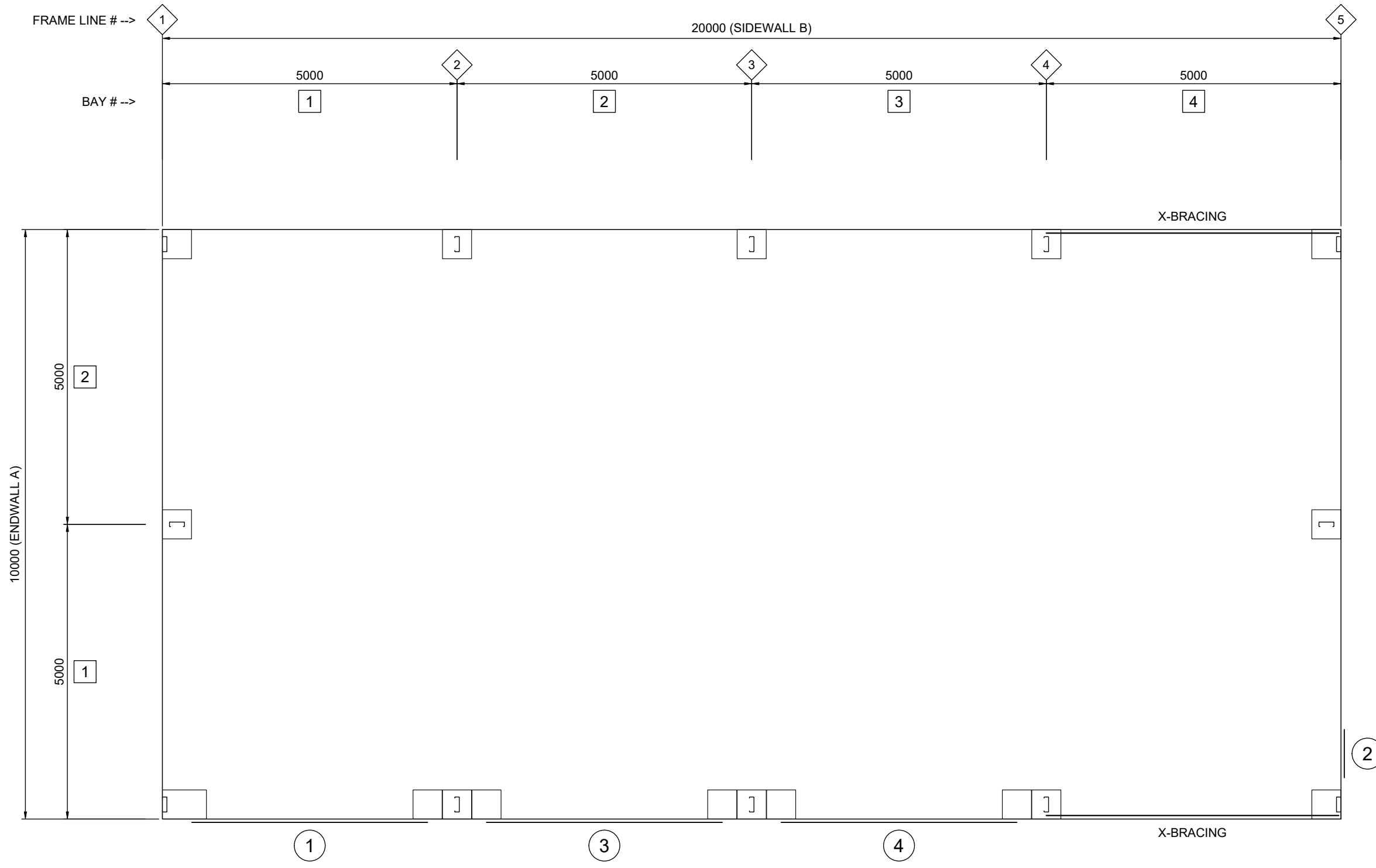
2 FRONT ELEVATION
5 SCALE: 1:75 FRAME #1

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1 FLOOR PLAN
6 SCALE: 1:75

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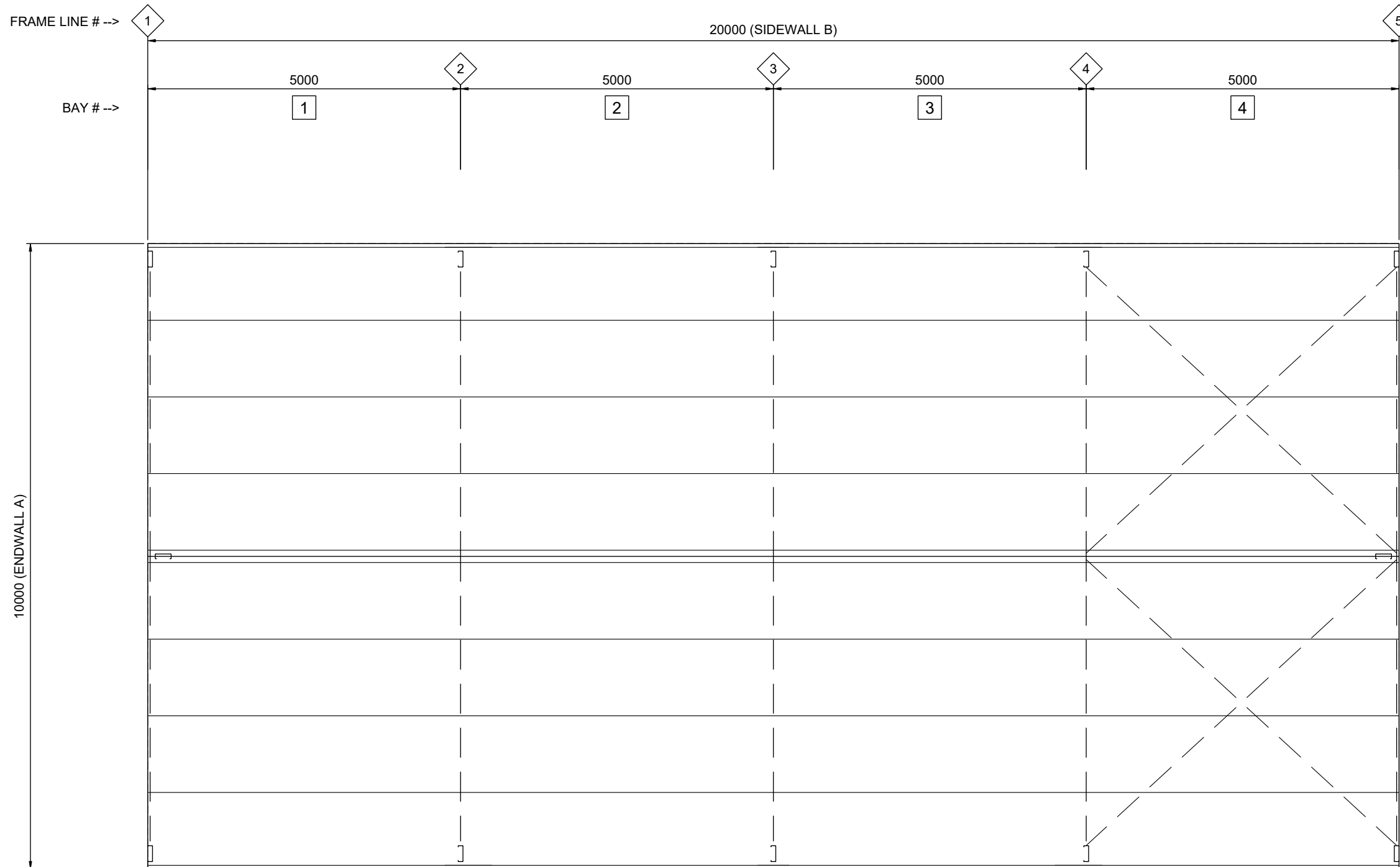
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1 ROOF FRAMING PLAN
7 SCALE: 1:75

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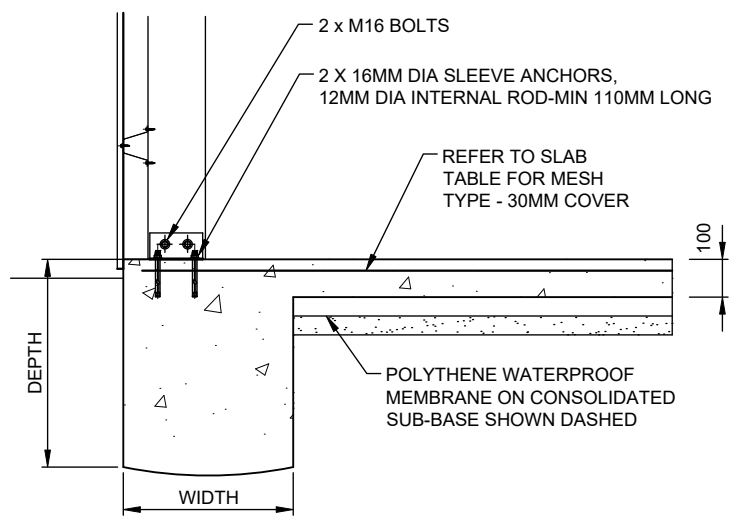
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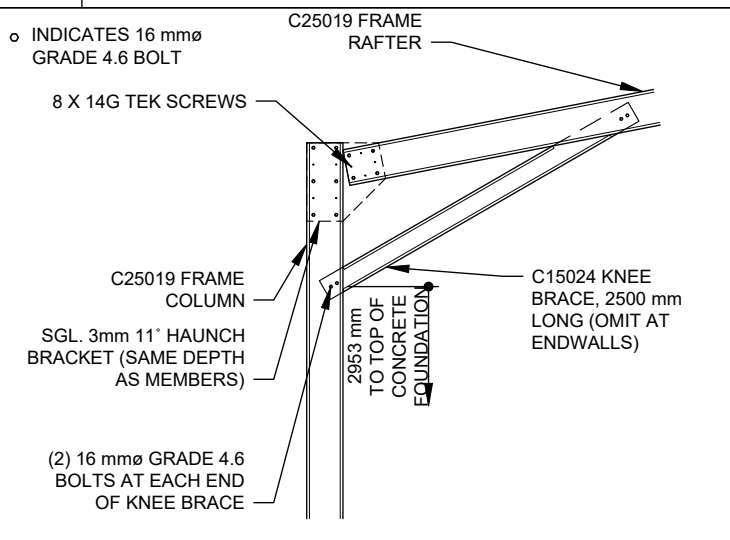
SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL (100mm MINIMUM CONCRETE SLAB INCLUDED)					
SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	Ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450Ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

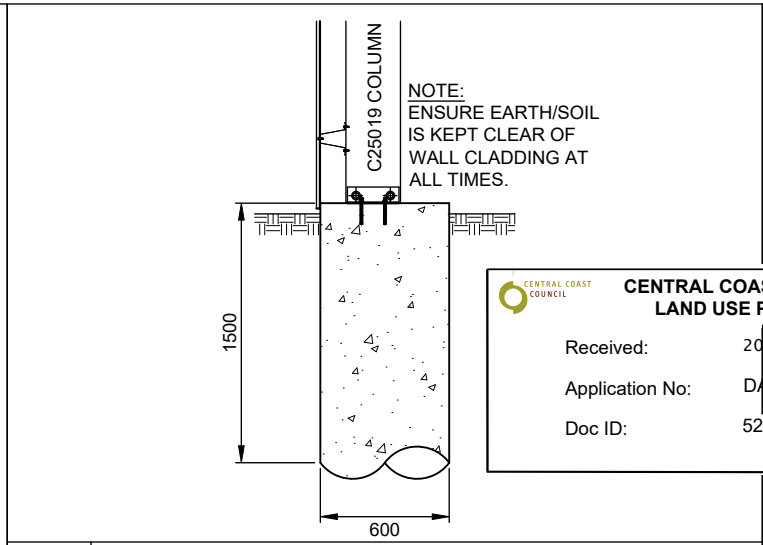
STRENGTH: 25mPa



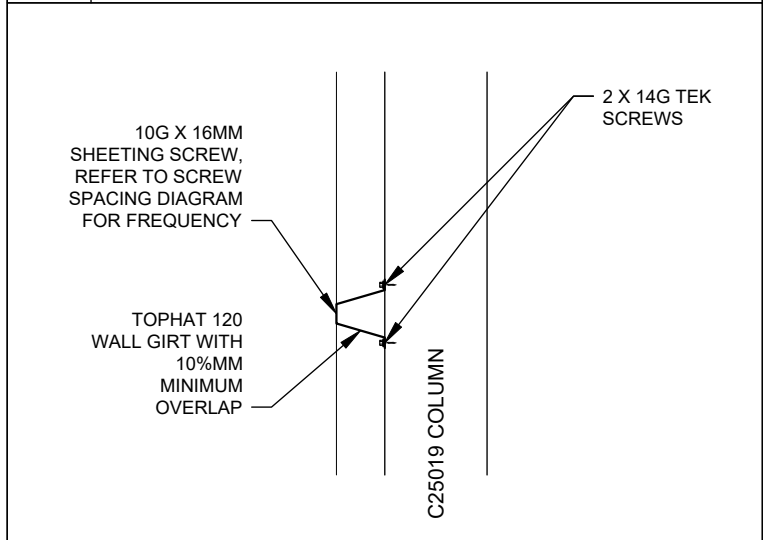
Y SLAB DETAIL



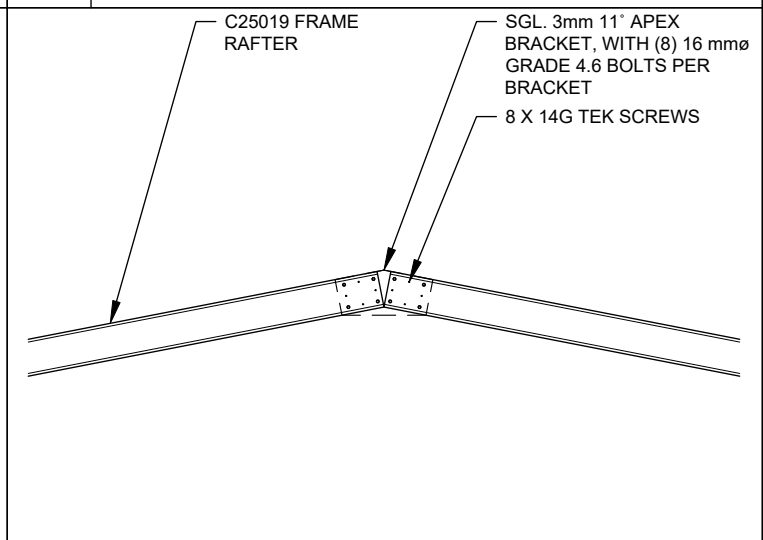
A HAUNCH CONNECTION



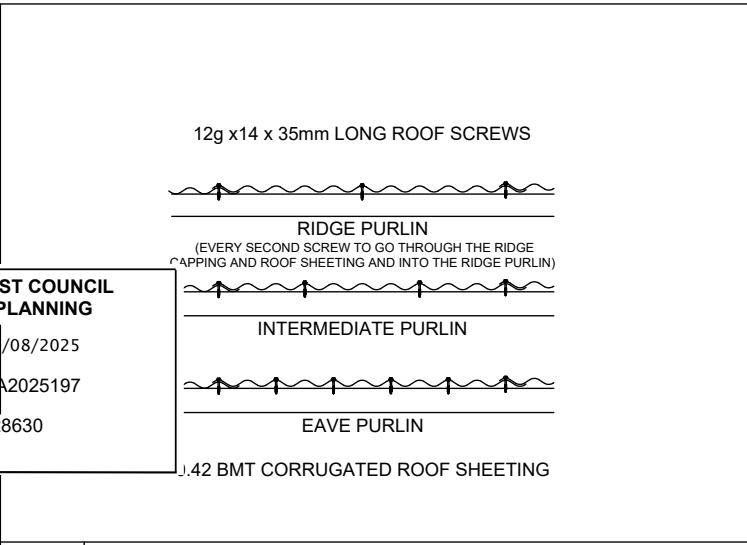
Z ALTERNATE PIER DETAIL



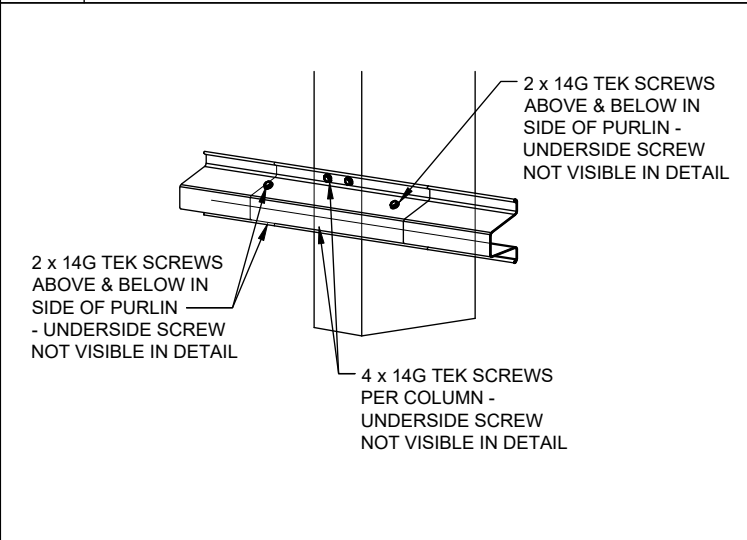
F GIRT CONNECTION



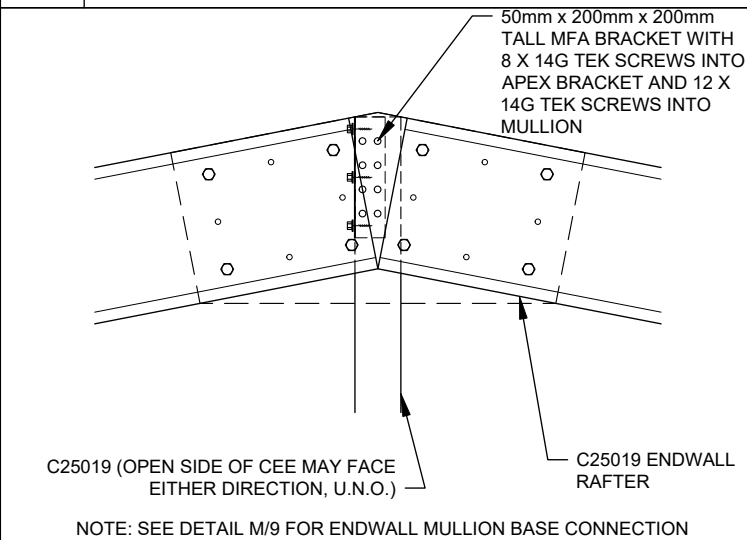
B APEX CONNECTION



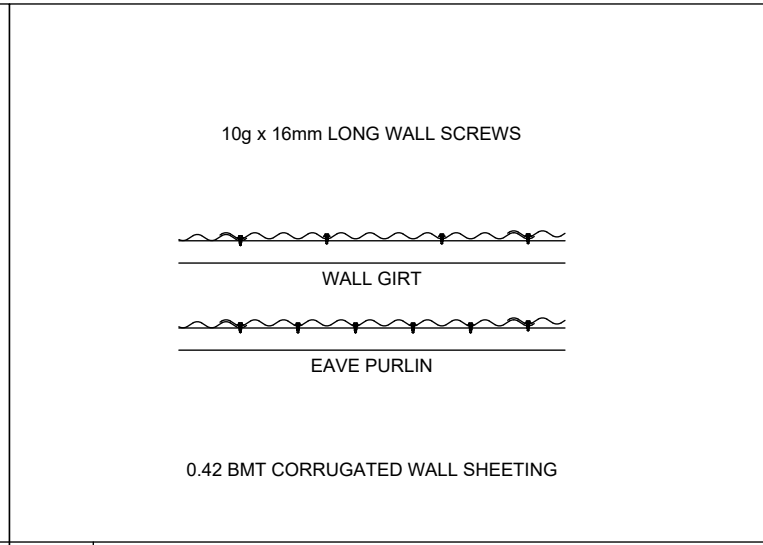
I ROOF SHEETING



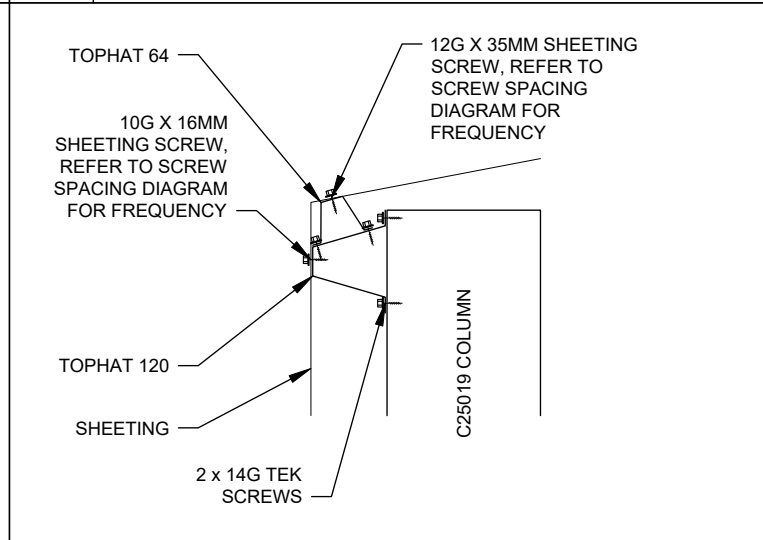
G TOP HAT CONNECTION



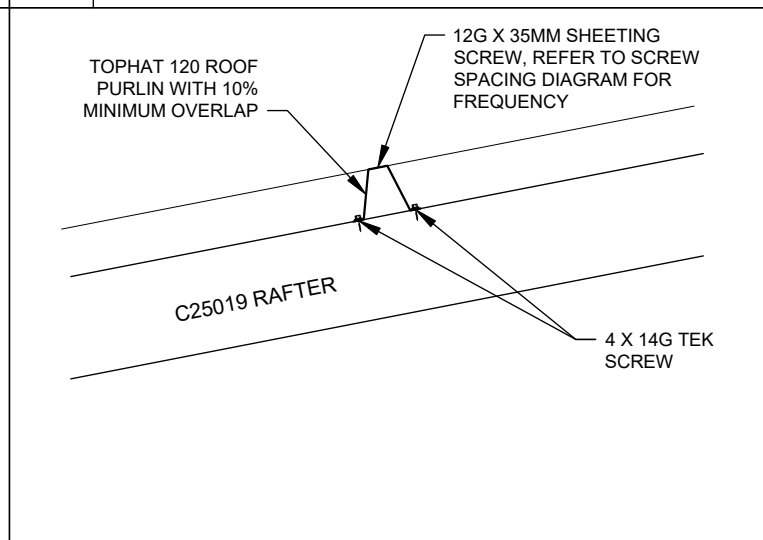
C ENDWALL MULLION TO RAFTER PEAK CONDITION



J WALL SHEETING



H EAVE CONNECTION



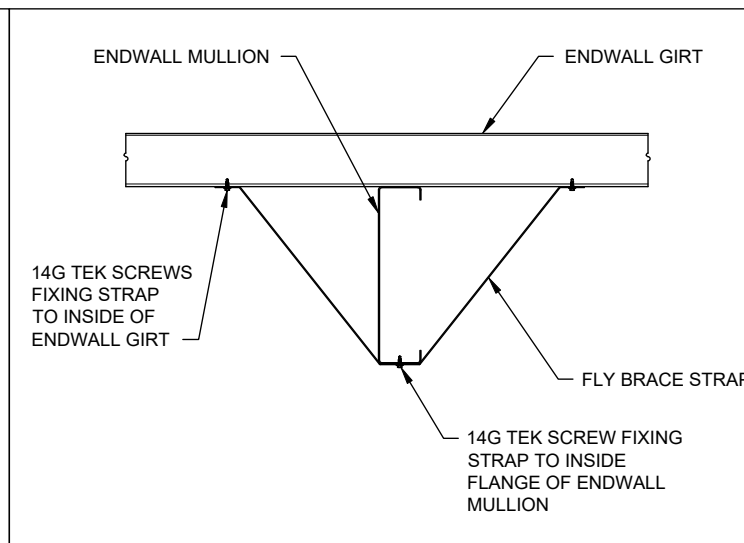
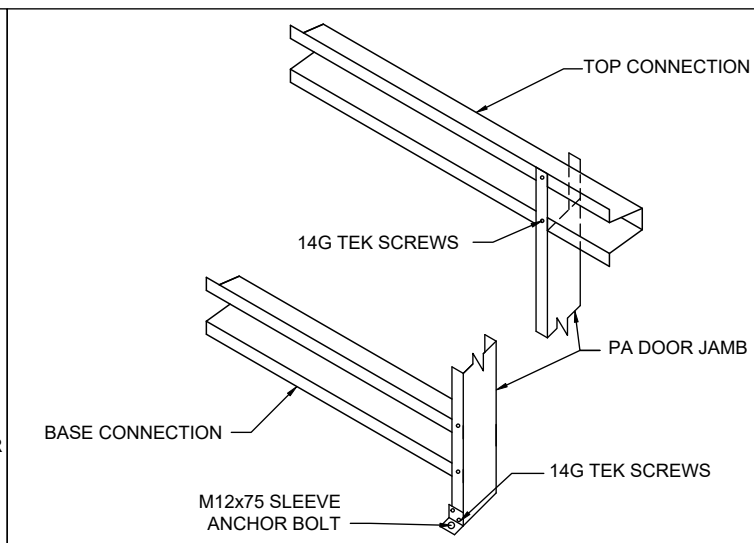
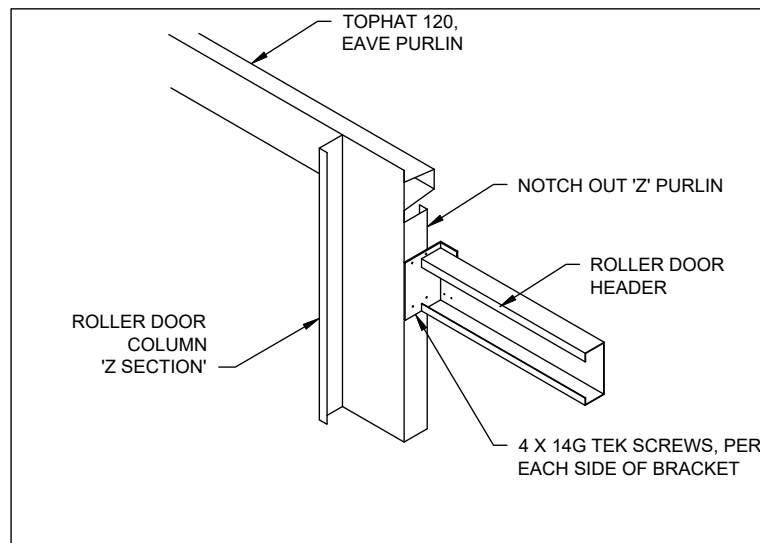
E PURLIN CONNECTION

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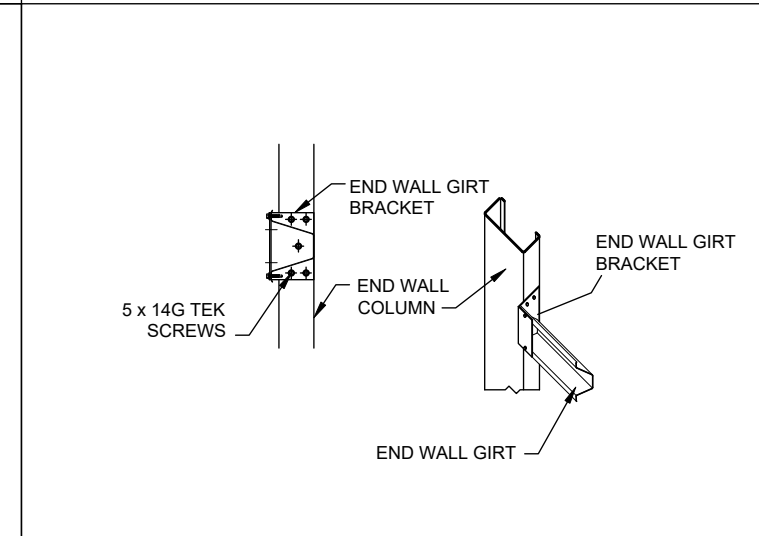
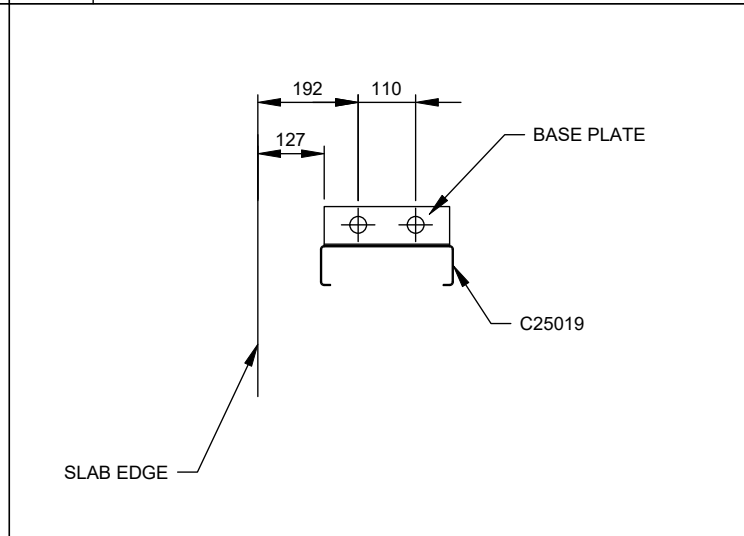
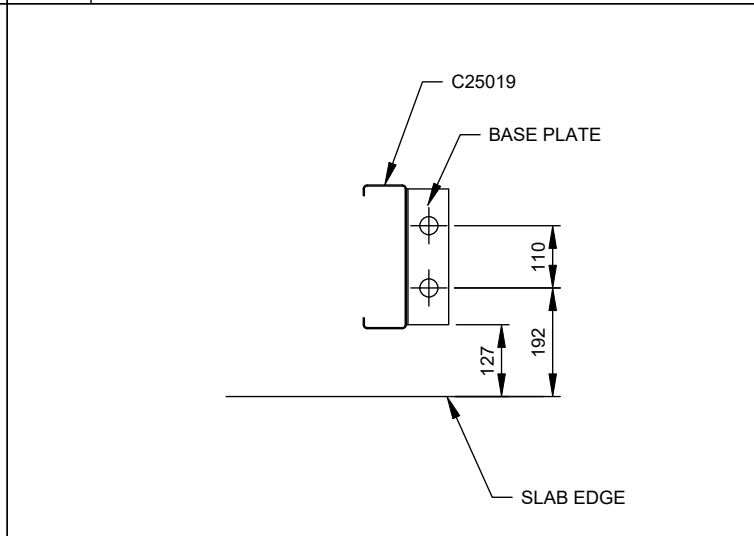
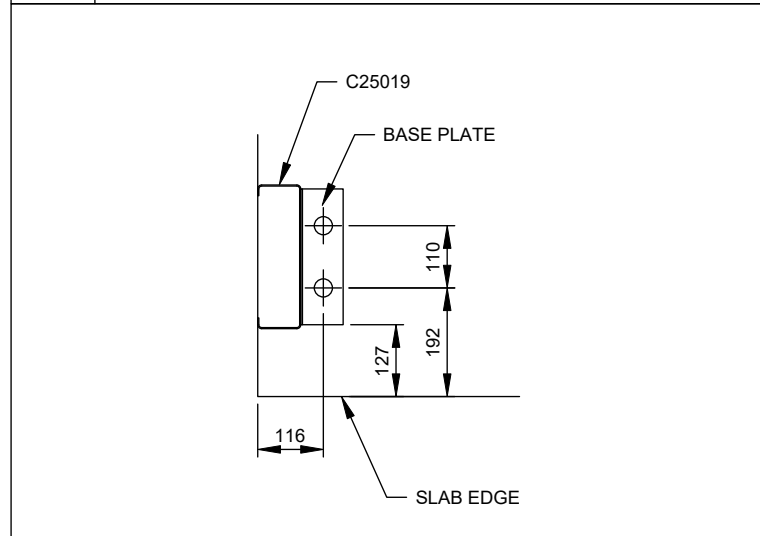


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O TH120 SIDE ROLLER DOOR DETAIL

P PA DOOR STYLE CONNECTION

Q FLYBRACE

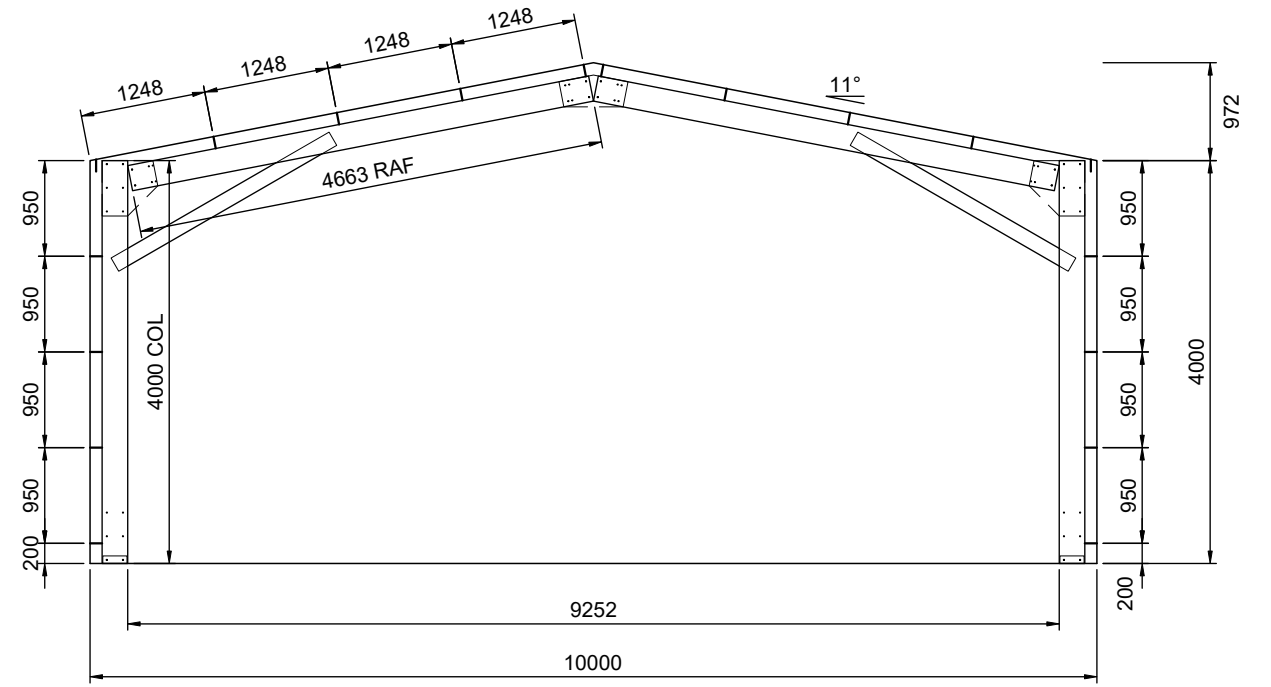


K CORNER COLUMN BASE

L INTERNAL COLUMN BASE

M ENDWALL MULLION BASE

N ENDWALL GIRT BRACKET



1 TYP. FRAME CROSS-SECTION
10 SCALE: 1:75

FRAMES 2-4

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