
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025276**

Location: **12 Seaside Crescent, Penguin**

Proposal: **Residential - single dwelling**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before **10 December 2025**


Date of Notification: **26 November 2025**

Vicki Brereton
CHIEF EXECUTIVE OFFICER

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

 **CENTRAL COAST COUNCIL**
LAND USE PLANNING
Received: 11/11/2025
Application No: DA2025276
Doc ID: 537334

Office use only: *Zone:* *Permit Pathway – NPR/Permitted/Discretionary*

Use or Development Site:

Site Address

Certificate of Title Reference

Land Area **Heritage Listed Property** NO YES

Applicant(s)

First Name(s) **Surname(s)**

Company name (if applicable) **Contact No:**

Postal Address:

Email address:

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s) **Middle Names(s)**

Surname(s) **Company name** (if applicable)

Postal Address:

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Development of a single dwelling with carport

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ 680,500.00 Estimate/ Actual

Total floor area of the developmentm²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I Ellie Blake , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant *egblake*

Date 11/11/2025

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
 responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

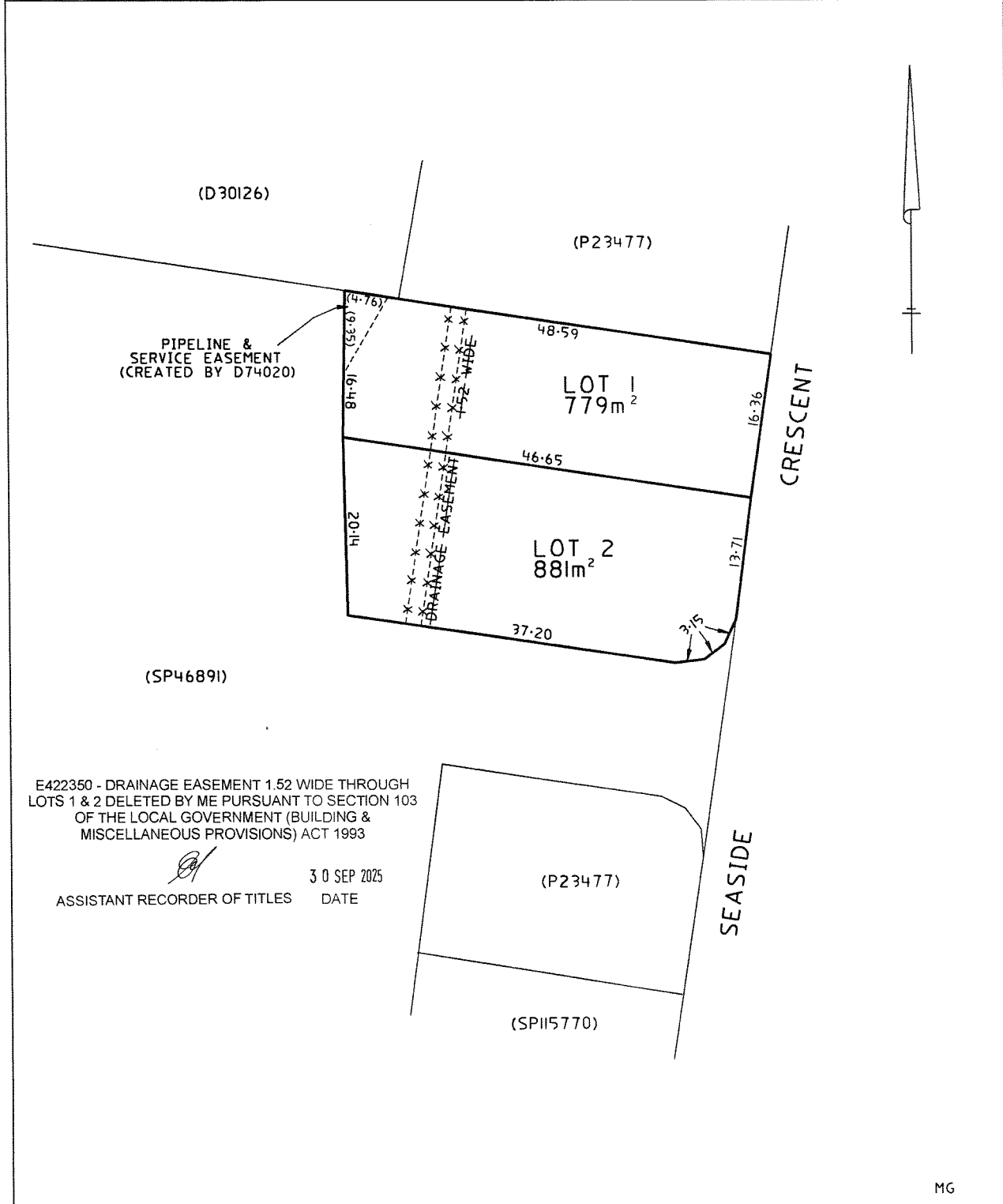
Applicants Declaration

I/ we Ellie Blake
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s egblake Date 11/11/2025

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

OWNER		PLAN OF TITLE		Registered Number
FOLIO REFERENCE CT: 46891/23 CT: 46891/24		LOCATION TOWN OF PENGUIN		P.170035
GRANTEE PART OF LOT 2524 (1100A-OR-OP) GTD. TO JAMES HALES.		FIRST SURVEY PLAN No. 6/28 LO COMPILED BY LTO SCALE 1: 400 LENGTHS IN METRES		APPROVED 20 AUG 2015 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 104 (4244)	LAST UPI No	LAST PLAN No. SP46891	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



SEARCH OF TORRENS TITLE

VOLUME 170035	FOLIO 1
EDITION 2	DATE OF ISSUE 30-Sep-2025

SEARCH DATE : 31-Oct-2025

SEARCH TIME : 01.04 PM



DESCRIPTION OF LAND

Town of PENGUIN
 Lot 1 on Plan 170035
 (Formerly Lots 1 and 21 on Sealed Plan No. 46891)
 Derivation : Part of Lot 2524 Gtd. to J. Hales
 Prior CT 46891/24

SCHEDULE 1

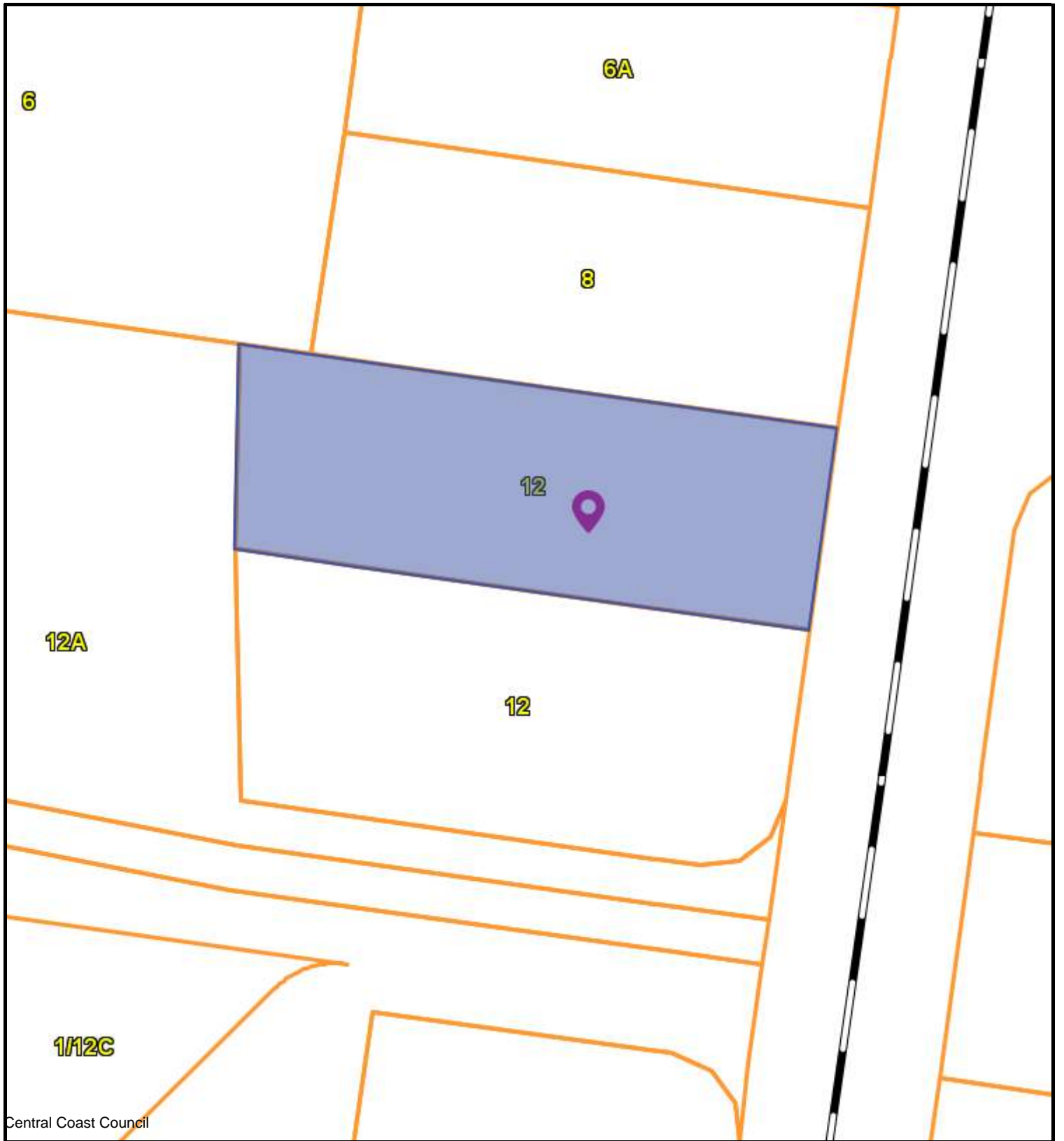
B463894 TRANSFER to CRAIG ALFRED DUNHAM and KAREN ELIZABETH DUNHAM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 29/3791 CONVEYANCE Made Subject to Boundary Fences Condition
 D74020 BURDENING EASEMENT: a pipeline & services easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline & Services Easement on Plan 170035 Registered 16-Sep-2015 at noon

UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended easements pursuant to Request to Amend No. E422350 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. 46891 Lodged by MCGRATH & CO. on 12-Sep-2025 BP: E422350



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



25-Nov-2025

**12 SEASIDE CRESCENT,
 PENGUIN
 DA2025276**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.
 © Central Coast Council 2025.

10 m

Scale =
1:427.140



CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/11/2025

Application No: DA2025276

Doc ID: 537338



November 2025

PLANNING REPORT

DEVELOPMENT OF A SINGLE DWELLING

12 Seaside Crescent PENGUIN



Prepared by
Woolcott Land Services Pty Ltd
ABN 63 677 435 924

© Woolcott Land Services Pty Ltd

The information contained in this document produced by Woolcott Land Services Pty Ltd is solely for the use of the Client for the purpose for which it has been commissioned and prepared and Woolcott Land Services Pty Ltd undertakes no duty to or accepts any responsibility to any third party who may rely upon this document.

All rights reserved pursuant to the Copyright Act 1968. No material may be copied or reproduced without prior authorisation.

Launceston

[Head office](#)

P 03 6332 3760
E enquiries@woolcott.au
A 10 Goodman Court Invermay
7250

St Helens

[East Coast office](#)

P 03 6376 1972
E admin@ecosurv.com.au
A 52 Cecilia Street St Helens
7216

www.woolcott.au

Job Number: L251101
Prepared by: Michelle Schleiger (michelle@woolcott.au)
BUrbRegEnvPlan
Town Planner

Rev.no	Description	Date
1	Review	
2	Draft	5 November 2025
3	Final	11 November 2025
4		

Annexures

Annexure 1 Copy of Title plan and Folio text

Annexure 2 Proposal Plan

Contents

1.	Introduction	5
2.	Subject site and proposal	5
2.1	Site details	5
2.2	Proposal	6
2.3	Subject site	6
3.	Zoning and overlays	7
3.1	Zoning.....	7
3.2	Overlays	7
4.	Planning Scheme Assessment	8
4.1	Zone assessment	8
4.2	Code Assessment	15
3.	Conclusion	16

1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Development - development of a single dwelling with carport

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus / Tasbuilt Homes

2. Subject site and proposal

2.1 Site details

Address	12 Seaside Crescent, Penguin TAS 7316
Property ID	6760537
Title	170035/1
Land area	779m ²
Planning Authority	Central Coast Council
Planning Scheme	Tasmanian Planning Scheme - Central Coast (Scheme)
Easements	Pipeline and services easement on folio plan
Application status	Discretionary application
Existing Access	None existing
Zone	General Residential
General Overlay	None
Overlays	Medium landslip hazard band
Existing development	Vacant (visible outbuilding removed)
Existing services and infrastructure	
Water	Serviced

Sewer	Serviced
Stormwater	Serviced

2.2 Proposal

The proposal is for the development of a single dwelling on the lot with a car port.

The dwelling will be single storey, it will have three bedrooms with two bathrooms, kitchen, living area and laundry. The dwelling will have a west facing deck accessible from the dwelling. A single car port will be attached to the south elevation and the proposal includes a sealed vehicle access. A new vehicle crossing from Seaside Crescent is proposed.

The dwelling will have a floor area of 138.11m².

Earthworks will be included to the development to level areas of the lot and a retaining wall.

2.3 Subject site

The site is a single lot of 779m² accessed from the west side of the cul-de-sac of Seaside Crescent. The site is vacant and is sloped downwards to the north at a ratio of around 1:5.5 over the frontage.



Figure 1 Aerial view of the subject site (Source: LIST)

3. Zoning and overlays

3.1 Zoning

The site is zoned General Residential under the Scheme.



Figure 2 Zoning of the subject site and surrounding area (Source: LIST)

3.2 Overlays

The site is affected by the Medium landslip hazard band.



Figure 3 Showing overlays applied to the area (Source: LIST)

4. Planning Scheme Assessment

4.1 Zone assessment

8.0 General Residential Zone

8.1 Zone Purpose

8.1.1	To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.
8.1.2	To provide for the efficient utilisation of available social, transport and other service infrastructure.
8.1.3	To provide for non-residential use that: <ul style="list-style-type: none">a. primarily serves the local community; andb. does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.
8.1.4	To provide for Visitor Accommodation that is compatible with residential character.

Response

The proposed residential use and development is in accord with the purpose of the zone.

8.2 Use Table

No Permit Required	
Residential	If for a single dwelling.

Response

The proposed Use is a *No Permit Required Use*.

8.4 Development Standards for Dwellings

8.4.2 Setbacks and building envelope for all dwellings

Objective	
The siting and scale of dwellings:	
<ul style="list-style-type: none">a. provides reasonably consistent separation between dwellings and their frontage within a street;b. provides consistency in the apparent scale, bulk, massing and proportion of dwellings;c. provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; andd. provides reasonable access to sunlight for existing solar energy installations.	
Acceptable Solutions	Performance Criteria

<p>A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level. 	<p>P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p>
--	---

Response

A1 The acceptable solution is achieved. The dwelling is set back more than 4.5m from the frontage.

<p>A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <ul style="list-style-type: none"> a) 5.5m, or alternatively 1m behind the building line; b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage. 	<p>P2 A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p>
---	--

Response

A2 The acceptable solution is achieved; the car port is set behind the building line and more than 5.5m from the frontage.

<p>A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building</p>	<p>P3 The siting and scale of a dwelling must:</p> <ul style="list-style-type: none"> a) not cause an unreasonable loss of amenity to adjoining properties,
---	--

<p>envelope, must:</p> <p>a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:</p> <ul style="list-style-type: none"> i. a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and ii. projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and <p>b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:</p> <ul style="list-style-type: none"> i. does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or ii. (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser). 	<p>having regard to:</p> <ul style="list-style-type: none"> i. reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; ii. overshadowing the private open space of a dwelling on an adjoining property; iii. overshadowing of an adjoining vacant property; and iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; <p>b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</p> <p>c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</p> <ul style="list-style-type: none"> i. an adjoining property; or ii. another dwelling on the same site.
---	---

Response

P3 The performance criteria are addressed.

- a. The dwelling has sufficient setbacks to the south side boundary, the carport (which is within the building envelope) is minimum 1.6m from the boundary. The encroachment is to the north boundary where the building compensates for the slope of the land. There will be no reduction in sunlight to the north side adjoining dwelling or private open space. The visual impacts will be negligible and anticipated within the local area, due to the slope of the street and the building is not unreasonable in scale or bulk.
- b. The setback to the north boundary is compliant and allows visual separation between buildings.
- c. No overshadowing to a roof is anticipated due to the topography of the site and adjoining lots.

8.4.3 Site coverage and private open space for all dwellings

Objective
<p>That dwellings are compatible with the amenity and character of the area and provide:</p> <ul style="list-style-type: none"> a. for outdoor recreation and the operational needs of the residents; b. opportunities for the planting of gardens and landscaping; and c. private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria
<p>A1 Dwellings must have:</p> <ul style="list-style-type: none"> a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer). 	<p>P1 Dwellings must have:</p> <ul style="list-style-type: none"> a) site coverage consistent with that existing on established properties in the area; b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate: <ul style="list-style-type: none"> i. outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and ii. operational needs, such as clothes drying and storage; and c) reasonable space for the planting of gardens and landscaping.

Response

A1 The acceptable solution is achieved. The site coverage is approximately 20 percent including the carport.

<p>A2 A dwelling must have private open space that:</p> <ul style="list-style-type: none"> a) is in one location and is not less than: <ul style="list-style-type: none"> i. 24m²; or ii. 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); b) has a minimum horizontal dimension of not less than: <ul style="list-style-type: none"> i. 4m; or ii. 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and d) has a gradient not steeper than 1 in 10. 	<p>P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:</p> <ul style="list-style-type: none"> a) conveniently located in relation to a living area of the dwelling; and b) orientated to take advantage of sunlight
--	--

Response

- P2 The performance criteria are addressed. The lot has ample open space but the gradient is steeper than 1:10 in parts.
- a. The dwelling has a decked space included that is accessible from the main living area.
 - b. The deck is able to receive northern light.

8.4.5 Width of openings for garages and carports for all dwellings

Objective	
To reduce the potential for garage or carport openings to dominate the primary frontage.	
Acceptable Solutions	Performance Criteria
A1 A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	P1 A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.

Response

- A1 The acceptable solution is achieved.

8.4.6 Privacy for all dwellings

Objective	
To provide a reasonable opportunity for privacy for dwellings.	
Acceptable Solutions	Performance Criteria
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: <ol style="list-style-type: none"> a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary; b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: <ol style="list-style-type: none"> i. from a window or glazed door, to a habitable room of the other 	P1 A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of: <ol style="list-style-type: none"> a) a dwelling on an adjoining property or its private open space; or b) another dwelling on the same site or its private open space.

dwelling on the same site; or	
ii. from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.	

Response

P1 The performance criteria are addressed. The rear deck provides an entry landing to the living area and is 1.9m from the north boundary. The rear deck will provide a level of overlooking to the northern property where there are several buildings (garden shed, car port and possible secondary dwelling).

The deck is not large, being 2.4m x 4m and while it may be used for short occasions of outdoor leisure, it is primarily for the purpose of entrance to the dwelling living space. As such, by virtue of size and dimension, designed to minimise overlooking to private open space.

<p>A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>a) the window or glazed door:</p> <ul style="list-style-type: none"> i. is to have a setback of not less than 3m from a side boundary; ii. is to have a setback of not less than 4m from a rear boundary; iii. if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and iv. if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. <p>b) the window or glazed door:</p> <ul style="list-style-type: none"> i. is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; ii. is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or iii. is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%. 	<p>P2 A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <ul style="list-style-type: none"> a) a window or glazed door, to a habitable room of another dwelling; and b) the private open space of another dwelling.
---	--

Response

P2 The performance criteria are addressed. The living area windows will afford overlooking to the northern property and cannot meet the setback requirements. Direct views to a neighbouring window are not provided due to the offset to the kitchen window of the neighbouring dwelling. The windows allow minor overlooking to yard space at the rear of the (secondary dwelling) rear building. North facing windows for a living area, for sunlight to the main living space, is a typical need for a home. Given the topography of the land, and the proposed dwelling being between two established dwellings, this minimal level of overlooking is expected.

<p>A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <ul style="list-style-type: none"> a) 2.5m; or b) 1m if: <ul style="list-style-type: none"> i. it is separated by a screen of not less than 1.7m in height; or ii. the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level. 	<p>P3 A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling</p>
--	---

Response

Not applicable.

8.4.7 Frontage fences for all dwellings

Objective	
<p>The height and transparency of frontage fences:</p> <ul style="list-style-type: none"> a. provides adequate privacy and security for residents; b. allows the potential for mutual passive surveillance between the road and the dwelling; and c. is reasonably consistent with that on adjoining properties. 	
Acceptable Solutions	Performance Criteria
<p>A1 No Acceptable Solution.</p>	<p>P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:</p> <ul style="list-style-type: none"> a) provide for security and privacy while allowing for passive surveillance of the road; and b) be compatible with the height and transparency of fences in the street, having regard to: <ul style="list-style-type: none"> i. the topography of the site; and

	ii. traffic volumes on the adjoining road.
--	--

Response

No front fences are included in this proposal.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

Response

A1 The acceptable solution is achieved. Two spaces are provided.

C2.6 Development standards for buildings and works

C2.6.1 Construction of parking areas

Response

A1 The acceptable solution is achieved. The driveway will be sealed and made according to required standard. Please refer to the plans.

C2.6.2 Design and layout of parking areas

Response

A1 Please refer to plans.

C2.6.3 Number of accesses for vehicles

Response

A1 The acceptable solution is achieved. The site has an existing single access point (vehicle crossing).

C15.0 Landslip Hazard Code

C15.4 Use or Development Exempt from this Code

C15.4.1 The following use or development is exempt from this code:

- (d) development (including subdivision) on land:
 - (ii) within a medium landslip hazard band, if for:
 - a. building work or plumbing work as defined in the Building Act 2016 including significant works related to the building work and plumbing work;

Response

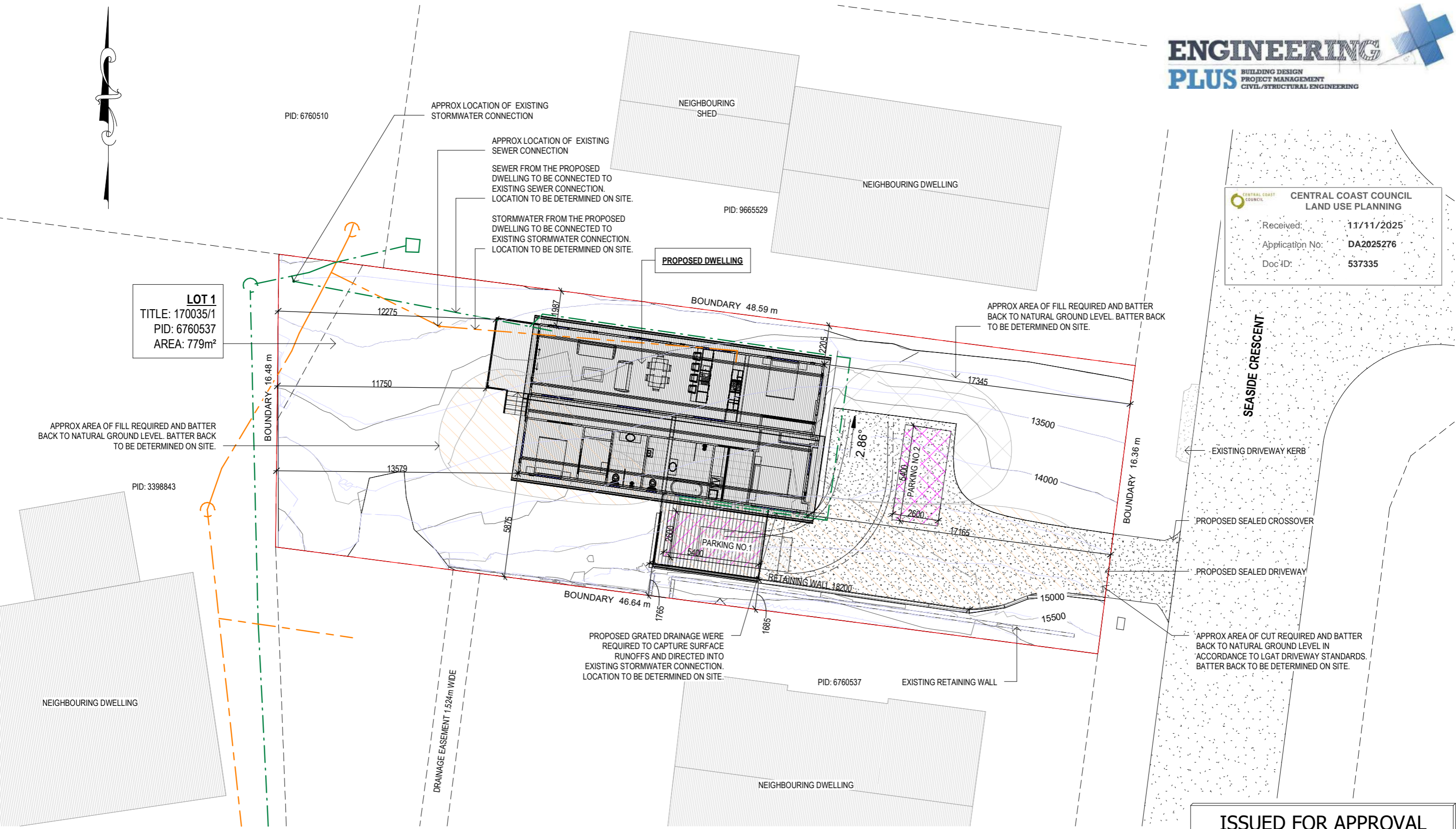
The application will require approval under the *Building Act 2016*.

3. Conclusion

This application is for the development of a single dwelling. The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.

CENTRAL COAST COUNCIL
 LAND USE PLANNING

Received: 11/11/2025
 Application No: DA2025276
 DocID: 537335



LOT 1
 TITLE: 170035/1
 PID: 6760537
 AREA: 779m²

SITE PLAN
 SCALE 1 : 200

NOTE:
 ENTIRETY OF PROPERTY IS WITHIN MEDIUM LANDSLIP AREA.

ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-273 A01 / A08
 Rev: D

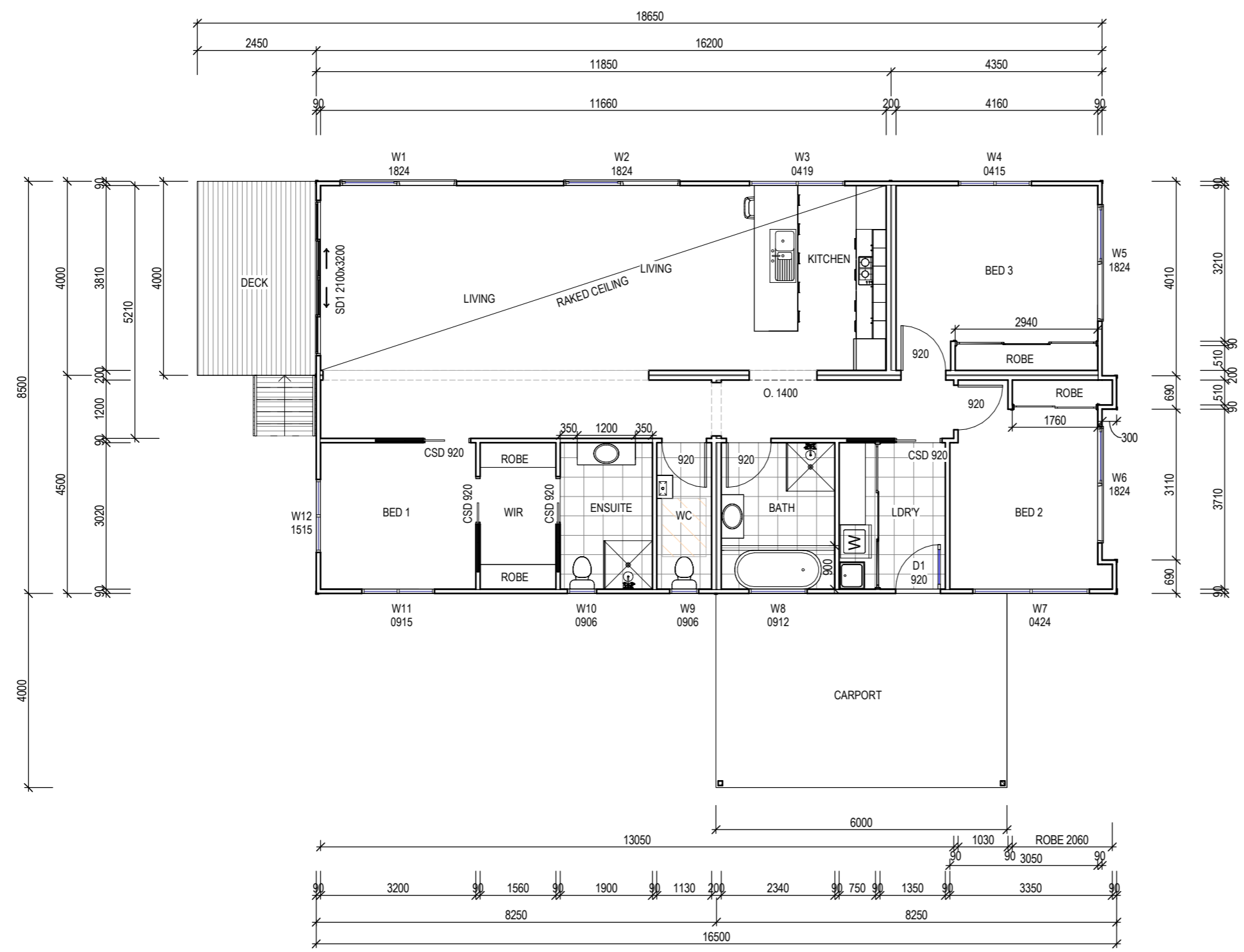
LEGEND	
	SEWER
	WATER
	STORMWATER

DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE:
 BUILDERS TO VERIFY ALL MEASUREMENTS, SERVICES AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS AND DISCREPANCIES FOUND ON SITE. ENGINEERING PLUS DO NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION.

Rev:	Amendment:	Date:	Int:
D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T

Date Drawn: 25.09.25
 Drawn: W. Tan
 Checked: C. Lim
 Approved: J. Pfeiffer
 Scale: As Shown @ A3



WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1800	2400	DG	4.3	.55
W2	1800	2400	DG	4.3	.55
W3	400	1960	DG	4.3	.55
W4	400	1500	DG	4.3	.55
W5	1800	2400	DG	4.3	.55
W6	1800	2400	DG	4.3	.55
W7	400	2400	DG	4.3	.55
W8	900	1200	DG	4.3	.55
W9	900	600	DG	4.3	.55
W10	900	600	DG	4.3	.55
W11	900	1500	DG	4.3	.55
W12	1500	1500	DG	4.3	.55
*W13	400	1800	DG	4.3	.55
*W14	400	1800	DG	4.3	.55
*W15	400	1800	DG	4.3	.55
SD1	2100	3200	DG	4.0	.61
D1	2100	920	DG	4.0	.61

*** NOTE:**
 REFER ELEVATIONS FOR HIGHLIGHT WINDOW

CONSTRUCTION PLAN
 SCALE 1:100

DISCLAIMER:
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
CARPORT	24.00 m ²	2.58
DECK	9.80 m ²	1.05
DWELLING	138.11 m ²	14.87
	171.91 m ²	18.51

D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T
Rev:	Amendment:	Date:	Int:

Date Drawn: 25.09.25
 Drawn: W. Tan
 Checked: C. Lim
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au

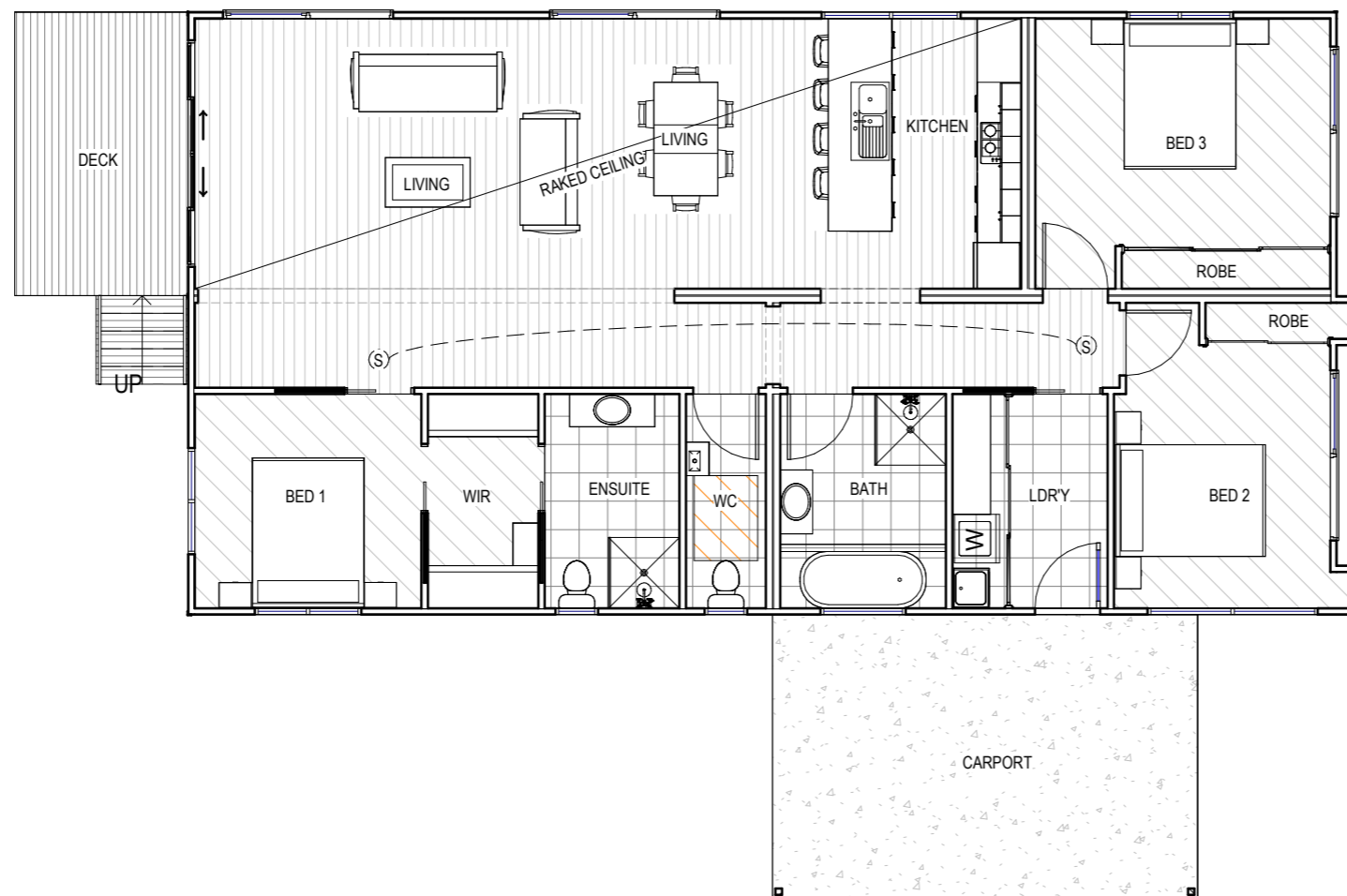
Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-273 A02 / A08
 Rev: D



CENTRAL COAST COUNCIL
 LAND USE PLANNING

Received: 11/11/2025
 Application No: DA2025276
 Doc ID: 537335



FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

FLOOR PLAN
 SCALE 1:100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
CARPORT	24.00 m ²	2.58
DECK	9.80 m ²	1.05
DWELLING	138.11 m ²	14.87
	171.91 m ²	18.51

ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au



D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T
Rev:	Amendment:	Date:	Int:

Date Drawn: 25.09.25
 Drawn: W. Tan
 Checked: C. Lim
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

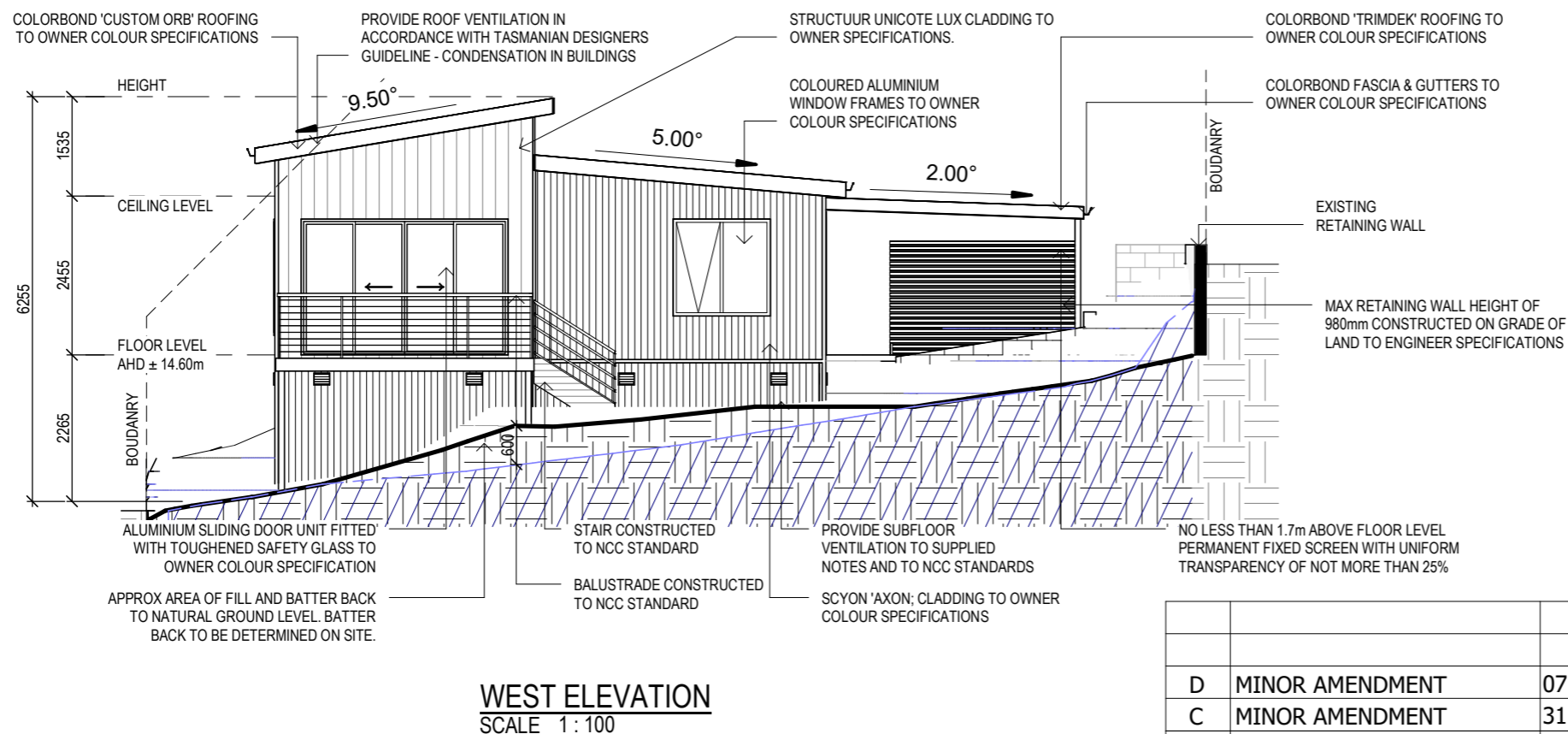
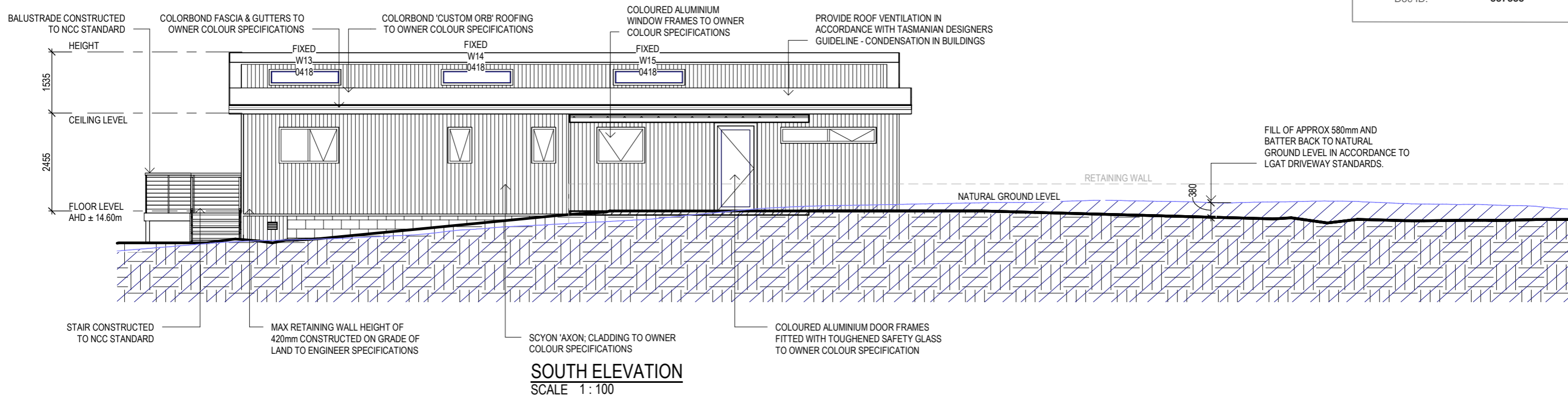
Drawing No: 2025-273 A03 / A08
 Rev D

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/11/2025
Application No: DA2025276
Doc ID: 537335



STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
Project: PROPOSED DWELLING
Address: LOT 1, 12 SEASIDE CR
PENGUIN TAS 7316

Office: 6331 7021
info@engineeringplus.com.au

Date Drawn:	25.09.25		
Drawn:	W. Tan		
Checked:	C. Lim		
Approved:	J. Pfeiffer		
Scale:	As Shown @ A3		
Accredited Building Designer			
Designer Name:	J. Pfeiffer		
Accreditation No:	CC2211T		
Rev:	Amendment:	Date:	Int:
D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T

Drawing No: 2025-273 A04 / A08
Rev: D

SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

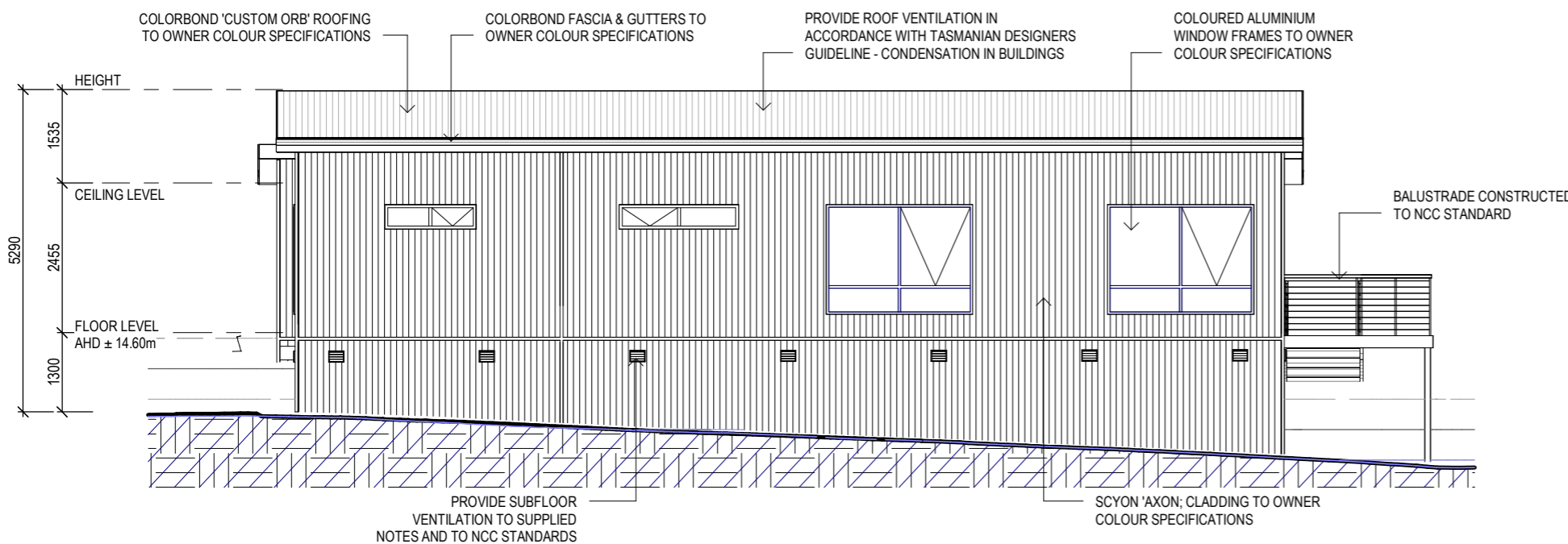
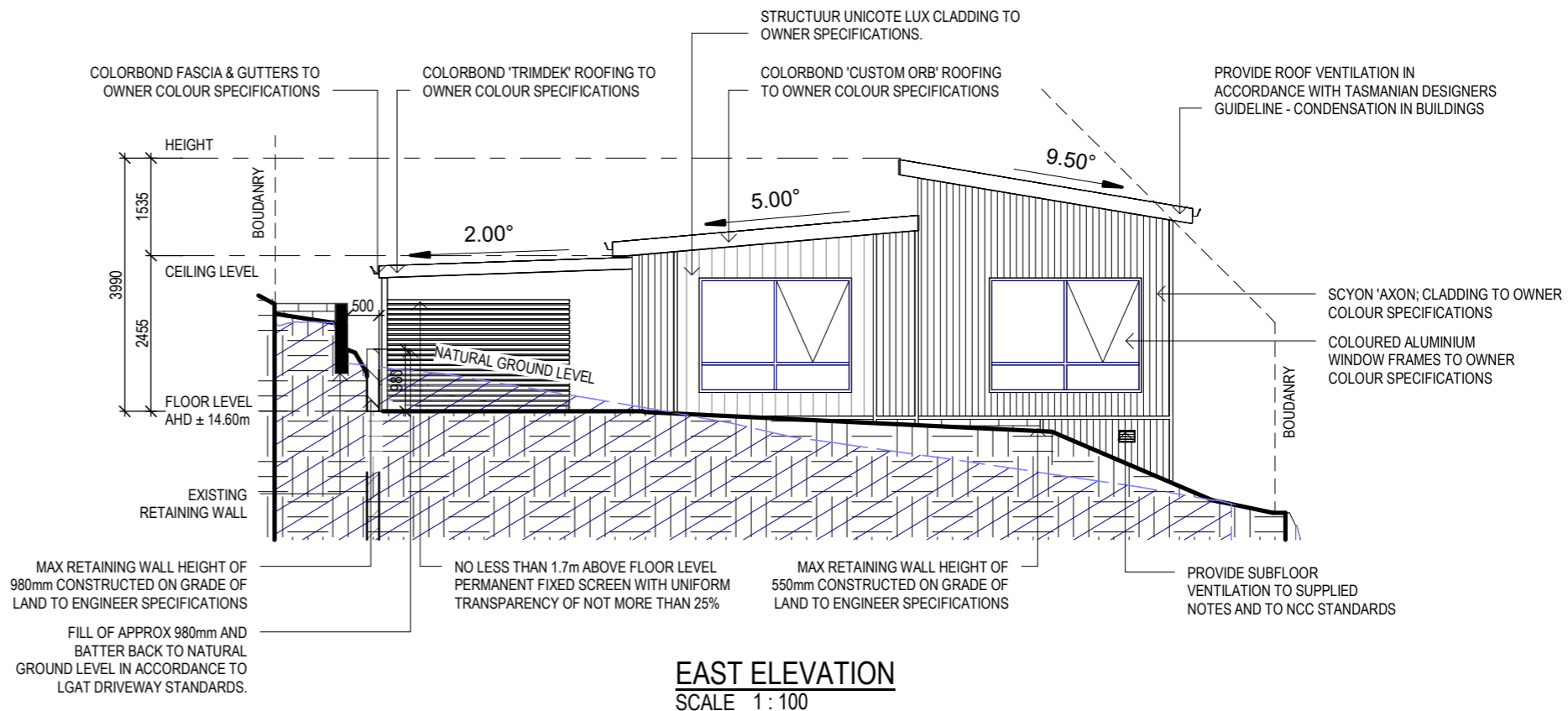
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
 CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

CENTRAL COAST COUNCIL
 LAND USE PLANNING

Received: 11/11/2025
 Application No: DA2025276
 Doc ID: 537335



SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3


POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
 PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
 ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

ISSUED FOR APPROVAL
 Copyright ©

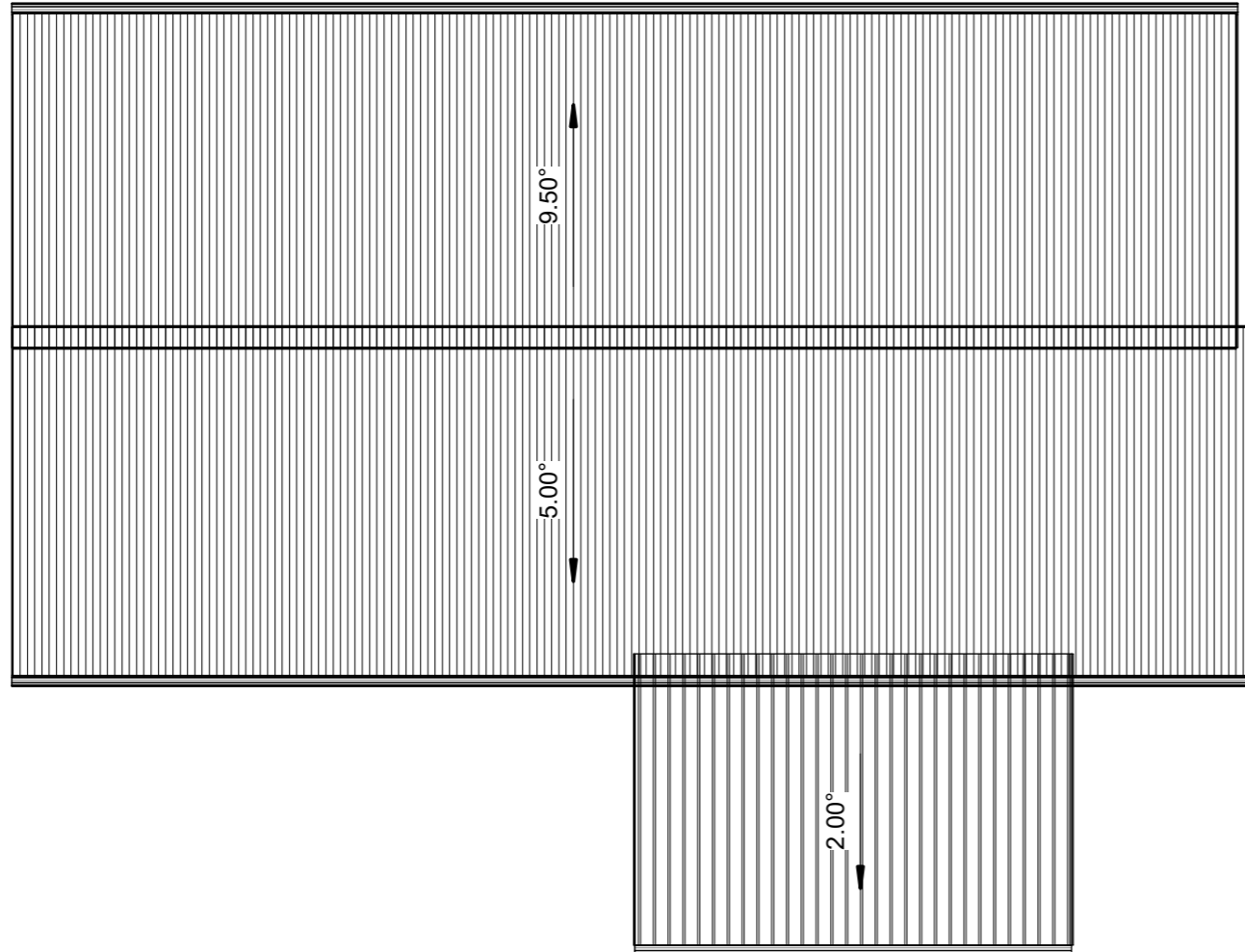
Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au



Date Drawn:	25.09.25	Drawn:	W. Tan
Checked:	C. Lim	Approved:	J. Pfeiffer
Scale:	As Shown @ A3	Accredited Building Designer	Designer Name: J. Pfeiffer
Accreditation No:	CC2211T		
Rev:	Amendment:	Date:	Int:
D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T

Drawing No: 2025-273 A05 / A08
 Rev: D



ROOF PLAN
 SCALE 1:100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

COLORBOND 'TRIMDEK'

- MINIMUM PITCH 2 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 2-5 DEGREES - MINIMUM 250MM

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au

				Date Drawn: 25.09.25
				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
D	MINOR AMENDMENT	07.11.25	W.T	
C	MINOR AMENDMENT	31.10.25	W.T	
B	MINOR AMENDMENT	27.10.25	W.T	
A	ISSUED FOR APPROVAL	25.09.25	W.T	
Rev:	Amendment:	Date:	Int:	Accreditation No: CC2211T

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Drawing No: 2025-273 A06 / A08
 Rev D

INSULATION
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS WITH UNDER ROOF COMPOSITE FOIL & R1.5 BLANKET

EXTERNAL WALLS
'TYVEK' HOUSE WRAP (OR SIMILAR) TO EXTERNAL FACE R2.5 GLASSWOOL BATTS BETWEEN STUDS

SUB FLOOR
85mm R2.5 POLYSTYRENE BETWEEN JOISTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 [RESIDENTIAL TIMBER FRAMED CONSTRUCTION] & THE BCA CODE PART 3.4.3 WALL FRAMING TO BE MGP10 RADIATA PINE. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & NCC CODE

SLABS & FOOTINGS
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

EXTERNAL CLADDING
EXTERNAL WALL CLADDING REFER ELEVATIONS
SUB FLOOR REFER ELEVATIONS

WINDOWS
COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCC STANDARDS.

PLASTER
LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

CAPPINGS & FLASHINGS
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

WET AREAS
WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

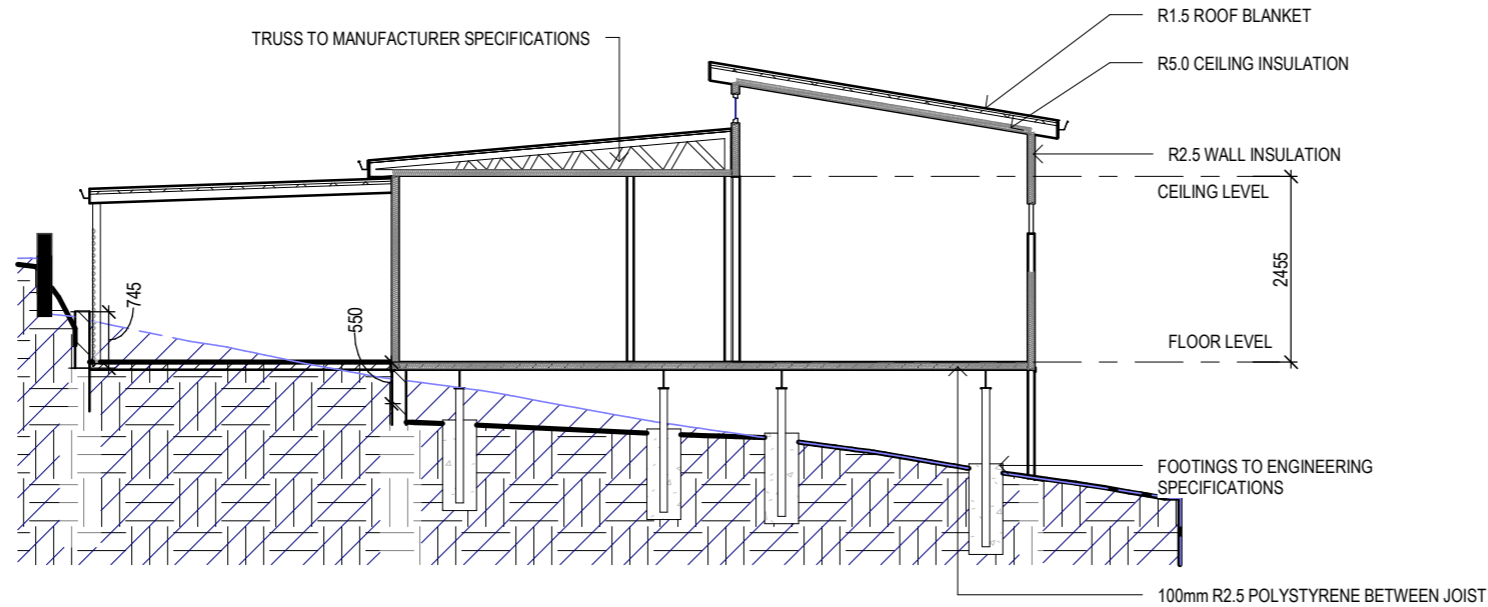
FAVES
OVERHANG ROOFS 300mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING IN ACCORDANCE WITH AS 1684.2 7.2.24

FASCIA
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

ROOF FRAMING
COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

DOWNPIPES
DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000 AND AS CLOSE AS POSSIBLE TO VALLEYS AND LOCATED SO AS TO COMPLY WITH PART 7.4 OF THE NCC SELECTED IN ACCORDANCE WITH NCC PART 7.4 & TABLES 7.4.4a TO 7.4.4c

GUTTERS
INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. FALL NOT LESS THAN 1:500 FITTED WITH OVERFLOW MEASURES TO COMPLY WITH NCC PART 7.4 & TABLE 7.4.4a, 7.4.4b VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH NCC PART 7.4 & TABLE 7.4.4c HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm HAVE A ROOF PITCH OF NOT LESS THAN 12.5deg LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES. LAP 150MM IN DIRECTION OF FLOW



Section 12
SCALE 1:100

FIGURE 2 - EAVES DETAILS : TRUSS & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959

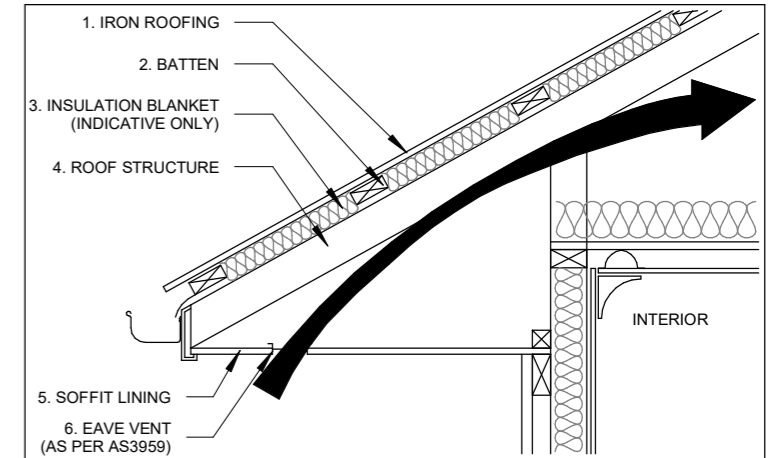


FIGURE 8 - EXTERNAL WALL VENTED CLADDING SYSTEM - SUSPENDED TIMBER FLOOR BUSHFIRE MESH WHEN REQUIRED TO AS3959

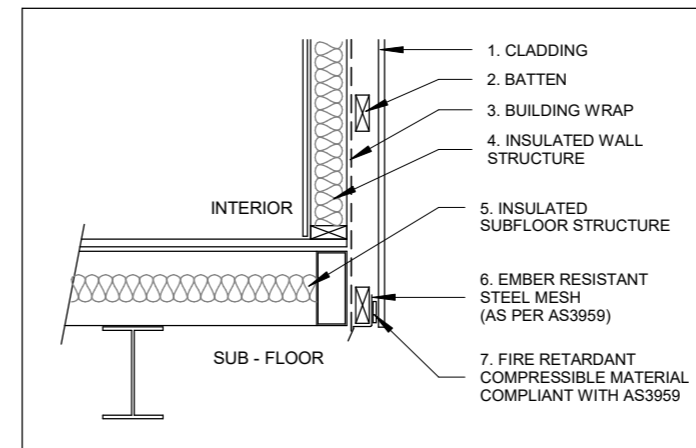
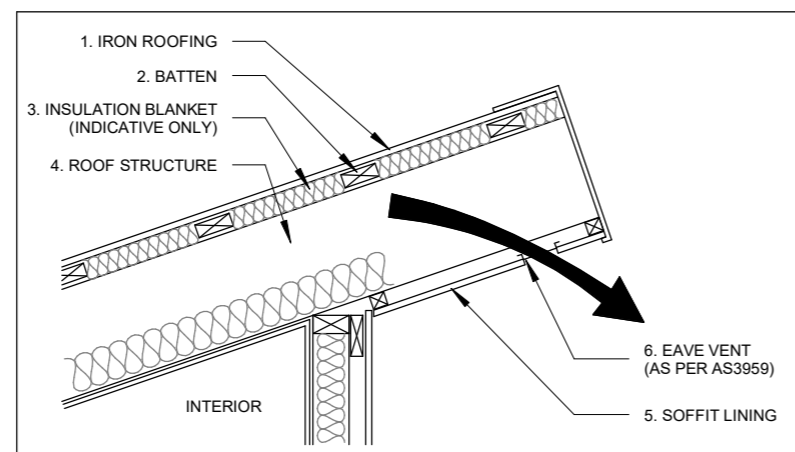


FIGURE 4 - RIDGE DETAILS : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959



ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
Project: PROPOSED DWELLING
Address: LOT 1, 12 SEASIDE CR
PENGUIN TAS 7316

Office: 6331 7021
info@engineeringplus.com.au

D	MINOR AMENDMENT	07.11.25	W.T
C	MINOR AMENDMENT	31.10.25	W.T
B	MINOR AMENDMENT	27.10.25	W.T
A	ISSUED FOR APPROVAL	25.09.25	W.T
Rev:	Amendment:	Date:	Int:

Date Drawn: 25.09.25
Drawn: W. Tan
Checked: C. Lim
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-273 A07 / A08
Rev: D



ISSUED FOR APPROVAL

Copyright ©

Client: C. & K. DUNHAM
 Project: PROPOSED DWELLING
 Address: LOT 1, 12 SEASIDE CR
 PENGUIN TAS 7316

Office: 6331 7021
 info@engineeringplus.com.au

CENTRAL COAST COUNCIL
 LAND USE PLANNING
 Received: 11/11/2025
 Application No: DA2025276
 Doc ID: 537335

				Date Drawn: 25.09.25
				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
D	MINOR AMENDMENT	07.11.25	W.T	
C	MINOR AMENDMENT	31.10.25	W.T	
B	MINOR AMENDMENT	27.10.25	W.T	
A	ISSUED FOR APPROVAL	25.09.25	W.T	
Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T

Drawing No: 2025-273 A08 / A08
 Rev: D