
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025286**

Location: **13 Hampson Street, PENGUIN**

Proposal: **Residential - workshop addition to existing dwelling**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before 15 December 2025

Date of Notification: **29 November 2025**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	19/11/2025
Application No:	DA2025286
Doc ID:	538059

Office use only: *Zone:* *Permit Pathway – NPR/Permitted/Discretionary*

Use or Development Site:

Site Address: **13 HAMPSON ST
PENGUIN**

Certificate of Title Reference: **105518 / 1**

Land Area: **1156 SQM** Heritage Listed Property: NO YES

Applicant(s)

First Name(s): **ANDREW** Surname(s): **SMITH**

Company name (if applicable): **ANDREW SMITH ARCHITECTS** Contact No: **0410 034 501**

Postal Address: **PO BOX 369 PENGUIN, TAS 7316**

Email address: **asarchitects@bigpond.com**

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s): **SEAN,
KRISTY** Middle Names(s): **JOHN,
JANICE**

Surname(s): **CRANE,
HANSEN** Company name (if applicable):

Postal Address: **A/A**

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use **WORKSHOP ADDITION TO EX DWELLING, REVISED DESIGN, DISCRETIONARY**

Use Class
 Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

FURTHER TO PREVIOUS NPR , THE OWNER HAS REQUESTED A REBVISIED DESIGN FOR THE EASTERN WORKSHOP ADDITION, WHICH WILL BE OUTSIDE THE BUILDING ENVELOPE.

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)


\$ **30,000** Estimate/ ~~Actual~~

Total floor area of the development **35 SQM WORKSHOP ADDITION** m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I **ANDREW SMITH** , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant 

Date **19/11/25**

If the application involves land within a Strata Corporation

I **Text** , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN


I, _____ the Minister
 responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ ~~we~~ **ANDREW SMITH**
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  _____ Date **19/11/25**

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 105518	FOLIO 1
EDITION 11	DATE OF ISSUE 21-Jul-2022

 CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	19/11/2025
Application No:	DA2025286
Doc ID:	538061

SEARCH DATE : 05-Apr-2023

SEARCH TIME : 10.10 AM

DESCRIPTION OF LAND

Town of PENGUIN
 Lot 1 on Sealed Plan 105518
 Derivation : Part of Lot 4892 Gtd to T B Scurrah
 Prior CT 2146/43

SCHEDULE 1

M839313 TRANSFER to SEAN JOHN CRANE and KRISTY JANICE HANSEN
 Registered 08-Sep-2020 at 12.01 PM

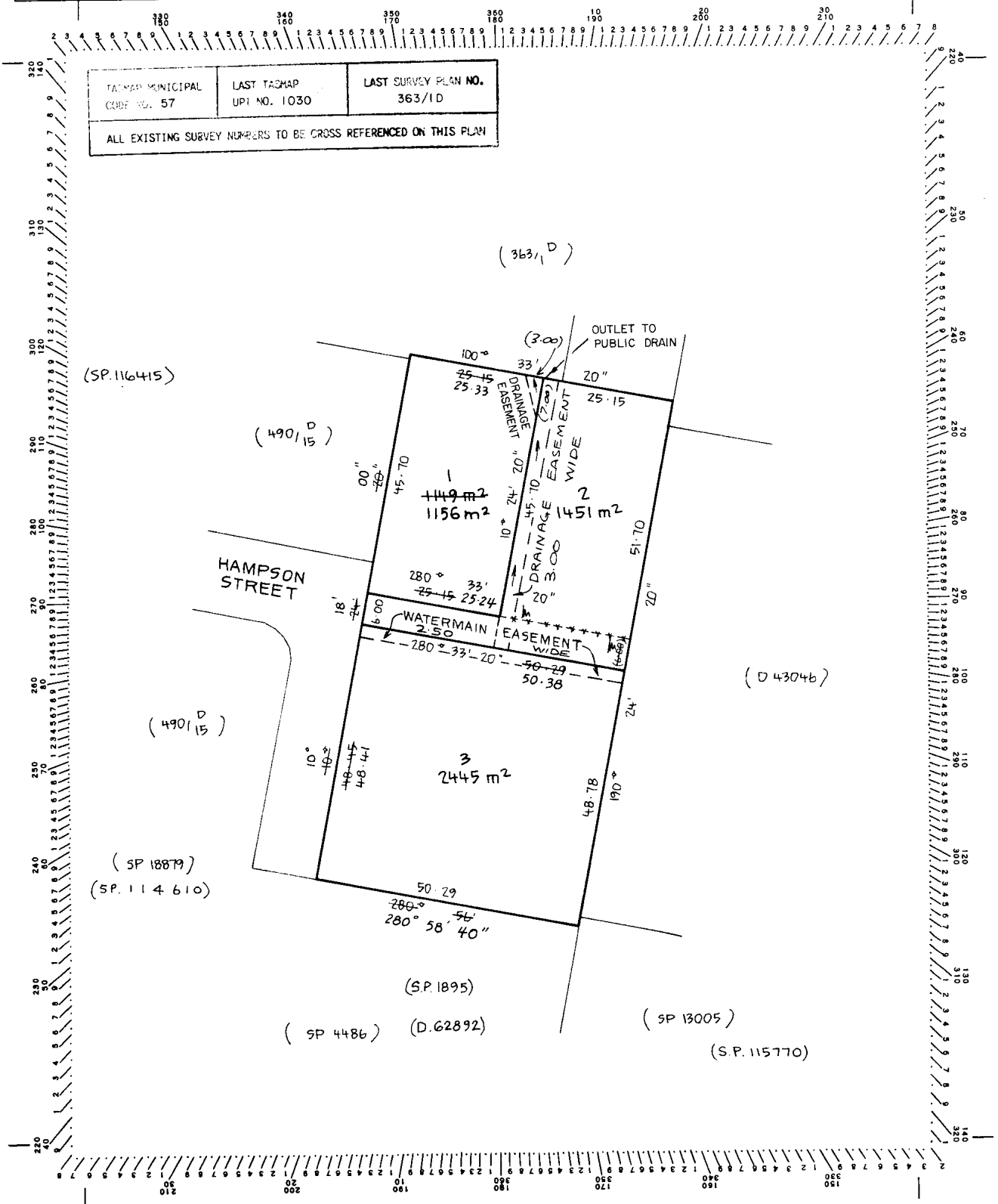
SCHEDULE 2

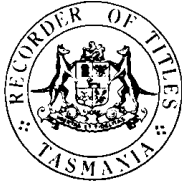
Reservations and conditions in the Crown Grant if any
 SP105518 EASEMENTS in Schedule of Easements
 SP105518 FENCING PROVISION in Schedule of Easements
 E310555 MORTGAGE to Westpac Banking Corporation Registered
 21-Jul-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: L. TURNER M.	PLAN OF SURVEY by Surveyor <u>Len C. Mackenzie</u> of land situated in the	REGISTERED NUMBER <h1>SP105518</h1>
Title Reference: C.T. 2146/43	TOWN OF PENGUIN	Approved <u>18 AUG 1993</u> Effective from: _____ Recorder of Titles
Grantee: PART OF LOT 4892 (50.0.0) THOMAS BOWMAN SCURRAH		SCALE 1: 750 MEASUREMENTS IN METRES





SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The owners of Lot 3 on the plan covenant with the vendor Mark Lawrence Turner to the intent that the burden of these covenants shall run with and bind the covenantors lot and every part thereof and the benefit shall be annexed to and devolve with each and every part of every other lot on the plan, to observe the following stipulations, namely:

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Covenants

~~The Owners of Lot 3 on the Plan covenant with the Vendor and the Owners of each other Lot on the Plan that no permanent excavation shall be made on Lot 3 deeper than 0.60 metres.~~

~~The Owners of Lot 3 on the Plan covenant with the Vendor and the Owners of each other Lot on the Plan that prior to erecting any dwelling or other building on Lot 3 they shall construct~~

~~without having previously constructed a "trash rack" on the said Lot in such position and manner as the Central Coast Municipal Council shall first approve.~~

Easements

Lot 3 is subject to a Watermain Right over the strip of land marked "Watermain Easement 2.50 wide" shown on the Plan in favour of the Warden Councillors and Electors of the Central Coast Municipal Council.

Definition

"Watermain Right" means the right for the Central Coast Municipal Council to lay and maintain a pipe or pipes at least 30 centimetres below the ground for the purpose of conveying water through under or across the Watermain Easement and

the right for the Central Coast Municipal Council, their Surveyors and Workmen from time to time and at all times hereafter if they should think fit to enter into and upon the Watermain Easement and to inspect, repair, cleanse and amend any such pipe without doing unnecessary damage to the said Lot.

"Trash Rack" means a row of treated pine logs driven at least 2.00 metres into the ground and projecting at least 1.00 metre above ground at not greater than 0.30 metre centres in such place on Lot 3 as the Central Coast Municipal Council shall direct.

Fencing Provision

Mark Lawrence Turner ("the Vendor") shall not be required to fence.

SIGNED by MARK LAWRENCE TURNER)
by his Attorney DYANNE DAPHNE)
TURNER under Power No. 68/6992)
(who hereby declares that she)
has received no notice of)
revocation of the said Power))
in the presence of:)

[Faint signature]


[Handwritten signatures]

This is the schedule of easements attached to the plan of Mark Lawrence Turner
(Insert Subdivider's Full Name)
..... affecting land in
Certificate of Title Volume 2146 Folio 43
(Insert Title Reference)

Sealed by Municipality of Central Coast on 10th May 1993
Solicitor's Reference ICG:LL Ian Guest & Associates
Council Clerk/Town Clerk

05 x 3134

experience - quality - service

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	19/11/2025
Application No:	DA2025286
Doc ID:	538057



**andrew smith
architects**

studio, 78 white hills rd
po box 369,
penguin tas 7316

asarchitercts@bigpond.com

0410 034 501

ref: 00856

Monday, 20 May 2024

Land Use Planning Team
Central Coast Council
PO Box 220
ULVERSTONE, TAS 7315

**DEVELOPMENT APPLICATION - 13 HAMPSON ST, PENGUIN
REVISED DESIGN FOR WORKSHOP ADDITIONS, PRIOR NPR STATEMENT**

Please find attached revised design documentation and application form for this addition.

SITE

The site is currently defined by title reference 105518 / 1, and has an area of 1156sqm.

The works were issued with a NPR statement previously.

The eastern workshop addition has been revised to elevate the floor level for drainage reasons, and the roof form to follow the form of the main roof of the dwelling.

The requested new design has the roof and an upper portion of the east wall of the workshop outside the building envelope.

The land immediately to the east of the site has a 3m wide drainage easement preventing any building works on that site in that area.

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USE

The existing residential use is to be retained, with additions being to the main dwelling.

PROPOSAL

The proposal is seeking a discretionary permit for the workshop revised design.

8.4.2 Setbacks and building envelope for all dwellings

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

The site to the east and its access strip to the south are a vacant lot.

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

Due to the orientation of the site, the workshop roof casts a small shadow outside the easement area after 2:00pm on the 21st of June.

The adjacent site has full access to northern sun, and any future private open space is not adversely affected.

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

When viewed from the east, the workshop addition is below and smaller than the east wall of the existing dwelling, and therefore is of lesser bulk and scale when viewed from the adjacent site.

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The workshop eastern wall setback and length is still within the acceptable solution for walls close to boundaries.

The upper wall gable is protruding through the permitted building envelope.

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

The workshop addition meets the acceptable solution for wall length within 1.5m of a boundary.

The 3m drainage easement ensures any separation of buildings follows the existing separation of buildings in the area.

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or

(ii) another dwelling on the same site.

The adjacent site has no solar installation.

The development site has only the one dwelling.

SUMMARY

The residential use is permitted.

The workshop size and shape is unchanged from the perviously issued NPR statement.

The floor level has been lifted to prevent drainage issues.

The roof form has been revised to match the shape and form of the main dwelling, and provide minimum 2.4m ceiling height.

The small protrusion of the gable wall and eastern portion of the gable roof does not adversely shade the adjacent vacant lot.

experience - quality - service



We therefore seek a permit for the revised workshop addition, for the building surveyor to allow the revised design to progress.

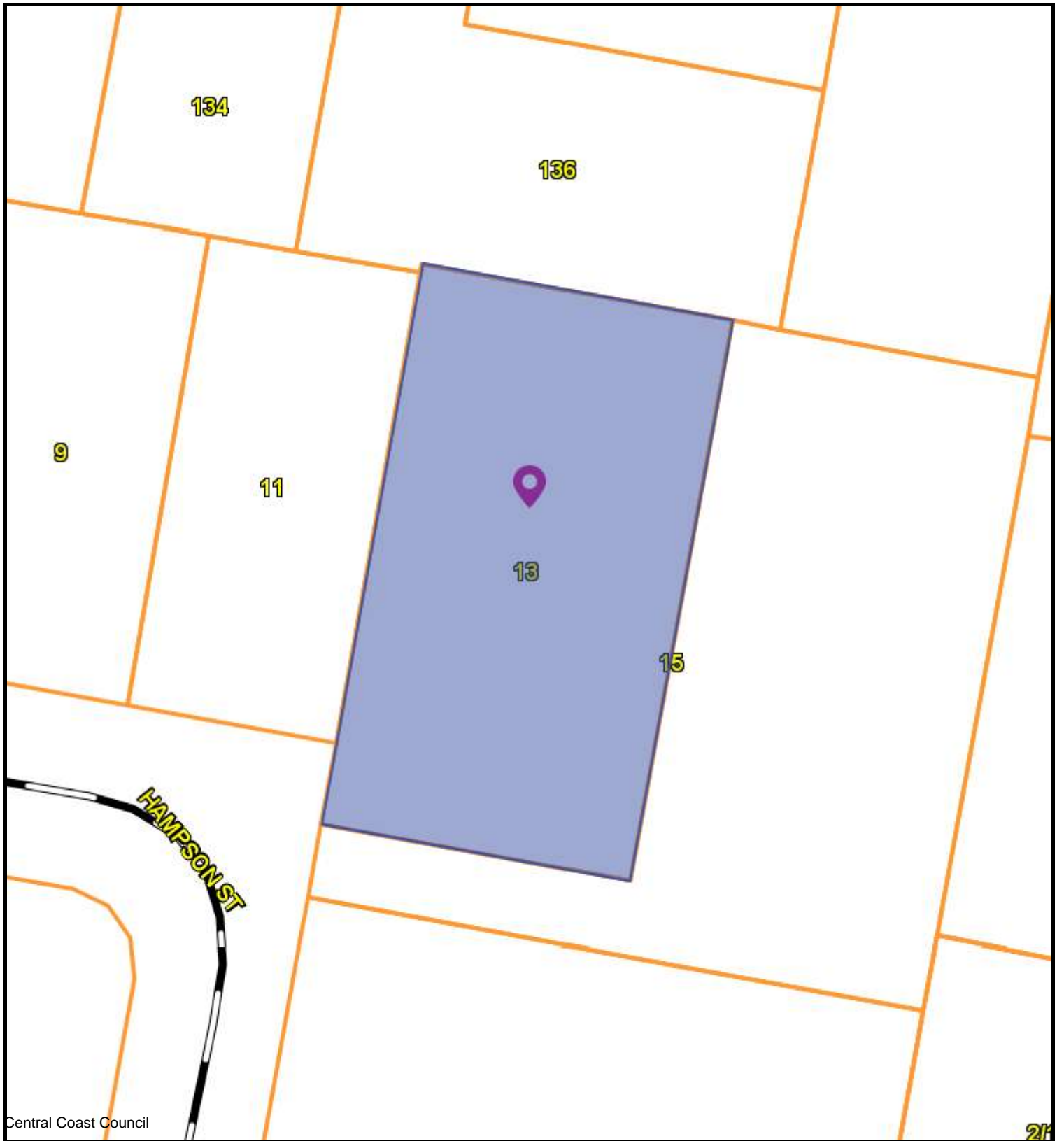
Other works that were part of the NPR statement have been constructed, and or are in the process of construction under the current building permit.

Please forward an invoice for the application fees when available.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'AS' or similar initials, written in a cursive style.

Andrew Smith FRAIA
Registered Architect,
Fellow of the Australian Institute of Architects
Managing Director



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



27-Nov-2025

**13 HAMPSON STREET,
 PENGUIN
 DA2025286**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.
 © Central Coast Council 2025.

10 m

Scale =
1:427.140



NOTES

Date of Survey: 6th of March 2023

Survey datum is planar (ground) based on MGA2020

Adopted MGA2020 Coordinate origin per the Survey Control Mark Database (SurCoM)

SPM1124
 E: 422410.999
 N: 5448114.785
 RL: 10.312 (AHD83)

Contour Interval 0.1m

While reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the survey.

Underground Services have not been investigated or mapped as part of this survey.

Prior to any demolition, excavation, final design or construction on this site, a comprehensive site investigation should be undertaken to locate and confirm all above and below ground service infrastructure, including pipe types and sizes.

All coordinates within this file, although stated to the nearest 0.001 metre, are approximate only and are only within 0.015m of the stated coordinate (horizontally and vertically).

Under the supervision of a Registered Land Surveyor, the boundaries shown on this plan have been mathematically compiled from existing registered survey information and verified by evidence on the ground to the extent necessary for this plan. If any works are to be conducted on or near the boundary a registered remark survey will be required.

Background imagery has been sourced from the ListMap for schematic purposes only.

Any DTM modeling that is to be done from the accompanying 3D digital file must be done using only the layer 'TRIANGLE' to ensure that surface matches that verified by PDA Surveyors. No responsibility is taken for the use or interpretation of this data in any other format.

Some feature levels are not shown on this plan for clarity. These can be found turned on in model space or on the OFF Levels layer.

E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

SURVEYOR	GEOCIVIL / NEO
ML & JT	50843
DRAWN	CHECKED
ML	DM
DATE	
17-03-2023	

SITE DETAIL SURVEY
13 HAMPSON STREET, PENGUIN
FOR SEAN CRANE

 PDA SURVEYORS, ENGINEERS & PLANNERS	6 Queen Street Burnie, Tasmania, 7320 PHONE: +61 03 6431 4400 FAX: +61 03 6431 6663 EMAIL: pda.bne@pda.com.au www.pda.com.au		SCALE	PAPER
	Also at: Launceston, Devonport, Hobart & Kingston		1:200	(A3)
			JOB NUMBER	DRAWING
			50843-1	

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025

Application No: DA2025286

Doc ID: 538058

LAYOUT	DRAWING	SCALE	LAYOUT	DRAWING	SCALE	LAYOUT	DRAWING	SCALE
COVER			A.14 ROOF PLAN			A.30 SHADOW STUDY - JUNE 21ST		
	AREAS	1:1		FRAMING SETOUT	1:100		11:00 AM	1:2000
	INDEX	1:1		MEMBER SCHEDULE	1:1		12:00 PM	1:2000
	PROJECT INFORMATION	1:1	A.15 ROOF PLAN			A.30 SHADOW STUDY - JUNE 21ST		
A.01 GENERAL NOTES				NOTATION & FINISHES	1:100		01:00 PM	1:2000
	GENERAL NOTES	1:170		ROOF SCHEDULE	1:1		02:00 PM	1:2000
A.02 GENERAL NOTES			A.16 ELEVATIONS				03:00 PM	1:2000
	GENERAL NOTES	1:170		EAST	1:100		3D VIEW - 03:00 PM	1:2000
A.03 SITE PLAN				NORTH	1:100			
	LOCATION	1:200	A.17 ELEVATIONS					
A.04 SITE PLAN				SOUTH	1:100			
	DRAINAGE	1:100		WEST	1:100			
A.05 DRAINAGE CALCULATIONS			A.18 SECTIONS					
	DECK ROOF CALCS	1:1		A-A	1:50			
	DECK ROOF CALCS	1:1	A.19 SECTIONS					
	EX NORTH ROOF CALCS	1:1		B-B	1:50			
A.06 DRAINAGE CALCULATIONS			A.20 SECTIONS					
	DECK ROOF CALCS	1:1		C-C	1:50			
	SHED ROOF CALCS	1:1	A.21 SECTIONS					
	SOUTH ROOF CALCS	1:1		D-D	1:50			
A.07 FLOOR PLAN			A.22 SECTIONS					
	EXISTING / DEMOLITION	1:100		E-E	1:50			
A.08 FLOOR PLAN			A.23 SECTIONS					
	FOOTING SCHEDULE	1:1		F-F	1:50			
	FOOTING SETOUT	1:100	A.24 SECTIONS					
A.09 FLOOR PLAN				G-G	1:50			
	SLAB SCHEDULE	1:1	A.25 FORM					
	SLAB SETOUT	1:100		3D VIEW FROM NE	1:200			
A.10 FLOOR PLAN			A.26 FORM					
	FLOOR FRAMING SETOUT	1:100		3D VIEW FROM NW	1:200			
	MEMBER SCHEDULE	1:1	A.27 ENVELOPE STUDY					
A.11 FLOOR PLAN				NW VIEW	1:200			
	FRAMING SETOUT, LINTELS & BR...	1:100	A.28 ENVELOPE STUDY					
	MEMBER SCHEDULE	1:1		STH VIEW	1:200			
A.12 FLOOR PLAN			A.29 SHADOW STUDY - JUNE 21ST					
	NOTATION	1:100		09:00 AM	1:2000			
A.13 CEILING PLAN				10:00 AM	1:2000			
	CEILING SCHEDULE	1:1						
	FINISHES & INSULATION	1:100						

PROJECT INFORMATION	
TITLE REF:	105518 / 1
SITE AREA:	1,155.56
SOIL RATING:	P ADOPTED, LANDSLIP HAZARD
WIND RATING:	N3 ADOPTED
HAZARDS:	OCCUPIED PREMISES, LANDSLIDE, ASBESTOS

BUILDING AREAS	
	AREA:
DECK	50.37
EXISTING	136.92
PROPOSED	41.32



andrew smith
 architects

CC2762M
 STUDIO, 78 WHITEHILLS RD, PENGUIN
 T/F: 03 64370913 M:0410034501
 E: asarchitects@bigpond.com

ADDITIONS & ALTERATIONS
 S.J. CRANE & K.J. HANSEN

13 HAMPSON ST PENGUIN
 18.11.25
 CLC UPDATE

00856-B



NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS AND OTHER WRITTEN INSTRUCTIONS ISSUED DURING THE COURSE OF THE CONTRACT. REFER ANY DISCREPANCY TO THE DESIGN ENGINEER BEFORE CONSTRUCTION COMMENCES.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES, A.H.D.
- ALL DIMENSIONS RELEVANT TO THE SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION COMMENCES.
- DO NOT SCALE OFF DRAWINGS - IF IN DOUBT - ASK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURES IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED. SIDES OF EXCAVATIONS SHALL BE MAINTAINED IN A STABLE STATE DURING ALL PHASES OF CONSTRUCTION.
- WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT CODES, INCLUDING ALL AMENDMENTS AND LOCAL STATUTORY AUTHORITIES' REGULATIONS.
- REFERENCES TO PROPRIETARY PRODUCTS IN DRAWINGS INFERS THAT PRODUCT IS TO BE USED, APPLIED AND/OR INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATION.
- THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE DESIGN ENGINEER, BUT IS NOT AN AUTHORISATION FOR A COST VARIATION. ANY COST VARIATION SHALL BE APPROVED BY THE SUPERINTENDENT BEFORE CONSTRUCTION COMMENCES.
- DO NOT COMMENCE WORK ON SITE PRIOR TO OBTAINING ALL NECESSARY AUTHORITY FROM RELEVANT AUTHORITIES.
- SERVICES SHOWN ARE APPROXIMATE ONLY. TAKE ALL PRECAUTIONS TO ESTABLISH EXACT LOCATIONS AND PROTECT SERVICES AS REQUIRED. NOT ALL SERVICES ARE NECESSARILY SHOWN ON PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGE TO ANY SERVICES.
- WHERE WORKS ARE NOT COVERED BY THESE SPECIFICATIONS, REFER TO NATSPEC, COUNCIL STANDARD DRAWINGS, RELEVANT AUSTRALIAN STANDARDS AND RELEVANT DIER STANDARDS.
- BRITTLE FLOOR COVERINGS SUCH AS CERAMIC TILES SHOULD BE LAID USING AN APPROVED FLEXIBLE ADHESIVE SYSTEM TO CONTROL THE EFFECT OF SHRINKAGE CRACKING. A MINIMUM PERIOD OF THREE MONTHS DRYING OF THE CONCRETE IS USUALLY REQUIRED BEFORE THE PLACEMENT OF BRITTLE FLOOR COVERINGS.
- ENSURE ALL WET AREAS ARE WATERPROOFED IN ACCORDANCE WITH AS3740.
- GRADE SURFACE AWAY FROM FOOTING EDGE, 1500 MIN TYPICAL.
- ANY TREES LOCATED WITHIN 3/4 OF THEIR MATURE HEIGHT OF THE HOUSE SHALL BE REMOVED FROM THE SITE. ALL SOFT SPOTS CREATED BY THEIR REMOVAL SHALL HAVE ALL LOOSE MATERIAL REMOVED & BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED AS PER EARTHWORKS NOTES.

BASIS OF DESIGN

- DEAD LOADS : IN ACCORDANCE WITH AS 1170.1
- LIVE LOADS : IN ACCORDANCE WITH AS 1170.1
- WIND LOADS : IN ACCORDANCE WITH AS 4055
DESIGN VELOCITY : VP = 33 m/s, VU = 40 m/s, VS = 26 m/s

REGION A

WIND CLASSIFICATION : **N3**

INTERNAL PRESSURE COEFFICIENT = +0.2, -0.3 U.N.O.

GEOTECHNICAL SITE CLASSIFICATION : CLASS **P**

GEOTECHNICAL INVESTIGATION:

- UNDERTAKE A GEOTECHNICAL INVESTIGATION TO VERIFY THAT THE FOUNDATION MATERIAL AT FOUNDING DEPTH HAS A SAFE BEARING CAPACITY EQUAL TO OR BETTER THAN THE BASIS OF DESIGN ALLOWABLE BEARING PRESSURE.
- BACKFILL ANY OVER EXCAVATION WITH BLINDING CONCRETE OR APPROVED COMPACTED BASE MATERIAL.
- ENSURE ALL FOOTINGS ARE CENTRAL TO WALLS AND COLUMNS ETC.

BLOCKWORK RETAINING WALLS :

BLOCKWORK : 200 SERIES U.N.O.

STRENGTH GRADE - 15 MPa IN ACCORDANCE WITH AS 3700

MORTAR TYPE - M3 (MIN COMPRESSIVE STRENGTH 12 MPa)

CONCRETE CORE FILL : S25/7, 230 SLUMP

REINFORCEMENT : HOT ROLLED GRADE 500 DEFORMED (RIBBED) BAR DUCTILITY CLASS N TO AS4671

GENERAL CONSTRUCTION NOTES :

- FACE SHELLS AND PERPENDS ARE TO BE FULLY BEDDED IN MORTAR.
- CLEANOUT BLOCKS ARE TO BE PLACES AT THE BOTTOM OF EACH CONCRETE FILLED CORE AND AT EACH LIFT.
- MORTAR PROTRUDING INTO FILLED CORES IS TO BE REMOVED BEFORE CORE FILLING COMMENCES.
- UNLESS NOTED OTHERWISE, VERTICAL REINFORCEMENT AND STARTER BARS ARE TO BE PLACED NEAR THE RETAINING FACE OF THE WALL WITH 15mm CLEAR CONCRETE COVER TO THE BLOCKWORK. THESE BARS MUST BE WIRED INTO POSITION BEFORE CORE FILLING COMMENCES.
- CONCRETE FILL ALL BLOCK CORES
- ALL FILLED CORES ARE TO BE PLACED BEHIND THE WALL UNTIL AT LEAST FOURTEEN (14) DAYS AFTER CONCRETING CORES. BACKFILL IS TO BE CLEAN, COARSE GRAINED, PERMEABLE SAND OR GRAVEL. THE DRAINAGE SYSTEM SHOULD BE INSTALLED PROGRESSIVELY AS THE BACKFILL RISES.

RETAINING WALL FOUNDATION :

FOUNDING LEVELS SHOWN ON DRAWINGS ARE ANTICIPATED ONLY AND SHALL BE DETERMINED ON SITE.

THE FOUNDATION SHALL BE EXCAVATED TO SUFFICIENT DEPTH TO EXPOSE UNDISTURBED MATERIAL WHICH IS CLEAN AND DRY.

IF THE FOUNDATION CONSISTS OF SOFTNESS, POOR DRAINAGE, FILLED GROUND, ORGANIC MATTER, VARIABLE CONDITIONS OR AGGRESSIVE SOILS, ENGINEERING ADVICE SHOULD BE OBTAINED.

BLOCKWORK NOTES :

BLOCKWORK - 200 SERIES U.N.O.

STRENGTH GRADE - 15 MPa

MORTAR TYPE - M3 IN ACCORDANCE WITH AS 3700-2

CONCRETE CORE FILL - GENERAL - S20/7, 180+30-0 S

CORE REINFORCEMENT -

HOT ROLLED GRADE 500 DEFORMED (RIBBED) BAR DUCTILITY CLASS N TO AS4671

PROVIDE 55mm MINIMUM COVER FROM BLOCK FACE TO REINFORCEMENT UNLESS NOTED OTHERWISE ON THE DRAWING.

EXTERNAL WALLS:

N12 CORE REINFORCEMENT - 600 MAX CTS & ADJACENT WALL INTERSECTIONS U.N.O.

N16 CORE REINFORCEMENT AT CORNERS AND ADJACENT OPENINGS LESS THAN 1800 WIDE

2N16 REINFORCED CORES ADJACENT OVER 1800 TO MAX 3000 WIDE U.N.O.

BRACING WALLS -

N12 CORE REINFORCEMENT AT WALL ENDS AND MAX. 600 CTS BETWEEN U.N.O.

INTERNAL WALLS -

N12 CORE REINFORCEMENT AT WALL CORNERS, WALL ENDS, ADJACENT OPENINGS AND AT MAX 1000 CTS BETWEEN.

GENERAL NOTES :

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700-2001 AND THE SPECIFICATION.
- ALL REINFORCED CORES SHALL BE CONCRETE FILLED.
- ALL REINFORCED CORES SHALL HAVE A CLEANOUT BLOCK AT THE BOTTOM OF EACH FILLED CORE AND AT EACH LIFT.
- ALL BLOCKWORK TO BE CONSTRUCTED AS STRETCHER BOND UNLESS NOTED OTHERWISE.
- ALL WALL CORNERS AND PIER/WALL INTERSECTIONS SHALL BE FULLY BONDED IN ACCORDANCE WITH AS 3700 CLAUSE 4.11 - UNBONDED WALL INTERSECTIONS AS DETAILED ON THE DRAWING.
- MASONRY CONTROL JOINTS SHALL BE AT 8.0m MAX CTS U.N.O.
- BLOCKWORK SHALL NOT BE CHASED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DESIGN ENGINEER.
- WHERE CONCRETE SLABS ARE CAST OVER BLOCKWORK WALLS, FINISH CORE FILLING 40mm BELOW TOP OF WALLS.
- BLOCKWORK SHALL NOT BE BUILT ON CONCRETE SLABS OR BEAMS UNTIL FALSEWORK HAS BEEN REMOVED.
- BOLTS, ANCHORS AND FITMENTS BUILT INTO BLOCKWORK SHALL BE HOT DIPPED GALVANISED AND CAST INTO CONCRETE FILLED CORES ONLY.

CENTRAL COAST COUNCIL LAND USE PLANNING	
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Application No:	DA2025286
Doc ID:	538058

ADDITIONAL REQUIREMENTS FOR CLASS M , H, P and E SITES

- PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE AND SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5M OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- SUBSURFACE DRAINS SHALL BE FREE DRAINING AND SHALL BE ABLE TO BE INSPECTED AND MAINTAINED
- CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS
- PENETRATIONS OF THE EDGE BEAMS OF RAFT AND PERITMETER STRIP FOOTINGS SHALL BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT.

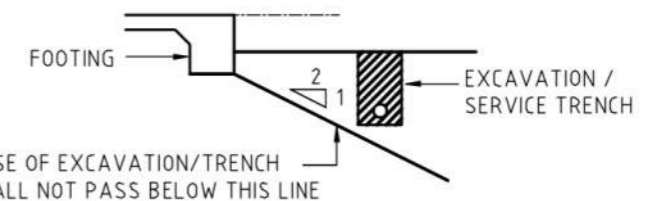
CLOSED CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER AND SEWER PIPE PENETRATIONS THROUGH EXTERNAL FOOTINGS.

THE LAGGING SHALL BE A MINIMUM OF 20MM THICK ON CLASS H SITES AND 40MM THICK ON CLASS E SITES. SLEEVES ALLOWING EQUIVALENT MOVEMENT MAY BE USED AS AN ALTERNATIVE.

- PLUMBING AND DRAINAGE UNDER A SLAB SHALL BE AVOIDED WHERE PRACTICABLE. PIPES MAY BE ENCASED IN CONCRETE OR IN RECESSES IN THE SLAB WHEN PROVIDED WITH FLEXIBLE JOINTS AT THE EXTERIOR OF THE SLAB.

EARTHWORKS:

- EARTHWORK CONSTRUCTION SHALL COMPLY WITH GUIDELINES SET OUT IN AS3798.
- EXCAVATIONS AND SERVICE TRENCHES SHALL COMPLY WITH THE FOLLOWING GUIDELINES UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER.
- THE AREA OF WORKS SHALL BE STRIPPED OF ALL TOPSOIL AND FILLED IN 150mm COMPACTED LAYERS TO 95%MMDD. SAND BLINDING LAYER DIRECTLY BELOW CONCRETE SHALL BE COMPACTED BY VIBRATING PLATE OR FLOODING TO 95% MMDD.



CONCRETE:

- ALL CONCRETE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3600 AND THE RELEVANT SPECIFICATIONS.
- USE OF CALCIUM CHLORIDE IN CONCRETE IS NOT PERMITTED.
- MIN CONCRETE GRADE N25
- DURABILITY EXPOSURE CLASSIFICATIONS FOR SURFACES FOR MEMBERS ARE -
 - (a) IN CONTACT WITH GROUND : A2
 - (b) EXTERNAL ENVIRONMENT : B2
 - (c) INTERNAL ENVIRONMENT : A1
- CONCRETE COVER TO REINFORCEMENT AS NOTED ON THE DRAWING
- REINFORCEMENT NOTATION :

N DENOTES HOT ROLLED GRADE 500 DEFORMED (RIBBED) BAR DUCTILITY CLASS N TO AS 4671

R DENOTES STRUCTURAL GRADE 250 PLAIN BAR TO AS 4671

W DENOTES GRADE 500 HARD DRAWN WIRE TO AS 4671

SL DENOTES HARD DRAWN WIRE GRADE 500 SQUARE REINFORCING WIRE MESH DUCTILITY CLASS L TO 4671.

THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETERS.

REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION

Project No: **00856**
Drawing No: **A.01 B**

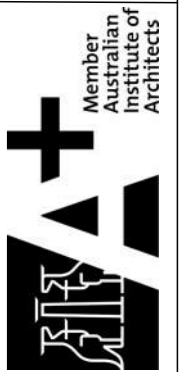
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GENERAL NOTES
SCALE (A3): 1:170
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DATE: 18.11.25
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ADDITIONS & ALTERATIONS
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7. REINFORCEMENT LAPS U.N.O.

SQUARE FABRICS - 1 MESH SQUARE + 25

RECTANGULAR FABRICS - 225 ENDS, 125 SIDES

N12- 300 N16- 450 N20- 650 N24- 850 N28- 1050 N32- 1300 N36- 1550

8. REINFORCEMENT COGS :

N12- 200 N16- 200 N20- 250 N24- 300 N28- 350 N32- 400

9. REINFORCEMENT CRANKS - NOT GREATER THAN 1 IN 6

10. DO NOT WELD OR SITE BEND REINFORCEMENT UNLESS SHOWN ON THE DRAWINGS OR OTHERWISE APPROVED BY THE DESIGN ENGINEER

11. REINFORCEMENT SHALL BE SUPPORTED ON APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS AT 800 MAX CTS EACH WAY FOR MESH AND 60 TIMES THE SMALLER BAR DIA. FOR BARS

12. LIGATURES OR BOGAR CLIPS MUST BE SELECTED TO SUIT FOOTING DEPTH AND TO PROVIDE ONLY 40mm TOP AND 60mm BOTTOM COVER TO TRENDSH. CLIPS LESS THAN THAT SPECIFIED WILL NOT CONFORM WITH THE CODE REQUIREMENTS. BAR CHAIRS IN SLABS MUST BE SELECTED TO PROVIDE THE COVER SPECIFIED.

13. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE APPLIED FINISHES. BEAM DEPTHS INCLUDE SLAB THICKNESS

14. PROVIDE DAMP PROOF MEMBRANE (0.2mm THICK APPROVED POLYTHENE MEMBRANE) TO UNDERSIDE OF SLABS ON GROUND IN ACCORDANCE WITH BCA F1.10. LAPS SHALL BE 300mm MIN AND TAPED WITH MIN 50mm WIDE PRESSURE SENSITIVE WATERPROOF PAINT.

15. FORM CONSTRUCTION JOINTS IN CONCRETE ELEMENTS ONLY WHERE SHOWN ON THE DRAWINGS OR AS OTHERWISE APPROVED BY THE DESIGN ENGINEER. ALL CONCRETE INTERFACES TO CONSTRUCTION JOINT SHALL BE SCABBLED, CLEANED AND COATED WITH A CEMENT SLURRY IMMEDIATELY PRIOR TO POURING CONCRETE

16. ALL CONCRETE SHALL BE COMPACTED USING MECHANICAL VIBRATORS

17. NO HOLES, CHASES OR EMBEDDED ITEMS OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.

18. CURING OF CONCRETE SHALL COMMENCE A MIN. OF 2 HRS AFTER CONCRETING IS FINISHED. CURING METHOD SHALL BE APPROVED BY THE DESIGN ENGINEER.

19. FORMWORK SHALL COMPLY WITH AS 3610 AND RELEVANT CONSTRUCTION SAFETY CODES. STRIPPING TIMES SHALL BE IN ACCORDANCE WITH TABLE 5.4.1 AND SHALL BE APPROVED BY THE DESIGN ENGINEER BEFORE PROCEEDING WITH THE WORK.

20. FINISHES TO UNFORMED SURFACES SHALL BE STEEL TROWELLED FINISH U.N.O.

21. SLUMP IN CONCRETE SHOULD BE THE MINIMUM POSSIBLE, AND NOT MORE THAN 80MM.

FILL MATERIAL & COMPACTION:

1. SELECTED FILL SHALL BE GRAVEL, DECOMPOSED OR BROKEN ROCK FREE FROM CLAY LUMPS AND ORGANIC MATTER, CONFORMING TO THE FOLLOWING GRADING REQUIREMENTS -

A.S. METRIC SIEVE	% PASSING BY WEIGHT
75mm	100
9.5mm	30 - 100
2.36mm	20 - 60
0.075mm	5 - 25

PRIOR TO PLACEMENT OF FILL (OR COMPACTION OF APPROVED MATERIAL) THE AREA OF THE WORKS SHALL BE STRIPPED OF ALL TOPSOIL AND DELETERIOUS MATERIAL.

2. THE SITE SHALL BE CUT AND FILLED TO FORM A LEVEL BUILDING PLATFORM. BATTERS AROUND THE HOUSE SHOULD BE DESIGNED TO WITHSTAND WEATHER EROSION.

3. THE OWNERS ATTENTION SHALL BE DRAWN TO APPENDIX B OF AS2870 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE" ON COMPLETION OF THE JOB.

4. FILL MATERIAL BENEATH SLAB SHALL BE COMPACTED IN ACCORDANCE WITH AS2870. PIERING IS REQUIRED WHERE THIS MATERIAL EXCEEDS ALLOWABLE FILL DETPHS.

5. FILL SHALL NOT EXCEED 800mm FOR SAND MATERIALS PLACED AND COMPACTED IN 300mm LAYERS OR 400mm FOR NON SAND MATERIALS PLACED AND COMPACTED IN 150mm LAYERS.

TIMBER:

- DESIGN, WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS1684, AS1720 AND AS1604, INCLUDING ALL TIE DOWNS, BLOCKING, BRACING ETC.
- ALL TIMBER WALL FRAMING TO BE SEASONED MGP12 UNLESS NOTED OTHERWISE.
- ALL FLOOR FRAMING, ROOF FRAMING AND LINTELS TO BE SEASONED F17 HARDWOOD UNLESS NOTED OTHERWISE.
- ALL EXTERNAL EXPOSED TIMBER SHALL COMPLY WITH THE REQUIREMENTS OF APPENDIX C OF AS1684.2 (IE PROVIDE PRESERVATIVE TREATMENT).
- TIMBER FLOORS IN WET AREAS SHALL BE PROTECTED FROM MOISTURE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- HOLES FOR BOLTS, UNLESS OTHERWISE NOTED, SHALL BE MADE OVERSIZE AS FOLLOWS:
BOLT DIAMETER 15mm OR LESS - 2mm OVERSIZE
BOLT DIAMTER 16MM OR MORE - 3mm OVERSIZE
- SHANK AND THREAD OF BOLTS SHALL BE THOROUGHLY COATED WITH A HEAVY WATERPROOF GREASE BEFORE INSERTING INTO THE TIMBER.

OWNER

THE OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE BUILDING AND THE SITE AND SHOULD BE FAMILIAR WITH THE PERFORMANCE AND MAINTENANCE REQUIREMENTS SET OUT IN THE CSRIO PAMPHLET, 10-91 "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE".

WE WILL NOT BE RESPONSIBLE FOR ANY UNAUTHORISED CHANGES TO THE PLANS, SPECIFICATIONS, MATERIALS, ETC. UNLESS I FIRST GIVE WRITTEN APPROVAL.

BUILDER TO PROVIDE ARCHITECT / ENGINEER WITH 48HRS NOTICE FOR INSPECTIONS, (IF ENGAGED).

STEELWORK

- FABRICATE AND ERECT ALL STEELWORK IN ACCORDANCE WITH AS4100, AS1538, AS4600 AND THE SPECIFICATION.
- THE CONTRACTOR SHALL SUBMIT 3 COPIES OF ALL SHOP DETAIL DRAWINGS FOR REVIEW AND PERMISSION TO USE BEFORE COMMENCING FABRICATION. REVIEW DOES NOT INCLUDE CHECKING OF DIMENSIONS. DO NOT BEGIN FABRICATION WITHOUT PERMISSION TO USE.
- ALL WELDING SHALL BE IN ACCORDANCE WITH AS1554.1 - 1991 BY A QUALIFIED AND EXPERIENCED OPERATOR. FILLET WELDS SHALL BE CATEGORY GP U.N.O. FULL PENETRATION BUTT WELDS SHALL BE CATEGORY SP U.N.O. E48XX ELECTRODES - TYPICAL
- ALL CUT STEEL EDGES TO BE GROUND TO A RADIUS OF 2mm. DEFECTS SUCH AS PIN HOLES, BLOW HOLES, HAMMER MARKS ETC SHALL BE RECTIFIED TO THE SATISFACTION OF THE ENGINEER PRIOR TO GALVANIZING OR PAINTING.
- DO NOT MAKE PENETRATIONS OR CUTOUTS OTHER THAN THOSE SHOWN ON THE DRAWINGS WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
- SURFACE PREPARATION PRIOR TO COATING SHALL BE ABRASIVE BLAST CLEANING TO AS1627.4 CLASS 2.5 U.N.O.
- CORROSION PROTECTION
 - SHOP APPLIED PAINTING - ALL STEELWORK U.N.O.
 - REMOVE ALL ARRISSES
 - SURFACES SHALL BE ABRASIVE BLAST CLEANED TO COMPLY WITH AS1627.4, CLASS 2.5
 - APPLY ONE COAT OF INORGANIC ZINC SILICATE TYPE 4 PAINT COMPLYING WITH AS2105 - 75 MICRON DRY FILM THICKNESS - WITHIN 4 HOURS OF CLEANING
 - GALVANIZING SHALL BE HOT DIPPED IN ACCORDANCE WITH AS1650
 - MINIMUM COATING THICKNESS 500 GSM
 - PROVIDE DRAIN HOLES AND VENTS IN CLOSED SECTIONS
 - REMOVE ALL ARRISSES
- FIELD TOUCH UP
 - SHOP APPLIED COATINGS
 - THOROUGHLY DEGREASE DAMAGED AREA USING SOLVENT IN ACCORDANCE WITH AS1627.1, RINSE THOROUGHLY WITH CLEAN WATER AND LIGHTLY ABRAD.
 - APPLY ONE COAT OF INTERZINC 72 - 75 MICRON DRY FILM THICKNESS.
 - GALVANIZED SURFACES
 - THOROUGHLY DEGREASE DAMAGED AREA USING SOLVENT IN ACCORDANCE WITH AS1627.1, THOROUGHLY RINSE WITH CLEAN WATER AND LIGHTLY ABRAD.
 - APPLY ONE COAT OF INTERZINC 352 - 50 MICRON DRY FILM THICKNESS.

9. TOP COAT - OPTIONAL

- PAINTED SURFACES

APPLY TWO COATS INTERLAC 665 ALKYD GLOSS ENAMEL AT 35 MICRONS DRY FILM THICKNESS EACH COAT. COLOUR TO SUPERINTENDENT.

- GALVANIZED SURFACES

ETCH PRIME THEN APPLY TWO COATS INTERLAC 665 ALKYD GLOSS ENAMEL AT 35 MICRONS DRY FILM THICKNESS EACH COAT. COLOUR TO SUPERINTENDENT.

10. CONCRETE ENCASE ALL STEELWORK BELOW GROUND, MIN 75 COVER TO ALL SURFACES. WRAP ENCASED MEMBERS WITH GGW41 - MIN 35 COVER U.N.O.

11. ALL HOLDING DOWN BOLTS, NUTS, WASHERS AND ALL FIXINGS TO BE CAST INTO CONCRETE SHALL BE HOT DIPPED GALVANISED. ALL HOLDING DOWN BOLTS SHALL BE HOT DIPPED GALVANIZED


12. UNLESS NOTED OTHERWISE.

- ALL CLEAT, GUSSET, END, FIN AND STIFFENER PLATES SHALL BE 10mm THICK TO AS3679-1990
- ALL BOLTS SHALL BE M20 4.6/S TO AS 1252-1983. MINIMUM CONNECTION 2M20 4.6/S BOLTS. BOLT HOLE CLEARANCE 2mm TYPICAL.
- WELDS SHALL BE 6mm CONTINUOUS FILLET TO AS1554 PART 1 - 1991. WELDS FULL PERIMETER OF CONTACT
- ALL BOLTS, NUTS AND WASHERS SHALL BE GALVANISED TO AS1214-1983
- MORTAR WHERE REQUIRED - A MINIMUM OF 25mm NON SHRINK GROUT - 40 MPa
- MASONRY ANCHORS TO BE HILTI HVU OR APPROVED EQUIVALENT (MIN SIZE M16) INSTALLED INTO CORE FILLED MASONRY OR CONCRETE
- BOLTS SHALL BE PROVIDED WITH THREADS EXCLUDED FROM THE SHEAR PLANE. PROVIDE A HARDENED WASHER UNDER ALL NUTS. WHERE TENSIONED USE LOAD INDICATING WASHERS AND TENSION TO AS1252

BRACING & TIE DOWN NOTES:

- TIMBER FRAMING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN SECTIONS 1 TO 7 OF AS1684.2-2010, THE ARCHITECTURAL SPECIFICATION, THE ARCHITECTURAL / ENGINEERING CONSTRUCTION DRAWINGS DETAILS AND OR MANUFACTURERS / MATERIAL SUPPLIERS DETAILS.
- BRACING OF THE TIMBER FRAME SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS PROVIDED IN SECTION 8 OF AS1684.2-2010, THE ARCHITECTURAL / ENGINEERING CONSTRUCTION DRAWINGS DETAILS AND OR MANUFACTURERS / MATERIAL SUPPLIERS DETAILS.
- TIE DOWN OF THE TIMBER FRAME SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS PROVIDED IN SECTION 9 OF ADS1684.2-2010, THE ARCHITECTURAL / ENGINEERING CONSTRUCTION DRAWINGS DETAILS AND OR MANUFACTURERS / MATERIAL SUPPLIERS DETAILS. NOMINAL (MINIMUM) FIXINGS SHOWN IN TABLE 9.4 OF AS1684.2-2010, INCLUDED IN TYPICAL DETAIL DRAWINGS, SHALL APPLY, AND ARE NOT REPEATED THROUGHOUT THE DRAWINGS OR DETAILS.
- ROOF TRUSS MANUFACTURER TO SUPPLY SIZES, LOCATIONS AND DETAILS OF AL ROOF BRACING PRIOR TO FABRICATION.
- ALL INTERNAL BRACING WALLS SHALL BE FIXED TO THE FLOOR FOR THE LOWER STOREY BRACING WALLS, THE CEILING OR ROOF FRAME, AND/OR THE EXTERNAL WALL FRAME, WITH STRUCTURAL CONNECTIONS OF EQUIVALENT SHEAR CAPACITY TO THE BRACING CAPACITY OF THAT PARTICULAR BRACING WALL. NOMINAL AND OTHER BRACING WALLS WITH A BRACING CAPACITY OF UP TO 1.5KN/M REQUIRE NOMINAL FIXING ONLY, i.e. NO ADDITIONAL FIXING REQUIREMENTS.
- BRACING CAPACITIES LISTED ARE SUITABLE FOR WALL HEIGHTS UP TO 2,700MM.
- DIFFERENT BRACING TYPES HAVE DIFFERENT BRACING ROTATIONAL AND UPLIFT CAPACITIES.

ANY CHANGES TO THOSE SHOWN WILL REQUIRE A RE-DESIGN AND APPROVAL BY THE ENGINEER.

	CENTRAL COAST COUNCIL LAND USE PLANNING
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Project No: 00856
Drawing No: A.02 B

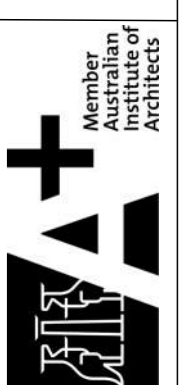
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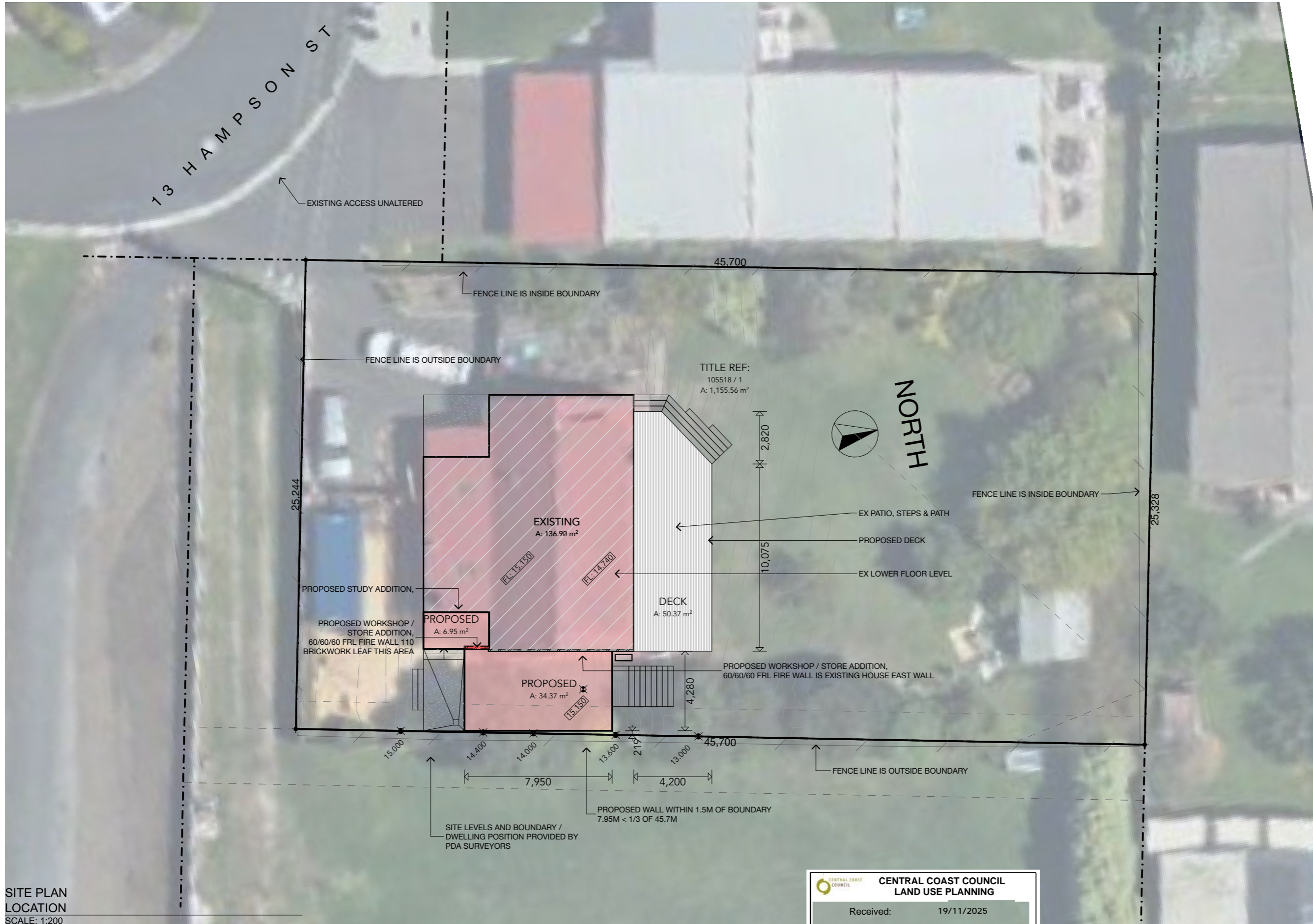
GENERAL NOTES
GENERAL NOTES
STATUS: 1:170
CLC UPDATE
SCALE (A3): 1:170
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS
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SITE PLAN
LOCATION
SCALE: 1:200

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Received:	19/11/2025
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Project No: **00856**

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LOCATION

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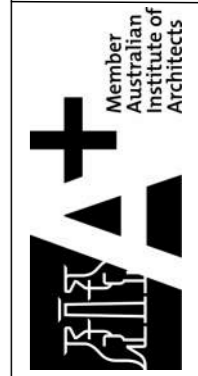
ADDITIONS & ALTERATIONS

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SITE PLAN
 DRAINAGE

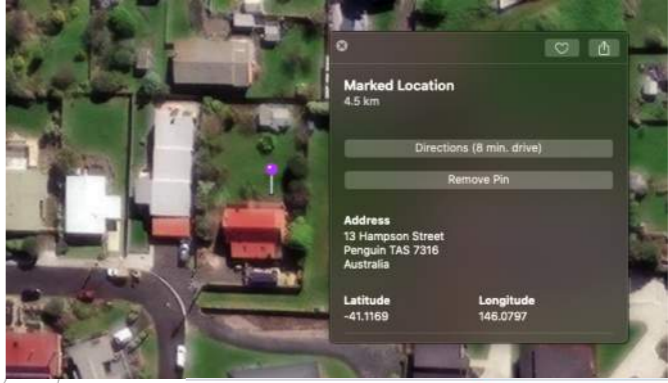
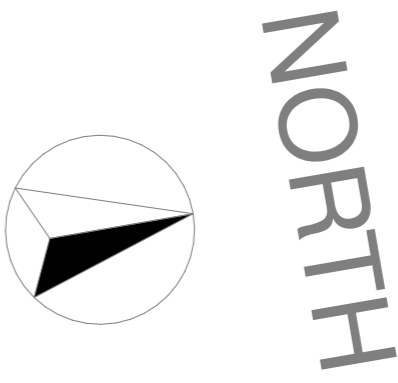
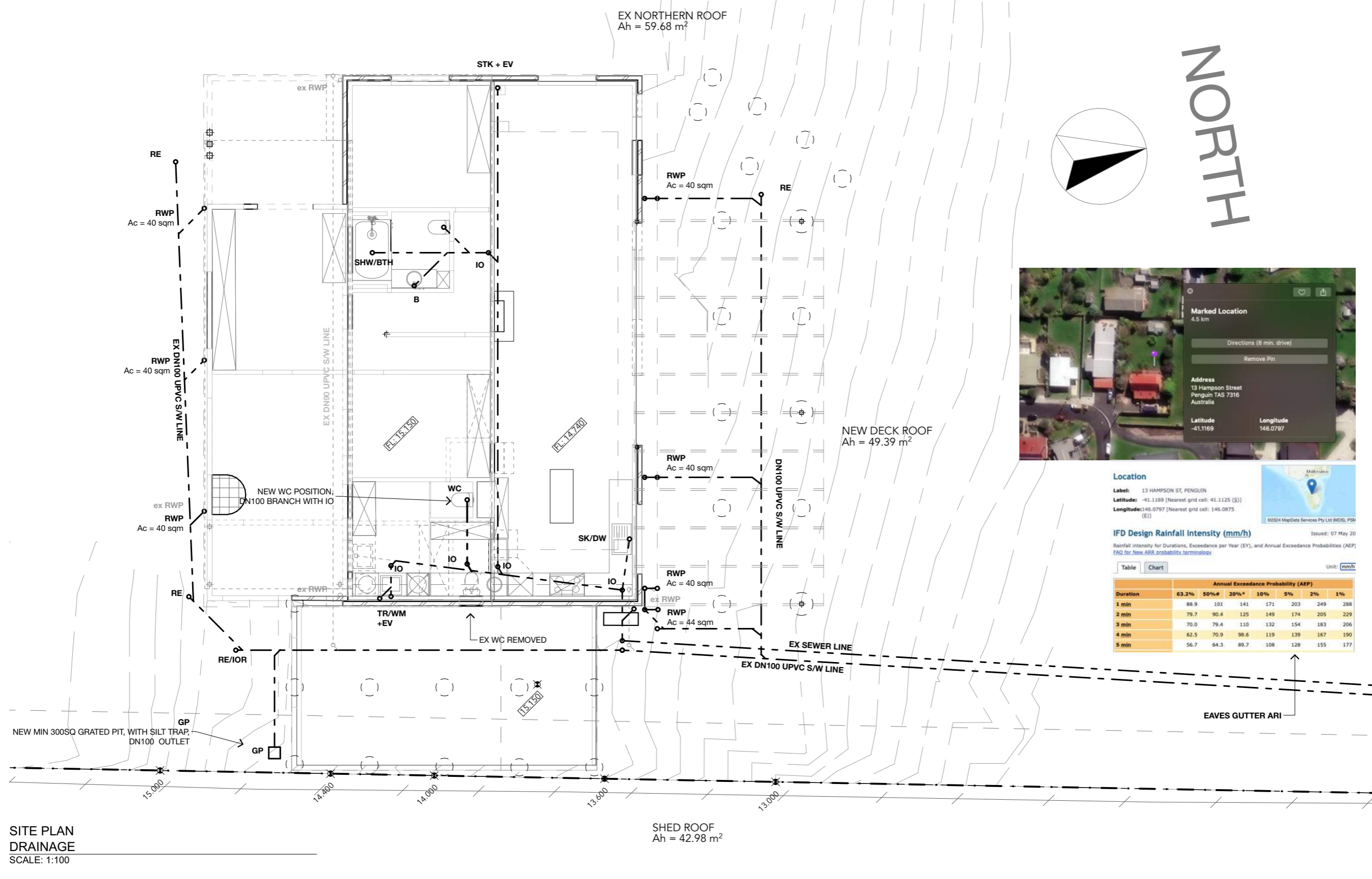
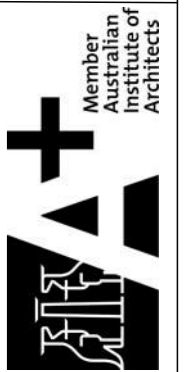
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 CLC UPDATE DRAWN: ACS
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ADDITIONS & ALTERATIONS

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Location
 Label: 13 HAMPSON ST, PENGUIN
 Latitude: -41.1169 [Nearest grid cell: 41.1125 (S)]
 Longitude: 146.0797 [Nearest grid cell: 146.0875 (E)]

IFD Design Rainfall Intensity (mm/h)
 Issued: 07 May 20
 Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP)
 FAQ for New ARR probability terminology

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	88.9	101	141	171	203	249	288
2 min	79.7	90.4	125	149	174	205	229
3 min	70.0	79.4	110	132	154	183	206
4 min	62.5	70.9	98.6	119	139	167	190
5 min	56.7	64.3	89.7	108	128	155	177

SITE PLAN
DRAINAGE
 SCALE: 1:100

SHED ROOF
 Ah = 42.98 m²

NEW DECK ROOF
 Ah = 49.39 m²

EX NORTHERN ROOF
 Ah = 59.68 m²

00856
07.05.24

**EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021
CRANE AD/ALTS - EX NORTHERN ROOF PLANE
13 HAMPSON ST, PENGUIN**

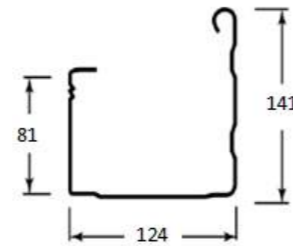
Horizontal catchment area	Ah = 60	sq.m
Roof Average slope	S = 33	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I = 128	mm/hr
Is Gutter slope steeper than 1:500 ?	No	
Down pipe size selected	dia = 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)		
Theoretical number of DPs required	Tnum = 1.6	
Selected Number of Down pipes	n = 2	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f = 1.32	
Roof Area allowing for slope	Ac = Ah*f = 79.2	sq.m
Catchment Area per DP	A = Ac/n = 39.6	sq.m
Flow/DP	q = I*A/3600 = 1.41	litres/sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area	= 6154	sq.mm
Gutter Area rounded to nearest 100sq.mm	= 6200	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size	= 75	mm
or Rectangular Down Pipe size	= 75x50	mm
Down Pipe size selected	= 90	mm

Summary

This catchment requires :- number of DPs	= 2	
Downpipe size	= 90	mm
minimum eaves gutter cross sectional Area	= 6154	sq.mm

GUTTER SELECTED: Lysaght Sheerline with return Slotted; Area = 7600 sq.mm

Notes: Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).



DOWNPIPE CAPACITY In terms of Plan area of roof.

	90 Dia	100 Dia	150 Dia	225 Dia	300 Dia
Max Catchment Area (sq.m)	55	70	176	464	890
Gutter Area (sq.mm)	8900	11000	24700	54762	97237

00856
07.05.24

**EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021
CRANE AD/ALTS - NEW DECK ROOF
13 HAMPSON ST, PENGUIN**

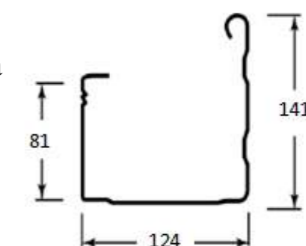
Horizontal catchment area	Ah = 50	sq.m
Roof Average slope	S = 6	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I = 128	mm/hr
Is Gutter slope steeper than 1:500 ?	No	
Down pipe size selected	dia = 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)		
Theoretical number of DPs required	Tnum = 1.06	
Selected Number of Down pipes	n = 2	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f = 1.05	
Roof Area allowing for slope	Ac = Ah*f = 52.5	sq.m
Catchment Area per DP	A = Ac/n = 26.3	sq.m
Flow/DP	q = I*A/3600 = 0.93	litres/sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area	= 4198	sq.mm
Gutter Area rounded to nearest 100sq.mm	= 4200	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size	= 65	mm
or Rectangular Down Pipe size	= 65x50	mm
Down Pipe size selected	= 90	mm

Summary

This catchment requires :- number of DPs	= 2	
Downpipe size	= 90	mm
minimum eaves gutter cross sectional Area	= 4198	sq.mm

GUTTER SELECTED: Lysaght Sheerline with return Slotted; Area = 7600 sq.mm

Notes: Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).

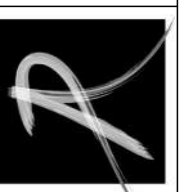


Project No: 00856
Drawing No: A.05 B

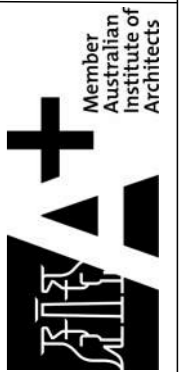
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DRAINAGE CALCULATIONS
DECK ROOF CALCS, EX NORTH ROOF CALCS
STATUS: CLC UPDATE
SCALE (A3): 1:1
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS
S.J. CRANE & K.J. HANSEN
13 HAMPSON ST PENGUIN



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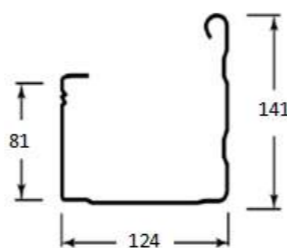
CENTRAL COAST COUNCIL
LAND USE PLANNING
Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058

EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021
CRANE AD/ALTS - SOUTHERN ROOF PLANE
13 HAMPSON ST, PENGUIN

Horizontal catchment area	Ah = 104	sq.m
Roof Average slope	S = 16.64	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I = 128	mm/hr
Is Gutter slope steeper than 1:500 ?	No	
Down pipe size selected	dia = 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)		
Theoretical number of DPs required	Tnum = 2.407	
Selected Number of Down pipes	n = 3	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f = 1.15	
Roof Area allowing for slope	Ac = Ah*f	
	= 119.6	sq.m
Catchment Area per DP	A = Ac/n	sq.m
	= 39.9	sq.m
Flow/DP	q = I*A/3600	litres/sec
	= 1.42	litres/sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area	= 6170	sq.mm
Gutter Area rounded to nearest 100sq.mm	= 6200	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size	= 75	mm
or Rectangular Down Pipe size	= 75x50	mm
Down Pipe size selected	= 90	mm
Summary		
This catchment requires :- number of DPs	= 3	
Downpipe size	= 90	mm
minimum eaves gutter cross sectional Area	= 6170	sq.mm

GUTTER SELECTED: Lysaght Sheerline with return Slotted; Area = 7600 sq.mm

Notes: Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).

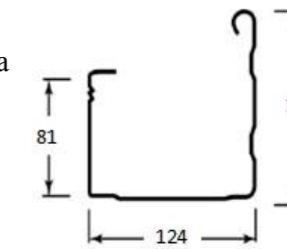


EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2021
CRANE AD/ALTS - NEW SHED ROOF
13 HAMPSON ST, PENGUIN

Horizontal catchment area	Ah = 43	sq.m
Roof Average slope	S = 2	degrees
Intensity ARI 20 (AEP 5%)(5 min)	I = 128	mm/hr
Is Gutter slope steeper than 1:500 ?	No	
Down pipe size selected	dia = 90	mm
Cross referencing From Table 3.5.2 and Fig 3.5.4(A)or(B)		
Theoretical number of DPs required	Tnum = 0.881	
Selected Number of Down pipes	n = 1	
from AS3500 Table 3.4.3.2, C'ment Area Multiplier	f = 1.02	
Roof Area allowing for slope	Ac = Ah*f	
	= 43.9	sq.m
Catchment Area per DP	A = Ac/n	sq.m
	= 43.9	sq.m
Flow/DP	q = I*A/3600	litres/sec
	= 1.56	litres/sec
from AS/NZS 3500 fig 3.5.4(B), Gutter Area	= 6738	sq.mm
Gutter Area rounded to nearest 100sq.mm	= 6700	sq.mm
From AS/NZS 3500 Table 3.5.2, Down Pipe size	= 80	mm
or Rectangular Down Pipe size	= 100x50	mm
Down Pipe size selected	= 90	mm
Summary		
This catchment requires :- number of DPs	= 1	
Downpipe size	= 90	mm
minimum eaves gutter cross sectional Area	= 6738	sq.mm

GUTTER SELECTED: Lysaght Sheerline with return Slotted; Area = 7600 sq.mm

Notes: Catchment area of each DP to be roughly similar size. Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2). Not applicable in Victoria.



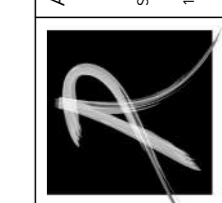
DOWNPIPE CAPACITY In terms of Plan area of roof.

	90 Dia	100 Dia	150 Dia	225 Dia	300 Dia
Max Catchment Area (sq.m)	55	70	176	464	890
Gutter Area (sq.mm)	8900	11000	24700	54762	97237

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DRAINAGE CALCULATIONS
 DECK ROOF CALCS, SHED ROOF CALCS, SOUTH
 ROOF CALCS
 STATUS: SCALE (A3): 1:1
 CLC UPDATE DRAWN: ACS
 DATE: 18.11.25

ADDITIONS & ALTERATIONS
 S.J. CRANE & K.J. HANSEN
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CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: 00856
 Drawing No: A.07 B

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FLOOR PLAN
 EXISTING / DEMOLITION

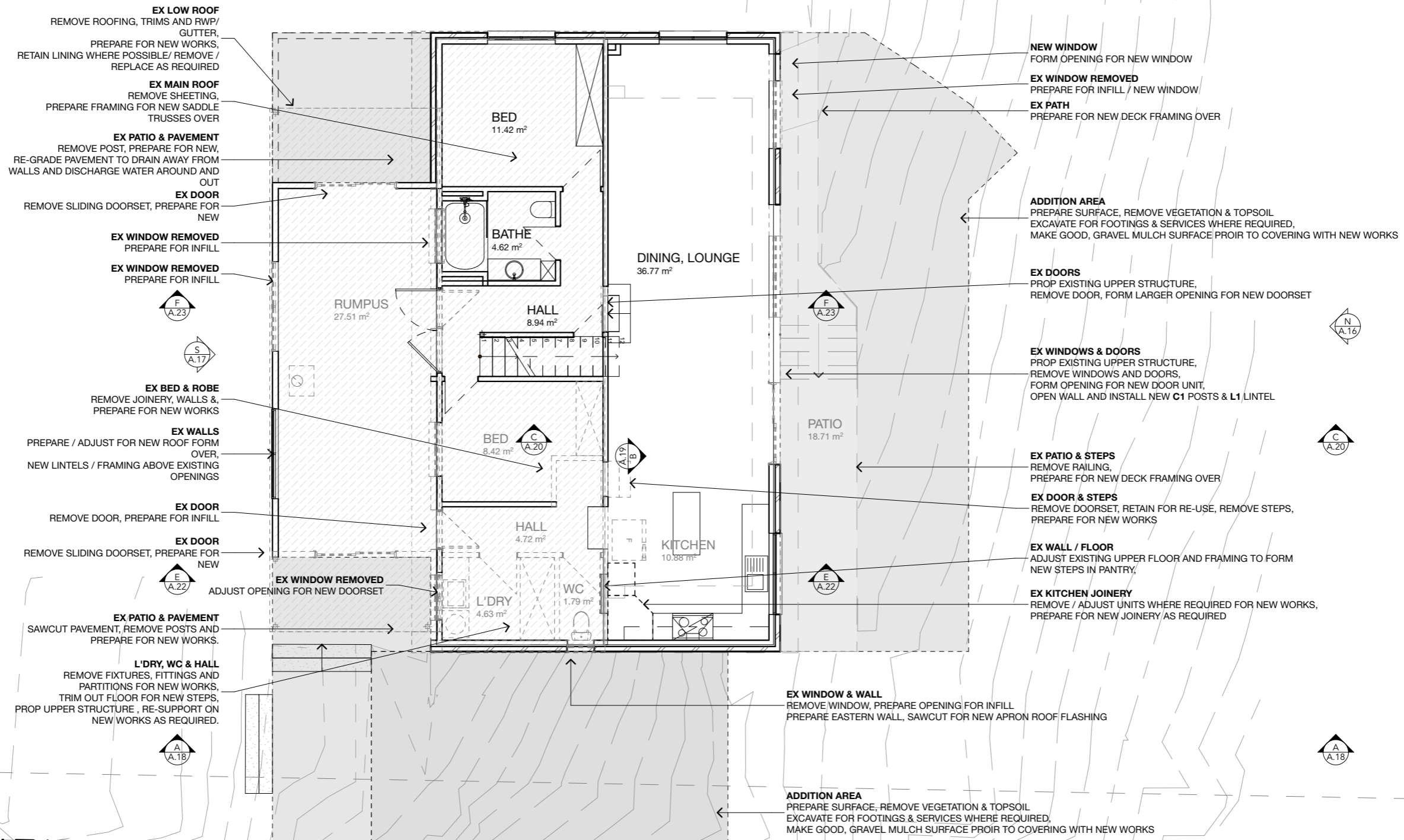
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 DATE: 18.11.25

ADDITIONS & ALTERATIONS

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FLOOR PLAN
EXISTING / DEMOLITION
 SCALE: 1:100

**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058



FOOTING SCHEDULE				
CODE	W	H	NOM VOL	NOTES
DP1	450	1,000	3.84	450 DIA BORED PIERS MIN 1,000 DEEP, FOUNDED IN APPROVED UNIFORM MATERIAL TO ENGINEERS APPROVAL, MIN N20 CONCRETE
DP2	600	1,200	1.02	600 DIA BORED PIERS MIN 1,200 DEEP, FOUNDED IN APPROVED UNIFORM MATERIAL TO ENGINEERS APPROVAL, MIN N20 CONCRETE
			4.86 m³	

**FLOOR PLAN
FOOTING SETOUT**
SCALE: 1:100

Project No: **00856**
 Drawing No: **A.08 B**

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FLOOR PLAN
 FOOTING SETOUT, FOOTING SCHEDULE

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 DATE: 18.11.25

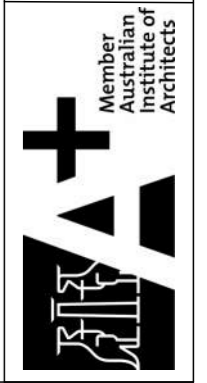
ADDITIONS & ALTERATIONS

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SLAB SCHEDULE		
CODE	NOM VOLUME	NOTES
SLAB - A	3.78	NEW SLAB, REFER ENGINEERING, OVER FORTECON, BLINDING & COMPACTED HARDCORE FILL, OBTAIN SITE DIRECTION FOR APPROVAL OF FOUNDING MATERIAL. ABELFLEX AT ABUTMENTS TO EXISTING STRUCTURES
SLAB - B	4.05	OVERLAY SLAB, REFER ENGINEERING, OVER FORTECON, LAPPED & TAPED, SAWCUT AND REMOVE / SCABBLE EXISTING WHERE REQUIRED, OBTAIN SITE DIRECTION FOR SLAB DETAILS WHERE THICKNESS IS < 75MM, ABELFLEX AT ABUTMENTS TO EXISTING STRUCTURES

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: **00856**
 Drawing No: **A.09 B**

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FLOOR PLAN
 SLAB SETOUT, SLAB SCHEDULE

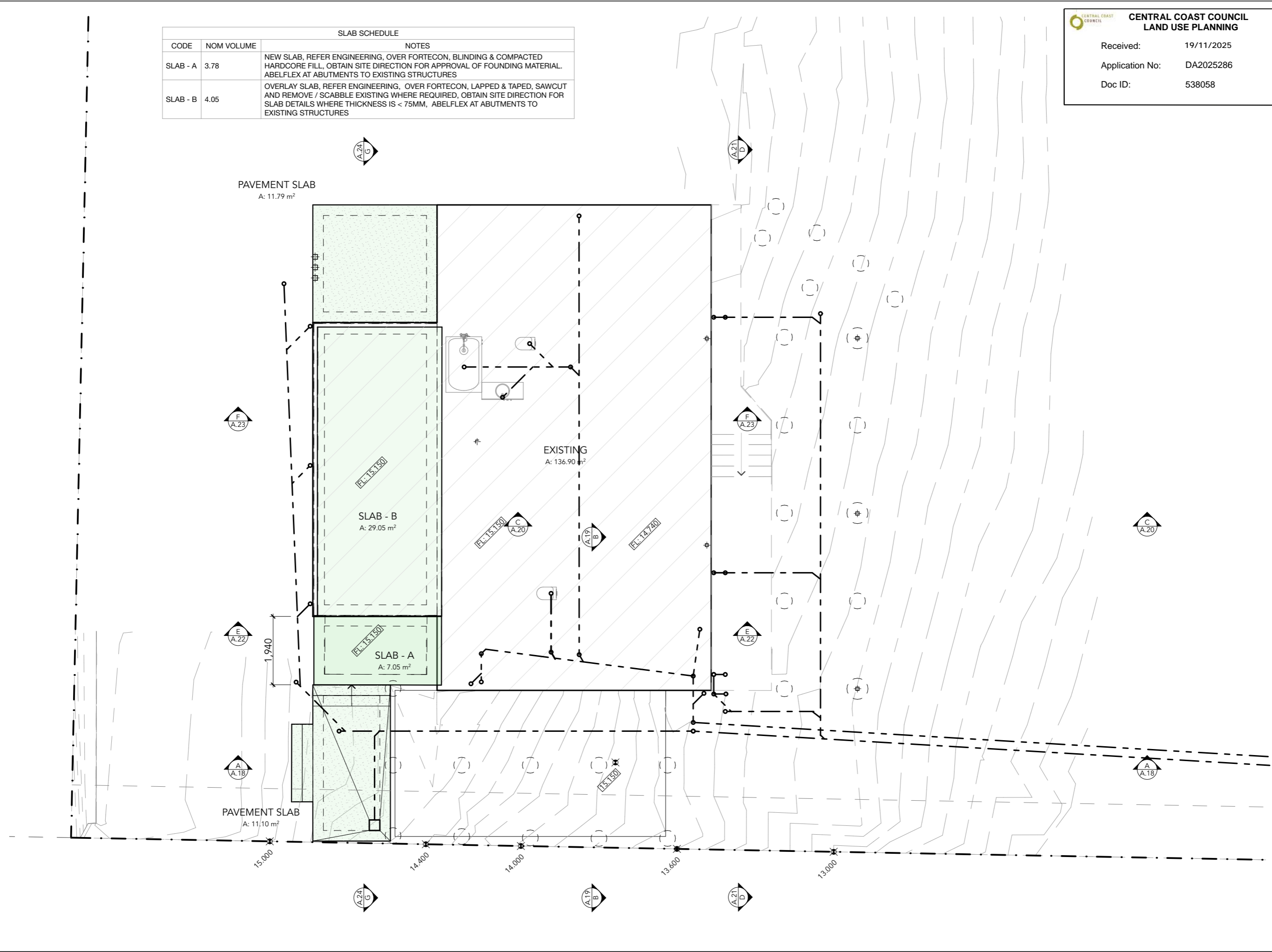
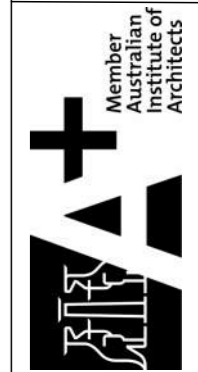
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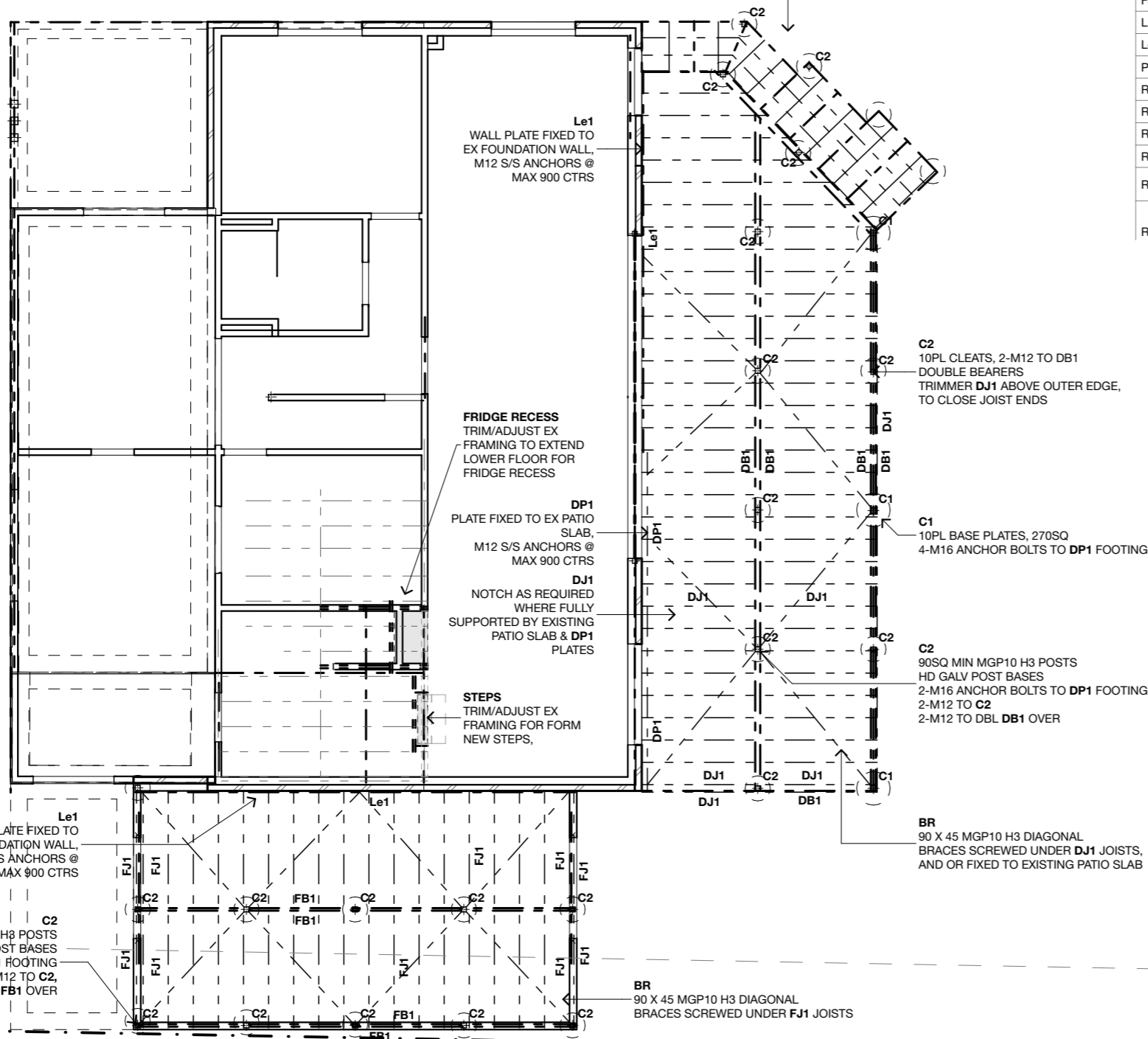
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STEPS
 FRAME UP STEPS FROM **DB1**, **DJ1** MEMBERS AS REQUIRED,
 PROVIDE DBL **DB1** STRINGERS / RAKING UNDER BEARERS,
 FRAME TREAD PANELS IN **DJ1** LADDER FRAMES



MEMBER SCHEDULE			
MARK	MEMBER	NOTES	FINISH
BTN	MGP12	MIN 90 X 35 MGP12 ROOF BATTENS @ MAX 600 CTRS	
C1	SHS100X100X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
C3	SHS89X89X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
DB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
DJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 400 CTRS	
DP1	MGP10 H3 TP	90 X 45 MGP10 H3 PLATE TO TOP OF PATIO SLAB	
DS	MGP10	MIN 90 X 70 DOUBLE STUD, MGP10	
FB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
FJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 450 CTRS	
L1	UB310X46	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
Le1	MGP10 H3 TP	190 X 45 MGP10 H3 LEDGER, REFER RARE ENGINEERS DETAILS	
P1	MGP10 H3 TP	NOM 135SQ LOSP GL MGP10 TREATED POSTS	
R1	MEYSPAN 13		
R2	RHS150X50X4.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB1	GL18C	200 X 45 MEYSPAN 13 PURLINS @ MAX 600 CTRS	
RB2	RHS250X150X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB3	MEYSPAN 13	240 X 63 MEYSPAN 13 ROOF BEAM, ABOVE EXISTING WALL TO SUPPLEMENT EX LINTELS, VERANDAH BEAM TO ENTRY PORCH	
RT	MGP12	PROPRIETARY GANGNAIL ROOF TRUSSES @ MAX 900 CTRS. MIN 90 X 35 MGP12 CHORDS. REFER TRUSS SUPPLIER FOR SYSTEM DETAILS & CERTIFICATION AS A COMPLETE ROOF	

Project No: **00856**
 Drawing No: **A.10 B**

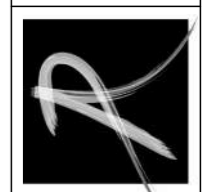
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FLOOR PLAN
 FLOOR FRAMING SETOUT, MEMBER SCHEDULE

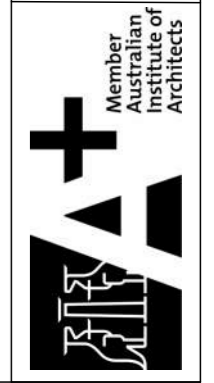
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 DATE: 18.11.25

ADDITIONS & ALTERATIONS

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FLOOR PLAN
FLOOR FRAMING SETOUT
 SCALE: 1:100

MEMBER SCHEDULE			
MARK	MEMBER	NOTES	FINISH
BTN	MGP12	MIN 90 X 35 MGP12 ROOF BATTENS @ MAX 600 CTRS	
C1	SHS100X100X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
C3	SHS89X89X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
DB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
DJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 400 CTRS	
DP1	MGP10 H3 TP	90 X 45 MGP10 H3 PLATE TO TOP OF PATIO SLAB	
DS	MGP10	MIN 90 X 70 DOUBLE STUD, MGP10	
FB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
FJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 450 CTRS	
L1	UB310X46	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
Le1	MGP10 H3 TP	190 X 45 MGP10 H3 LEDGER, REFER RARE ENGINEERS DETAILS	
P1	MGP10 H3 TP	NOM 135SQ LOSP GL MGP10 TREATED POSTS	
R1	MEYSPAN 13		
R2	RHS150X50X4.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB1	GL18C	200 X 45 MEYSPAN 13 PURLINS @ MAX 600 CTRS	
RB2	RHS250X150X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB3	MEYSPAN 13	240 X 63 MEYSPAN 13 ROOF BEAM, ABOVE EXISTING WALL TO SUPPLEMENT EX LINTELS, VERANDAH BEAM TO ENTRY PORCH	
RT	MGP12	PROPRIETARY GANGNAIL ROOF TRUSSES @ MAX 900 CTRS. MIN 90 X 35 MGP12 CHORDS. REFER TRUSS SUPPLIER FOR SYSTEM DETAILS & CERTIFICATION AS A COMPLETE ROOF	

Project No: **00856**
 Drawing No: **A.11 B**

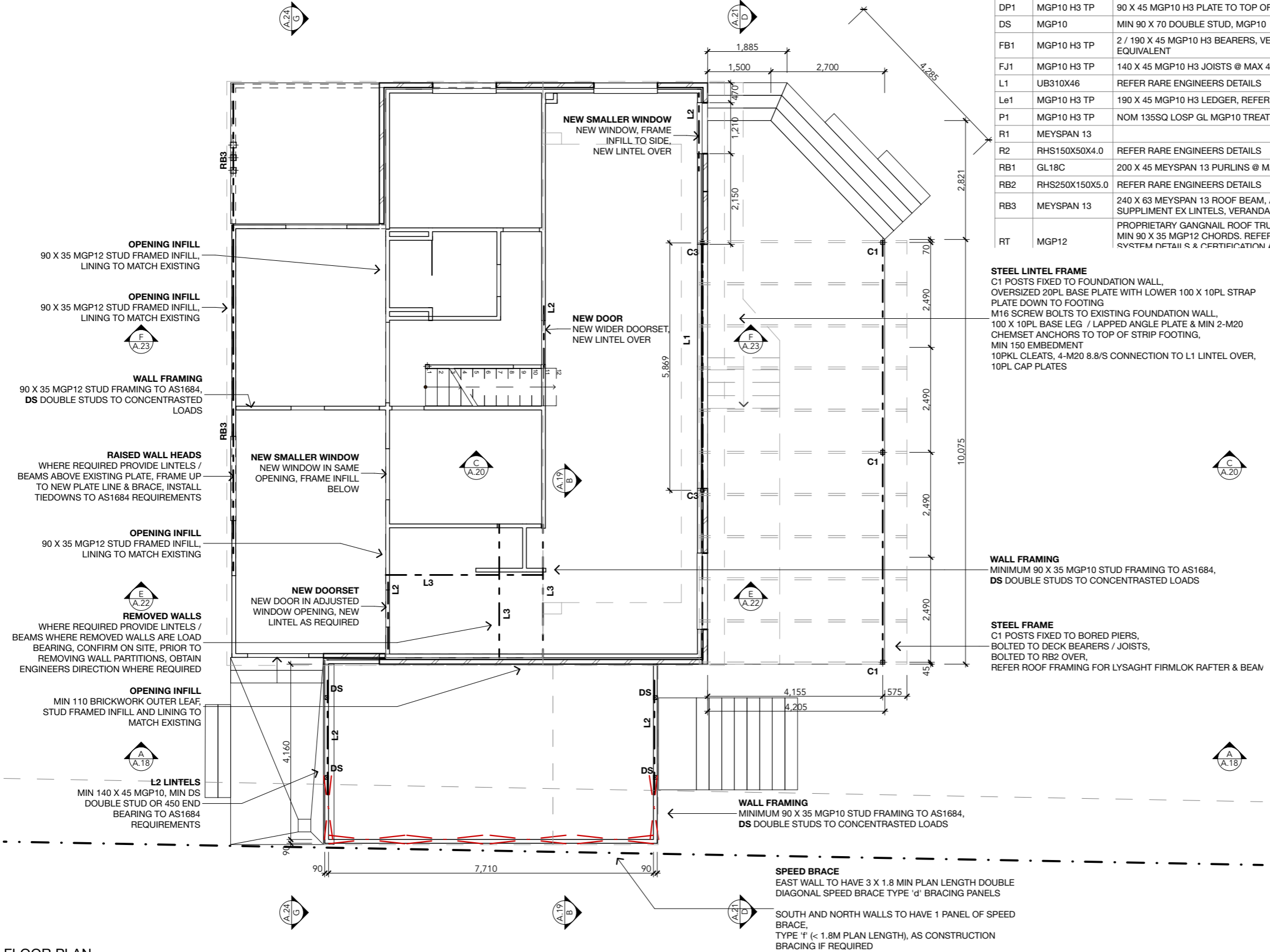
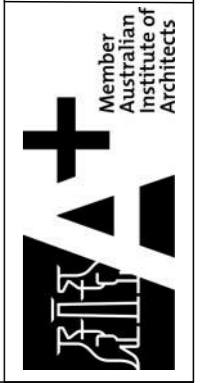
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FLOOR PLAN
 FRAMING SETOUT, LINTELS & BRACING.
 MEMBER SCHEDULE
 STATUS: SCALE (A3): 1:100, 1:1
 DRAWN: ACS
 DATE: 18.11.25
 CLC UPDATE

ADDITIONS & ALTERATIONS
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FLOOR PLAN
FRAMING SETOUT, LINTELS & BRACING
 SCALE: 1:100

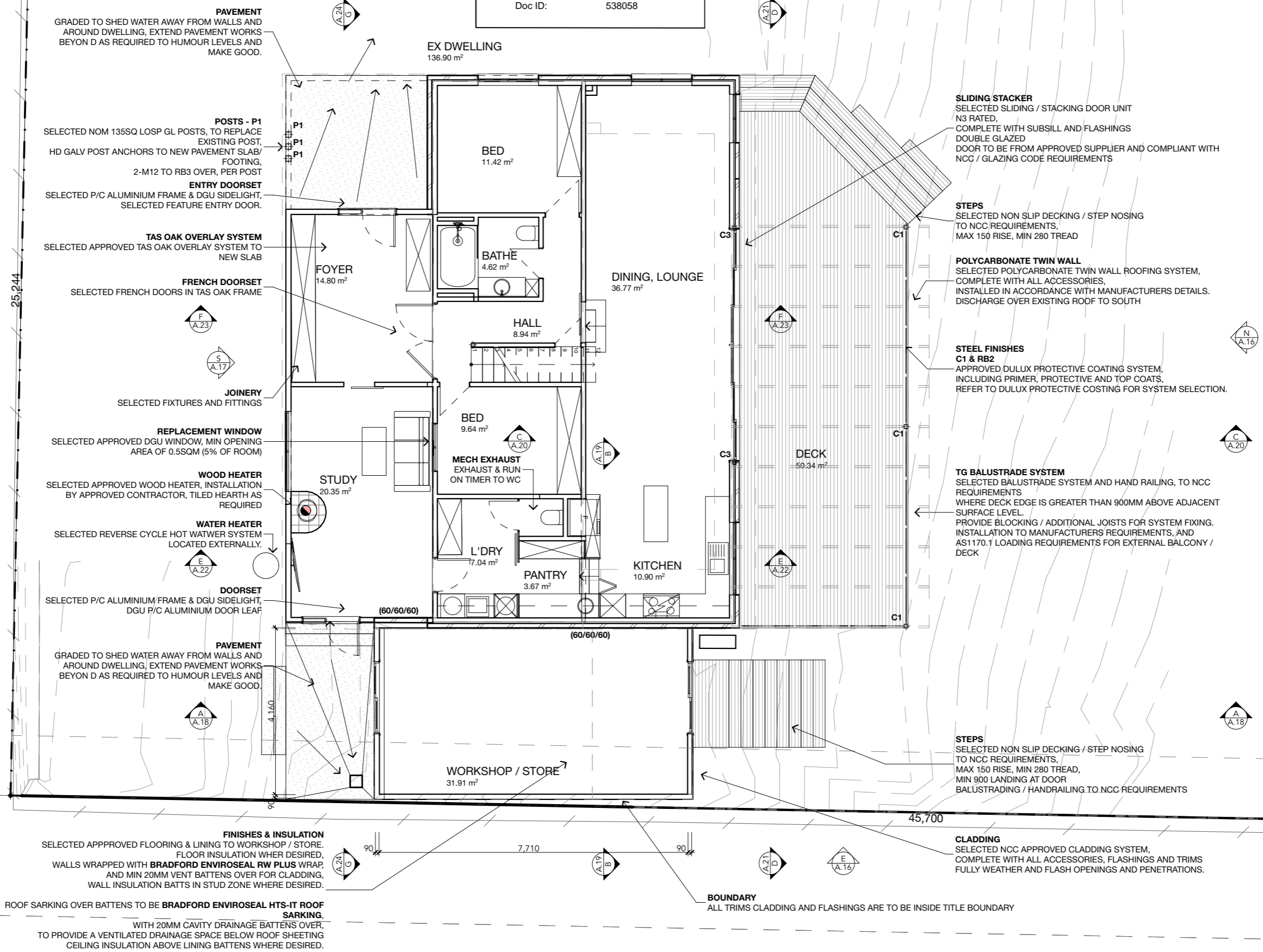
STEEL LINTEL FRAME
 C1 POSTS FIXED TO FOUNDATION WALL, OVERSIZED 20PL BASE PLATE WITH LOWER 100 X 10PL STRAP PLATE DOWN TO FOOTING
 M16 SCREW BOLTS TO EXISTING FOUNDATION WALL, 100 X 10PL BASE LEG / LAPPED ANGLE PLATE & MIN 2-M20 CHEMSET ANCHORS TO TOP OF STRIP FOOTING, MIN 150 EMBEDMENT
 10PKL CLEATS, 4-M20 8.8/S CONNECTION TO L1 LINTEL OVER, 10PL CAP PLATES

WALL FRAMING
 MINIMUM 90 X 35 MGP10 STUD FRAMING TO AS1684, DS DOUBLE STUDS TO CONCENTRATED LOADS

STEEL FRAME
 C1 POSTS FIXED TO BORED PIERS, BOLTED TO DECK BEARERS / JOISTS, BOLTED TO RB2 OVER, REFER ROOF FRAMING FOR LYSAGHT FIRMLOK RAFTER & BEAM

WALL FRAMING
 MINIMUM 90 X 35 MGP10 STUD FRAMING TO AS1684, DS DOUBLE STUDS TO CONCENTRATED LOADS

SPEED BRACE
 EAST WALL TO HAVE 3 X 1.8 MIN PLAN LENGTH DOUBLE DIAGONAL SPEED BRACE TYPE 'd' BRACING PANELS
 SOUTH AND NORTH WALLS TO HAVE 1 PANEL OF SPEED BRACE, TYPE 'f' (< 1.8M PLAN LENGTH), AS CONSTRUCTION BRACING IF REQUIRED



PAVEMENT
GRADED TO SHED WATER AWAY FROM WALLS AND AROUND DWELLING. EXTEND PAVEMENT WORKS BEYOND AS REQUIRED TO HUMOUR LEVELS AND MAKE GOOD.

POSTS - P1
SELECTED NOM 135SQ LOSP GL POSTS, TO REPLACE EXISTING POST, HD GALV POST ANCHORS TO NEW PAVEMENT SLAB/ FOOTING, 2-M12 TO RB3 OVER, PER POST

ENTRY DOORSET
SELECTED P/C ALUMINIUM FRAME & DGU SIDELIGHT, SELECTED FEATURE ENTRY DOOR.

TAS OAK OVERLAY SYSTEM
SELECTED APPROVED TAS OAK OVERLAY SYSTEM TO NEW SLAB

FRENCH DOORSET
SELECTED FRENCH DOORS IN TAS OAK FRAME

JOINERY
SELECTED FIXTURES AND FITTINGS

REPLACEMENT WINDOW
SELECTED APPROVED DGU WINDOW, MIN OPENING AREA OF 0.5SQM (5% OF ROOM)

WOOD HEATER
SELECTED APPROVED WOOD HEATER, INSTALLATION BY APPROVED CONTRACTOR, TILED HEARTH AS REQUIRED

WATER HEATER
SELECTED REVERSE CYCLE HOT WATER SYSTEM LOCATED EXTERNALLY.

DOORSET
SELECTED P/C ALUMINIUM FRAME & DGU SIDELIGHT, DGU P/C ALUMINIUM DOOR LEAF

PAVEMENT
GRADED TO SHED WATER AWAY FROM WALLS AND AROUND DWELLING, EXTEND PAVEMENT WORKS BEYOND AS REQUIRED TO HUMOUR LEVELS AND MAKE GOOD.

FINISHES & INSULATION
SELECTED APPROVED FLOORING & LINING TO WORKSHOP / STORE. FLOOR INSULATION WHERE DESIRED, WALLS WRAPPED WITH BRADFORD ENVIROSEAL RW PLUS WRAP, AND MIN 20MM VENT BATTENS OVER FOR CLADDING, WALL INSULATION BATTENS IN STUD ZONE WHERE DESIRED.

ROOF SARKING OVER BATTENS TO BE BRADFORD ENVIROSEAL HTS-IT ROOF SARKING, WITH 20MM CAVITY DRAINAGE BATTENS OVER, TO PROVIDE A VENTILATED DRAINAGE SPACE BELOW ROOF SHEETING CEILING INSULATION ABOVE LINING BATTENS WHERE DESIRED.

SLIDING STACKER
SELECTED SLIDING / STACKING DOOR UNIT N3 RATED, COMPLETE WITH SUBSILL AND FLASHINGS DOUBLE GLAZED DOOR TO BE FROM APPROVED SUPPLIER AND COMPLIANT WITH NCC / GLAZING CODE REQUIREMENTS

STEPS
SELECTED NON SLIP DECKING / STEP NOSING TO NCC REQUIREMENTS, MAX 150 RISE, MIN 280 TREAD

POLYCARBONATE TWIN WALL
SELECTED POLYCARBONATE TWIN WALL ROOFING SYSTEM, COMPLETE WITH ALL ACCESSORIES, INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS. DISCHARGE OVER EXISTING ROOF TO SOUTH

STEEL FINISHES C1 & RB2
APPROVED DULUX PROTECTIVE COATING SYSTEM, INCLUDING PRIMER, PROTECTIVE AND TOP COATS, REFER TO DULUX PROTECTIVE COSTING FOR SYSTEM SELECTION.

TG BALUSTRADE SYSTEM
SELECTED BALUSTRADE SYSTEM AND HAND RAILING, TO NCC REQUIREMENTS WHERE DECK EDGE IS GREATER THAN 900MM ABOVE ADJACENT SURFACE LEVEL. PROVIDE BLOCKING / ADDITIONAL JOISTS FOR SYSTEM FIXING. INSTALLATION TO MANUFACTURERS REQUIREMENTS, AND AS1170.1 LOADING REQUIREMENTS FOR EXTERNAL BALCONY / DECK

STEPS
SELECTED NON SLIP DECKING / STEP NOSING TO NCC REQUIREMENTS, MAX 150 RISE, MIN 280 TREAD, MIN 900 LANDING AT DOOR BALUSTRADING / HANDRAILING TO NCC REQUIREMENTS

CLADDING
SELECTED NCC APPROVED CLADDING SYSTEM, COMPLETE WITH ALL ACCESSORIES, FLASHINGS AND TRIMS FULLY WEATHER AND FLASH OPENINGS AND PENETRATIONS.

BOUNDARY
ALL TRIMS CLADDING AND FLASHINGS ARE TO BE INSIDE TITLE BOUNDARY

FLOOR PLAN
NOTATION
SCALE: 1:100

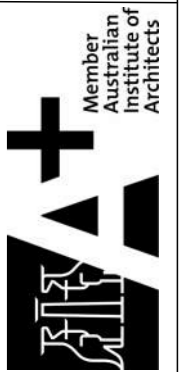
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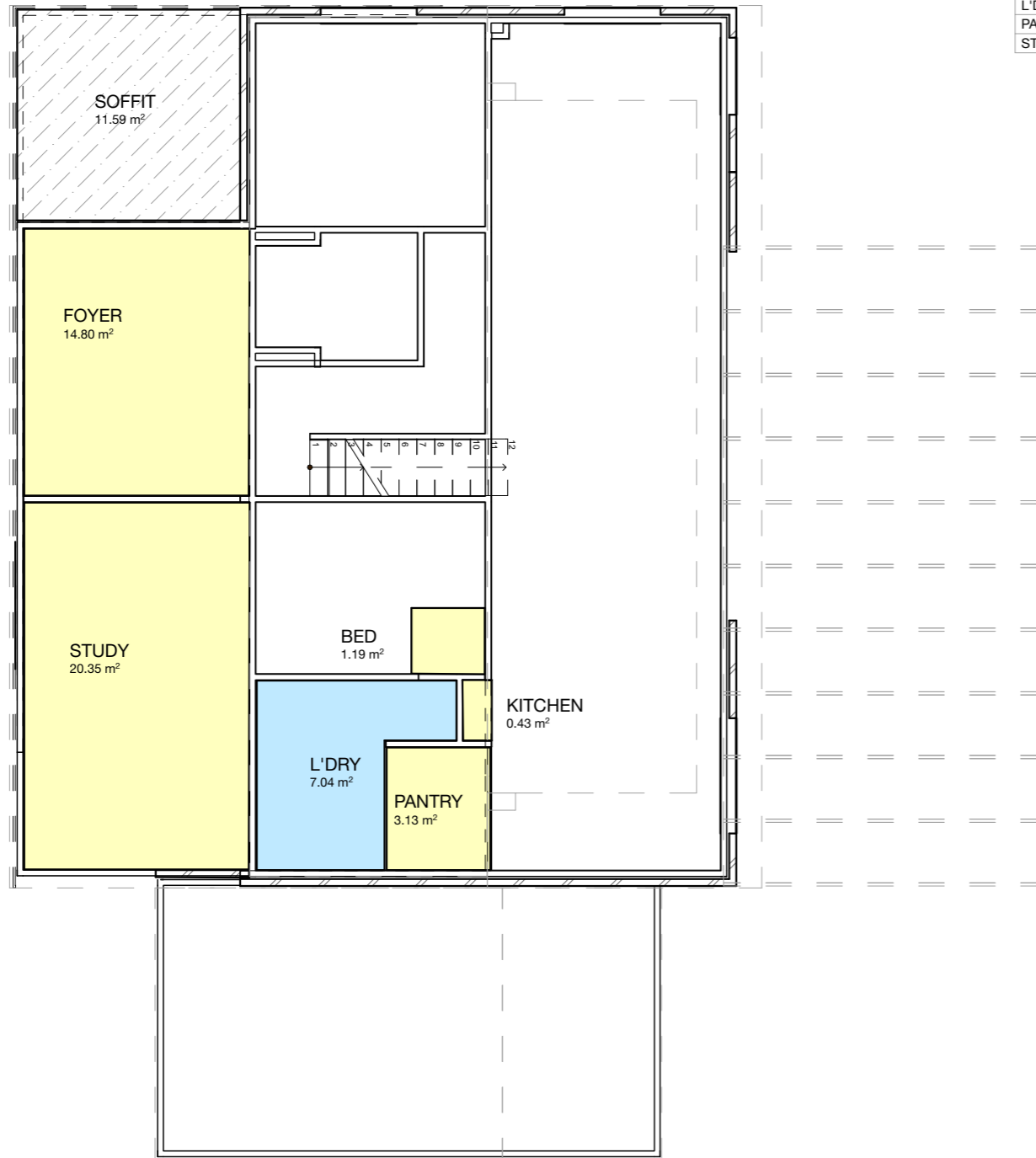
FLOOR PLAN
NOTATION
STATUS: CLC UPDATE
SCALE (A3): 1:100
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS
S.J. CRANE & K.J. HANSEN
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CEILING SCHEDULE									
ROOM	CEILING HEIGHT	AREA	PERIMETER	CORNERS	LINING	THICKNESS	CORNICE/TRIM	INSULATION	NOTES
BED	2,400	1.19	4,371	4	PB	10	MATCH EX	R5.0	CEILING REPAIR / MAKE GOOD
FOYER	2,400	14.80	15,444	4	PB	10	MATCH EX	R5.0	
KITCHEN	2,400	0.43	2,809	4	PB	10	MATCH EX	R5.0	CEILING REPAIR / MAKE GOOD
L'DRY	2,400	7.04	12,230	6	PBW	10	MATCH EX	R5.0	CEILING REPAIR / MAKE GOOD
PANTRY	2,400	3.13	7,107	5	PB	10	MATCH EX	R5.0	CEILING REPAIR / MAKE GOOD
STUDY	2,400	20.35	18,585	4	PB	10	MATCH EX	R5.0	

CEILING PLAN
 FINISHES & INSULATION
 SCALE: 1:100

Project No: **00856**
 Drawing No: **A.13 B**

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CEILING PLAN
 FINISHES & INSULATION, CEILING SCHEDULE

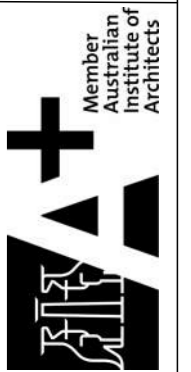
STATUS: CLC UPDATE
 SCALE (A3): 1:100, 1:1
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 DATE: 18.11.25

ADDITIONS & ALTERATIONS

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**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058

MEMBER SCHEDULE			
MARK	MEMBER	NOTES	FINISH
BTN	MGP12	MIN 90 X 35 MGP12 ROOF BATTENS @ MAX 600 CTRS	
C1	SHS100X100X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
C3	SHS89X89X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
DB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
DJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 400 CTRS	
DP1	MGP10 H3 TP	90 X 45 MGP10 H3 PLATE TO TOP OF PATIO SLAB	
DS	MGP10	MIN 90 X 70 DOUBLE STUD, MGP10	
FB1	MGP10 H3 TP	2 / 190 X 45 MGP10 H3 BEARERS, VERTICAL NAIL LAMINATED OR EQUIVALENT	
FJ1	MGP10 H3 TP	140 X 45 MGP10 H3 JOISTS @ MAX 450 CTRS	
L1	UB310X46	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
Le1	MGP10 H3 TP	190 X 45 MGP10 H3 LEDGER, REFER RARE ENGINEERS DETAILS	
P1	MGP10 H3 TP	NOM 135SQ LOSP GL MGP10 TREATED POSTS	
R1	MEYSPAN 13		
R2	RHS150X50X4.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB1	GL18C	200 X 45 MEYSPAN 13 PURLINS @ MAX 600 CTRS	
RB2	RHS250X150X5.0	REFER RARE ENGINEERS DETAILS	INDUSTRIAL PAINT FINISH
RB3	MEYSPAN 13	240 X 63 MEYSPAN 13 ROOF BEAM, ABOVE EXISTING WALL TO SUPPLEMENT EX LINTELS, VERANDAH BEAM TO ENTRY PORCH	
RT	MGP12	PROPRIETARY GANGNAIL ROOF TRUSSES @ MAX 900 CTRS. MIN 90 X 35 MGP12 CHORDS. REFER TRUSS SUPPLIER FOR SYSTEM DETAILS & CERTIFICATION AS A COMPLETE ROOF	

Project No: **00856**
Drawing No: **A.14 B**

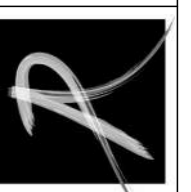
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ROOF PLAN
FRAMING SETOUT, MEMBER SCHEDULE

STATUS: CLC UPDATE
SCALE (A3): 1:100, 1:1
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS

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SOUTH ROOF
DASHED AREA DENOTED EXISTING ROOF PLANE TO HAVE NEW SADDLE TRUSSES OR FRAMING OVER TO AS1684, TO FORM NEW CONTINUOUS ROOF PLANE. REFER SECTIONS

SPEED BRACE
ROOF BRACING PAIRS TO PRYDA INSTALLATION DETAILS

ROOF TRUSSES
PROPRIETARY GANGNAIL ROOF (JACK) TRUSSES @ MAX 900 CTRS, 90 X 35 MGP10, AS COMPLETE ROOF FRAME SYSTEM REFER TO SUPPLIER FOR FINAL BRACING, TIE DOWN & CERTIFICATION

PERGOLA / DECK ROOF
NEW STEEL FRAME ROOF OVER DECK, TO SUIT POLYCARBONATE SHEETING, REFER STRUCTURAL DETAILS

R1
150 X 45 MEYSPAN 13 RAFTERS @ MAX 600 CTRS

RB1
260 X 65 GL15C ROOF BEAMS, POST SUPPORT AT EXISTING BRICKWORK, MIN DBL STUD TO NEW WALL

SPEED BRACE
ROOF BRACING PAIRS TO PRYDA INSTALLATION DETAILS

ROOF PLAN
FRAMING SETOUT
SCALE: 1:100

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ROOF PLAN
 NOTATION & FINISHES, ROOF SCHEDULE

STATUS: SCALE (A3): 1:100, 1:1
 CLC UPDATE DRAWN: ACS
 DATE: 18.11.25

ADDITIONS & ALTERATIONS

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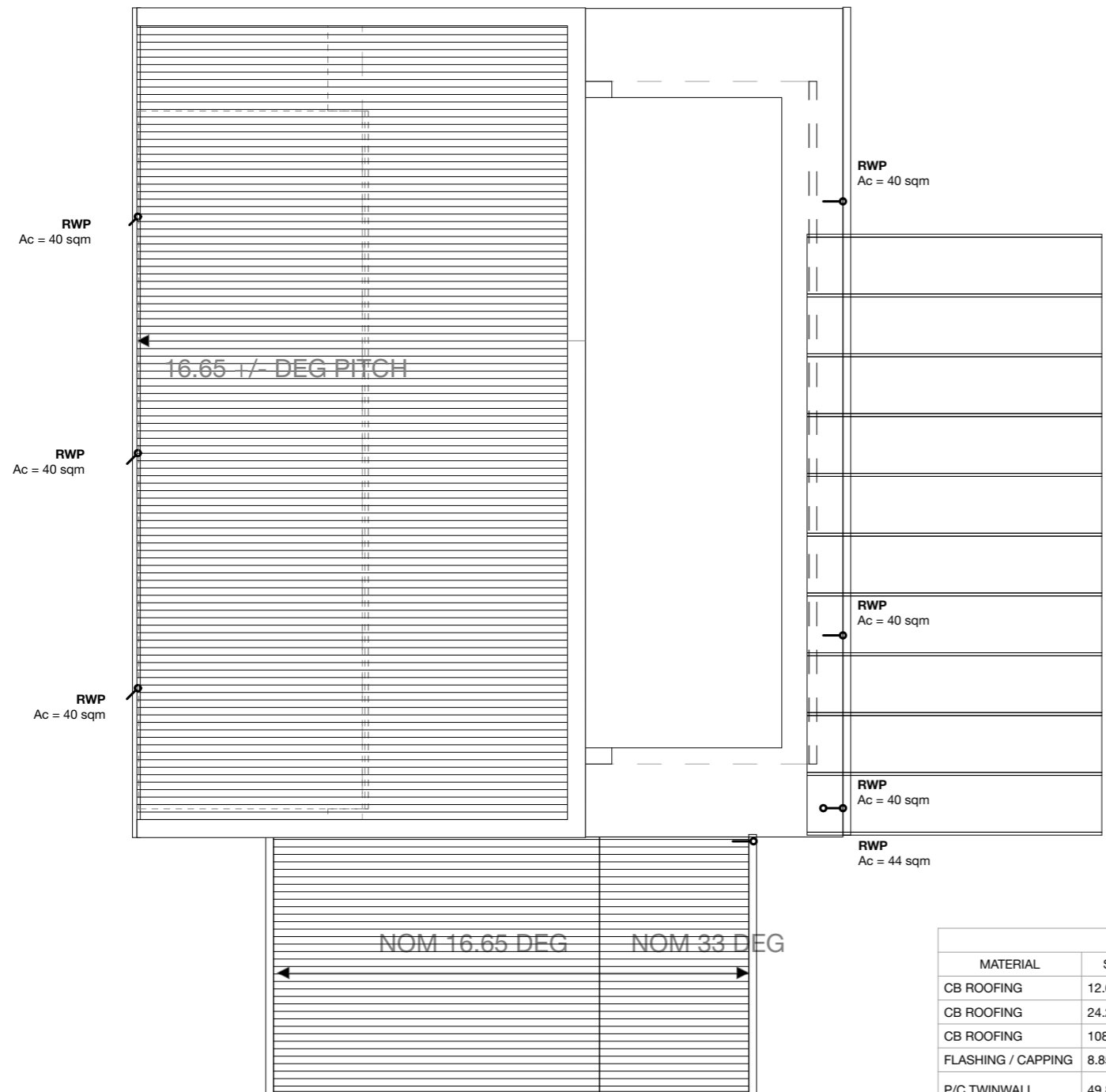
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EX NORTHERN ROOF
 Ah = 59.68 m²

NEW SOUTHERN ROOF
 Ah = 104.09 m²

NEW DECK ROOF
 Ah = 49.39 m²



ROOF SCHEDULE					
MATERIAL	SURFACE AREA	MIN PITCH	NOTES	SARKING	BATTENS / VENT SYSTEM
CB ROOFING	12.67	33° 0' 0"	NORTH ROOF, CB CUSTOM ORB, MATCH EX	ENVIROSEAL HTS-IT	LYSAGHT VENT-A-ROOF
CB ROOFING	24.22	16° 38' 24"	SOUTH ROOF, CB CUSTOM ORB, MATCH EX	ENVIROSEAL HTS-IT	LYSAGHT VENT-A-ROOF
CB ROOFING	108.48	16° 38' 13"	SOUTH ROOF, CB CUSTOM ORB, MATCH EX	ENVIROSEAL HTS-IT	LYSAGHT VENT-A-ROOF
FLASHING / CAPPING	8.85	16° 38' 13"	0.55BMT CB FLASHINGS & CAPPINGS AS REQUIRED	ENVIROSEAL HTS-IT	LYSAGHT VENT-A-ROOF
P/C TWINWALL	49.85	6° 0' 0"	SELECTED POLYCARBONATE TWINWALL RTOOFING SYSTEM, COMPLETE WITH ALL ACCESSORIES		

ROOF PLAN
 NOTATION & FINISHES
 SCALE: 1:100



**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058

Project No: 00856

Drawing No: A.16 B

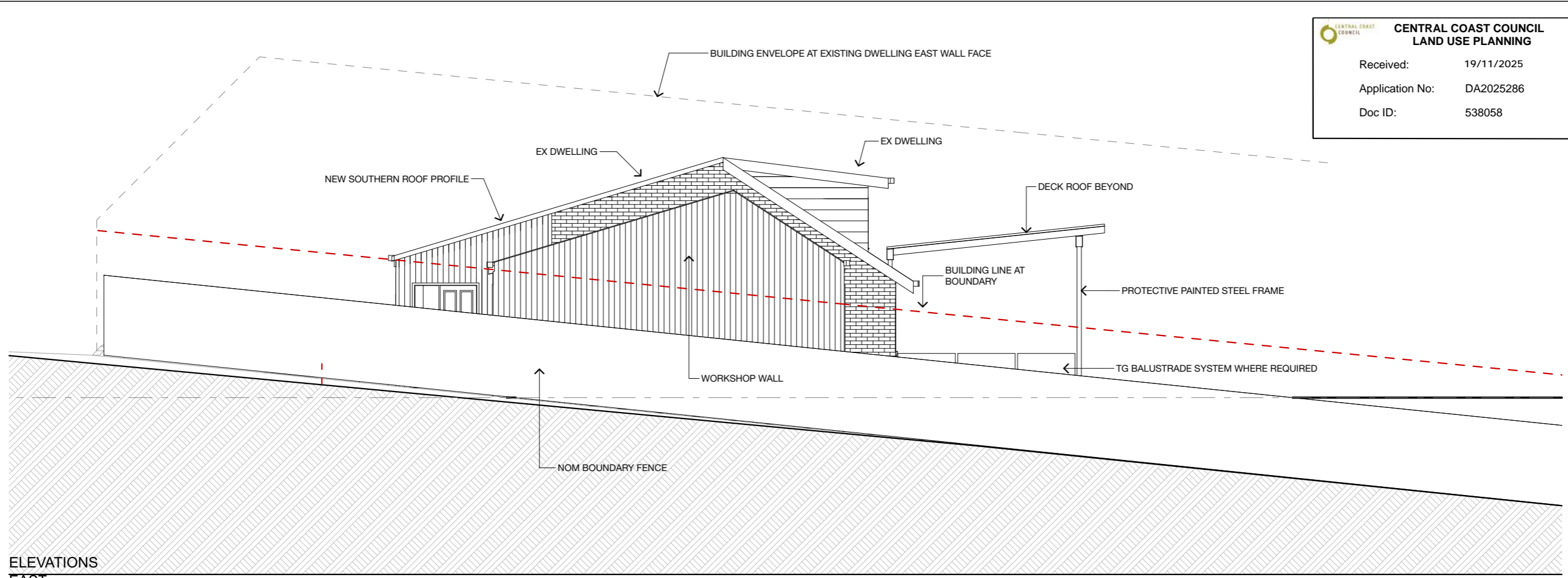
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ELEVATIONS
EAST, NORTH
SCALE (A3): 1:100
DRAWN: ACS
DATE: 18.11.25
STATUS:
CLC UPDATE

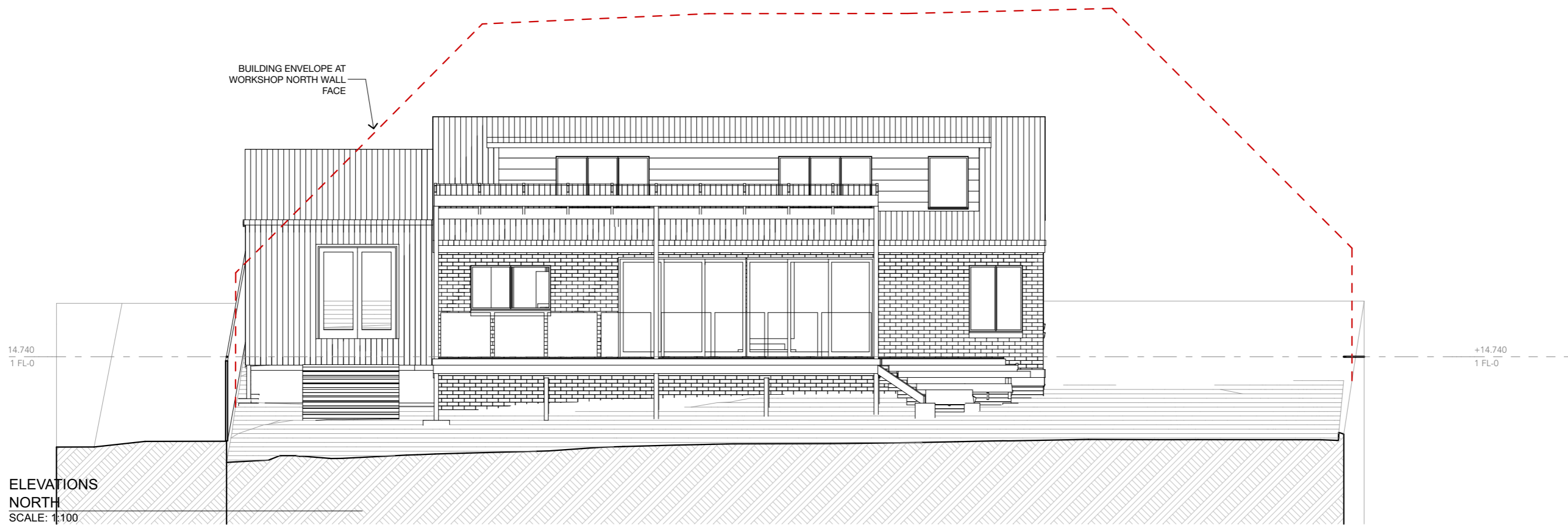
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**ELEVATIONS
EAST**
SCALE: 1:100



**ELEVATIONS
NORTH**
SCALE: 1:100

Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058

Project No: 00856
Drawing No: A.17 B

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ELEVATIONS
WEST, SOUTH
STATUS: CLC UPDATE
SCALE (A3): 1:100
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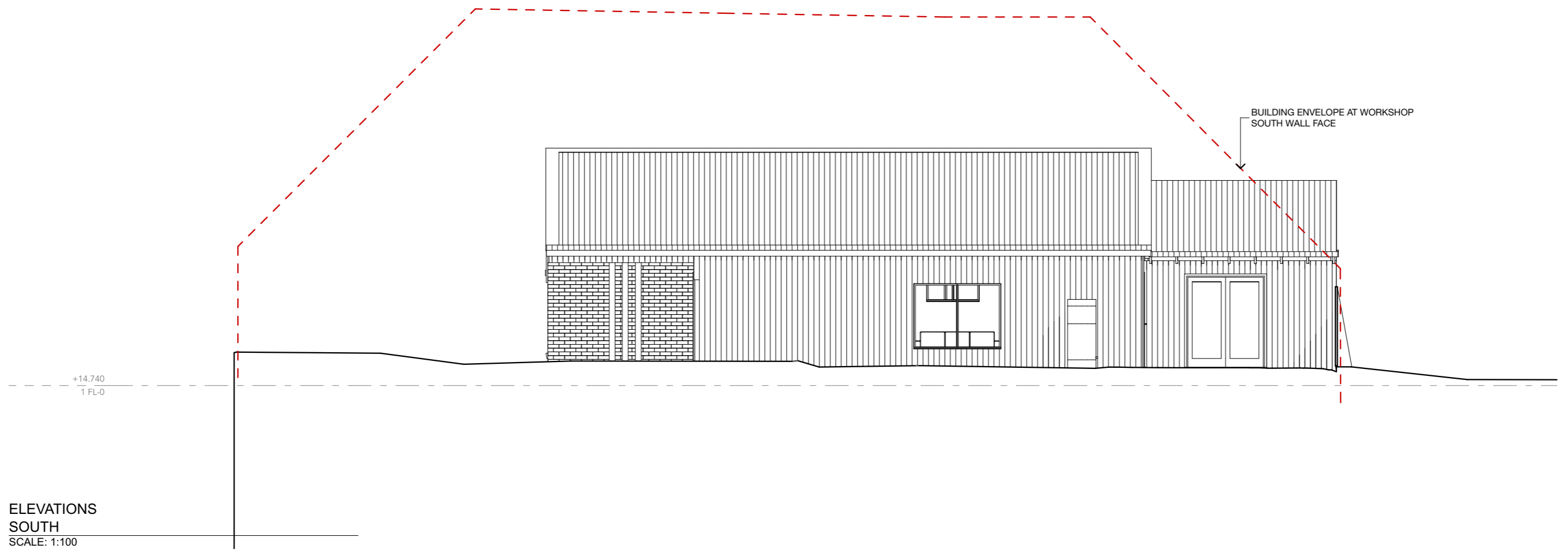
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ELEVATIONS
WEST
SCALE: 1:100



ELEVATIONS
SOUTH
SCALE: 1:100

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SECTIONS
 A-A

STATUS:
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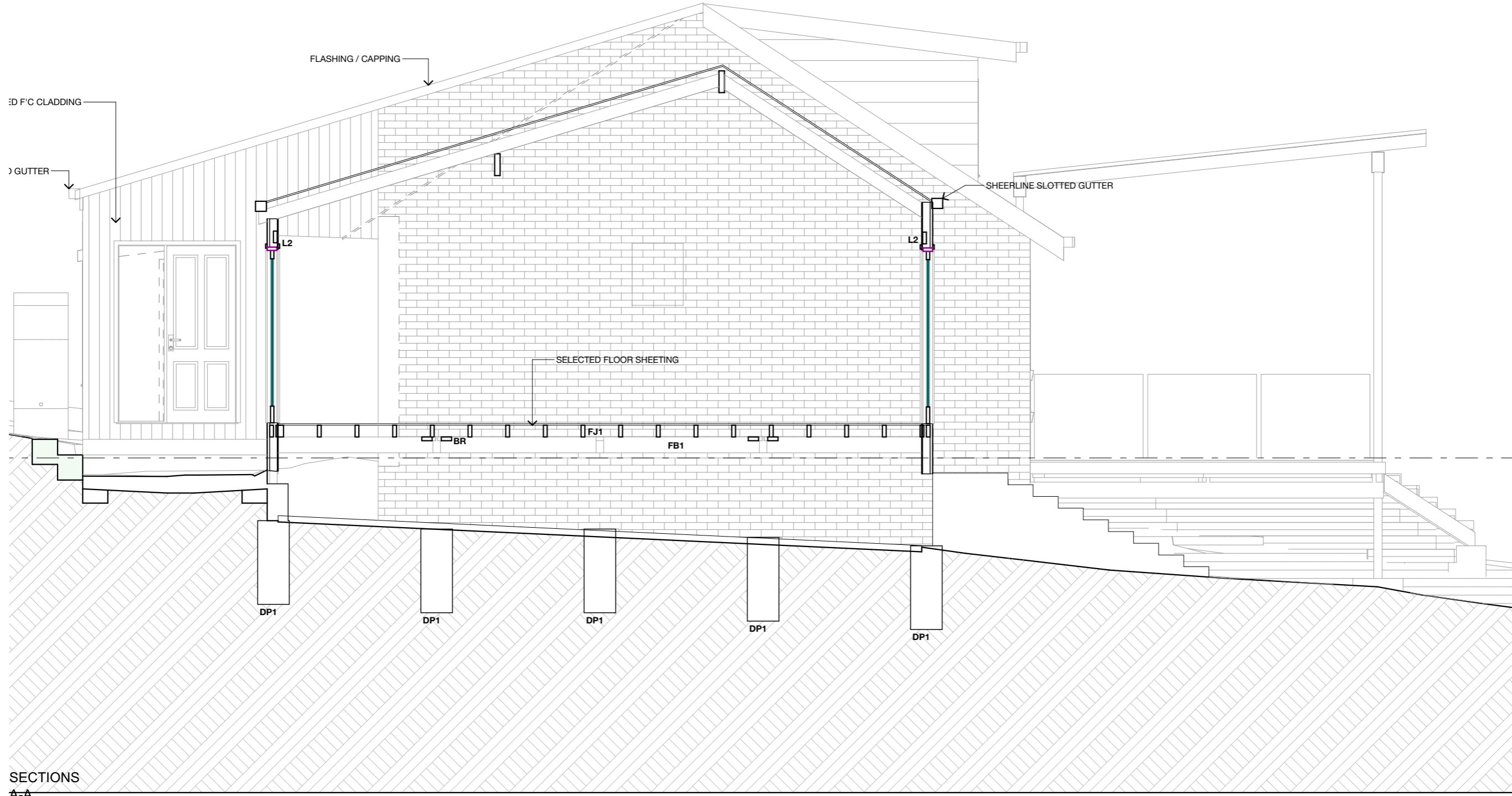
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SECTIONS
 A-A
 SCALE: 1:50

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: **00856**
 Drawing No: **A.19 B**

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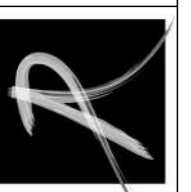
SECTIONS
 B-B

STATUS:
 CLC UPDATE

SCALE (A3): 1:50
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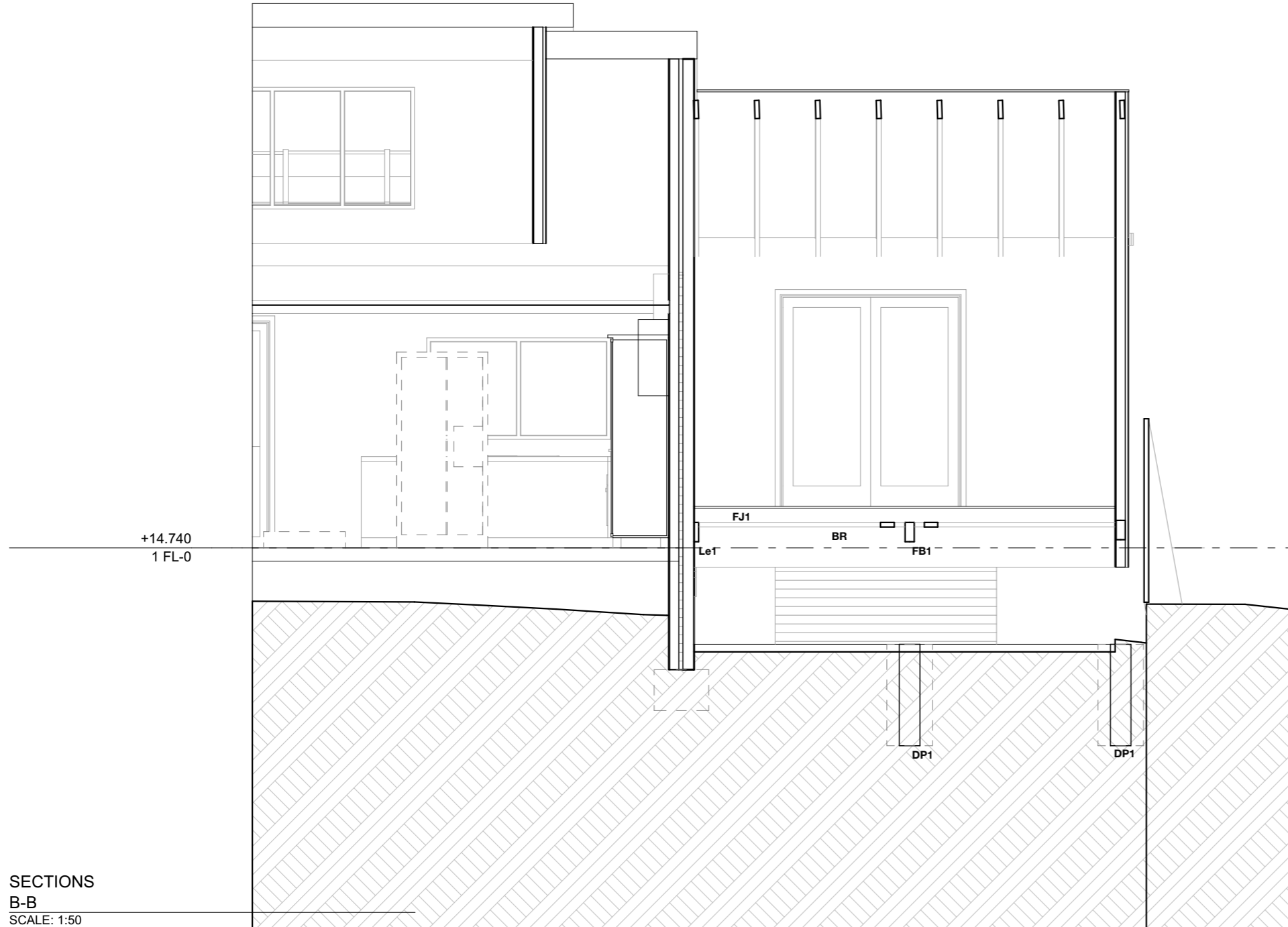
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SECTIONS
 B-B
 SCALE: 1:50

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: **00856**
 Drawing No: **A.20 B**

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SECTIONS
 C-C

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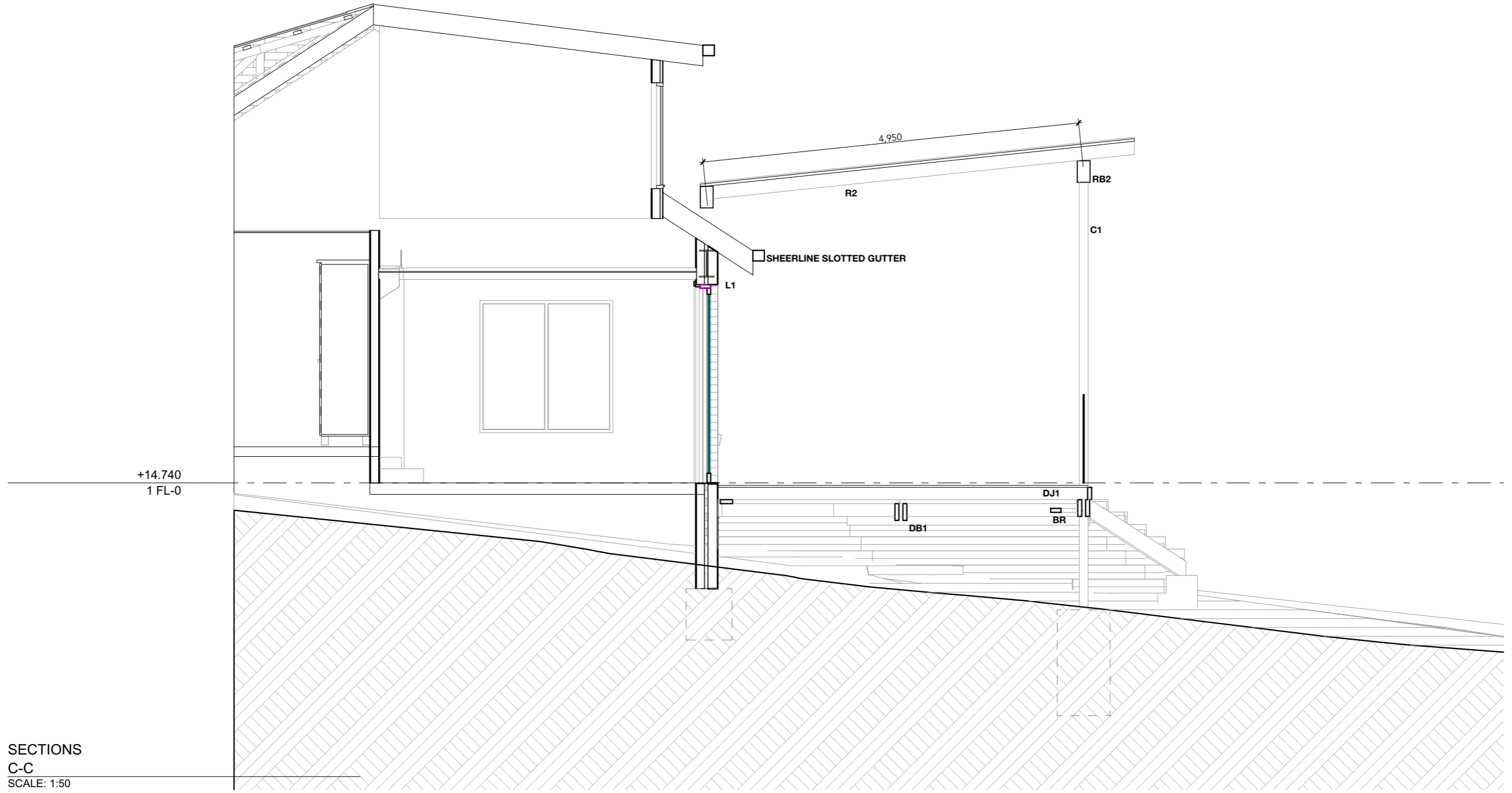
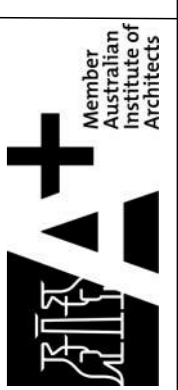
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 DATE: 18.11.25

ADDITIONS & ALTERATIONS

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SECTIONS
 C-C
 SCALE: 1:50



**CENTRAL COAST COUNCIL
LAND USE PLANNING**

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Application No: DA2025286
Doc ID: 538058

Project No: 00856

Drawing No: A.21 B

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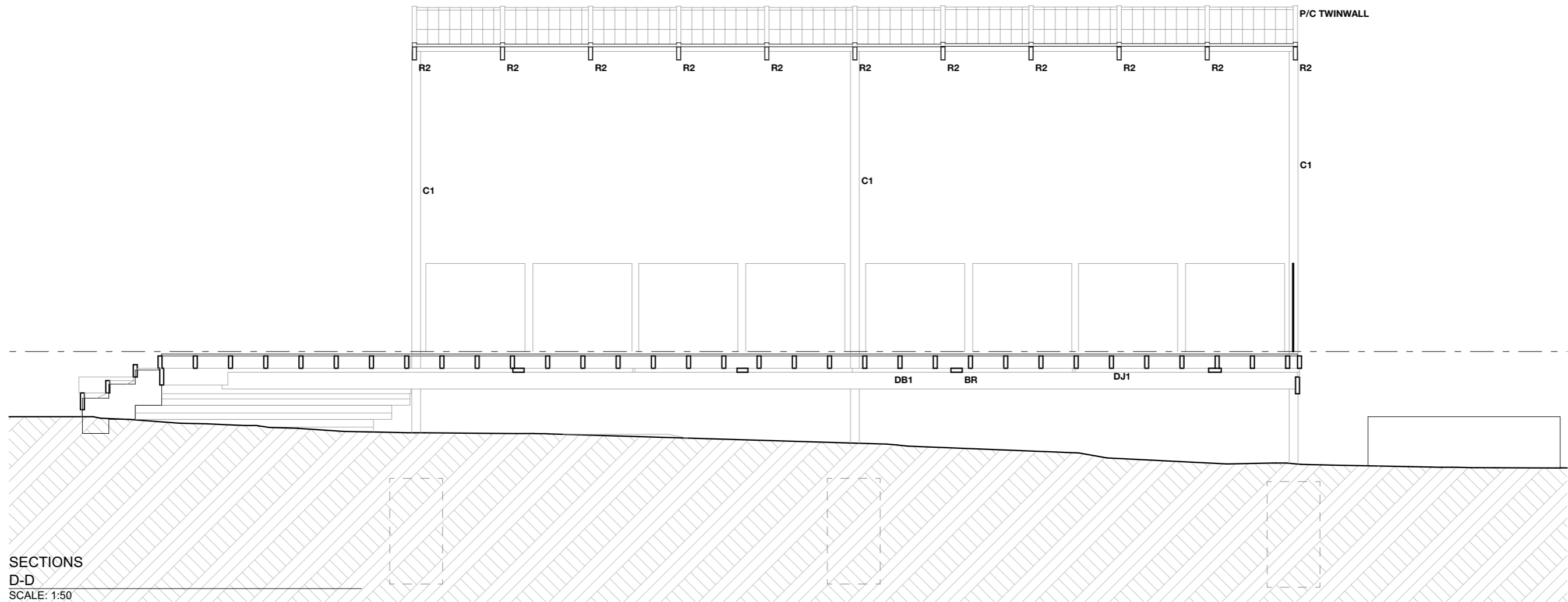
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DATE: 18.11.25

SECTIONS
D-D
STATUS:
CLC UPDATE

ADDITIONS & ALTERATIONS
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SECTIONS
D-D
SCALE: 1:50

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LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: **00856**
 Drawing No: **A.22 B**

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SECTIONS
 E-E

STATUS:
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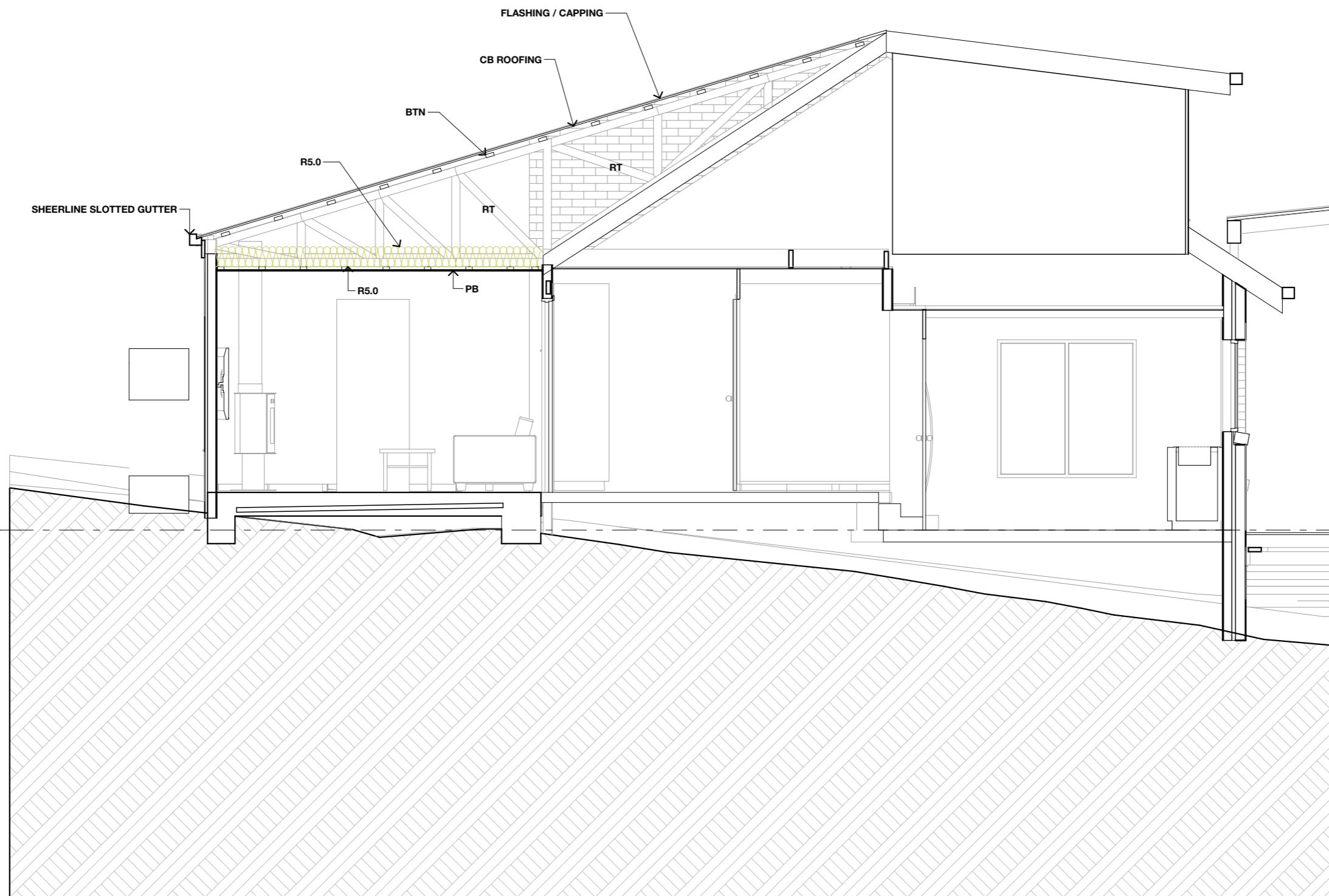
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SECTIONS
 E-E
 SCALE: 1:50

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LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058

Project No: **00856**
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SECTIONS
 F-F

STATUS:
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ADDITIONS & ALTERATIONS

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SECTIONS
 F-F
 SCALE: 1:50



**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 19/11/2025
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Project No: 00856

Drawing No: A.24 B

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SECTIONS
G-G

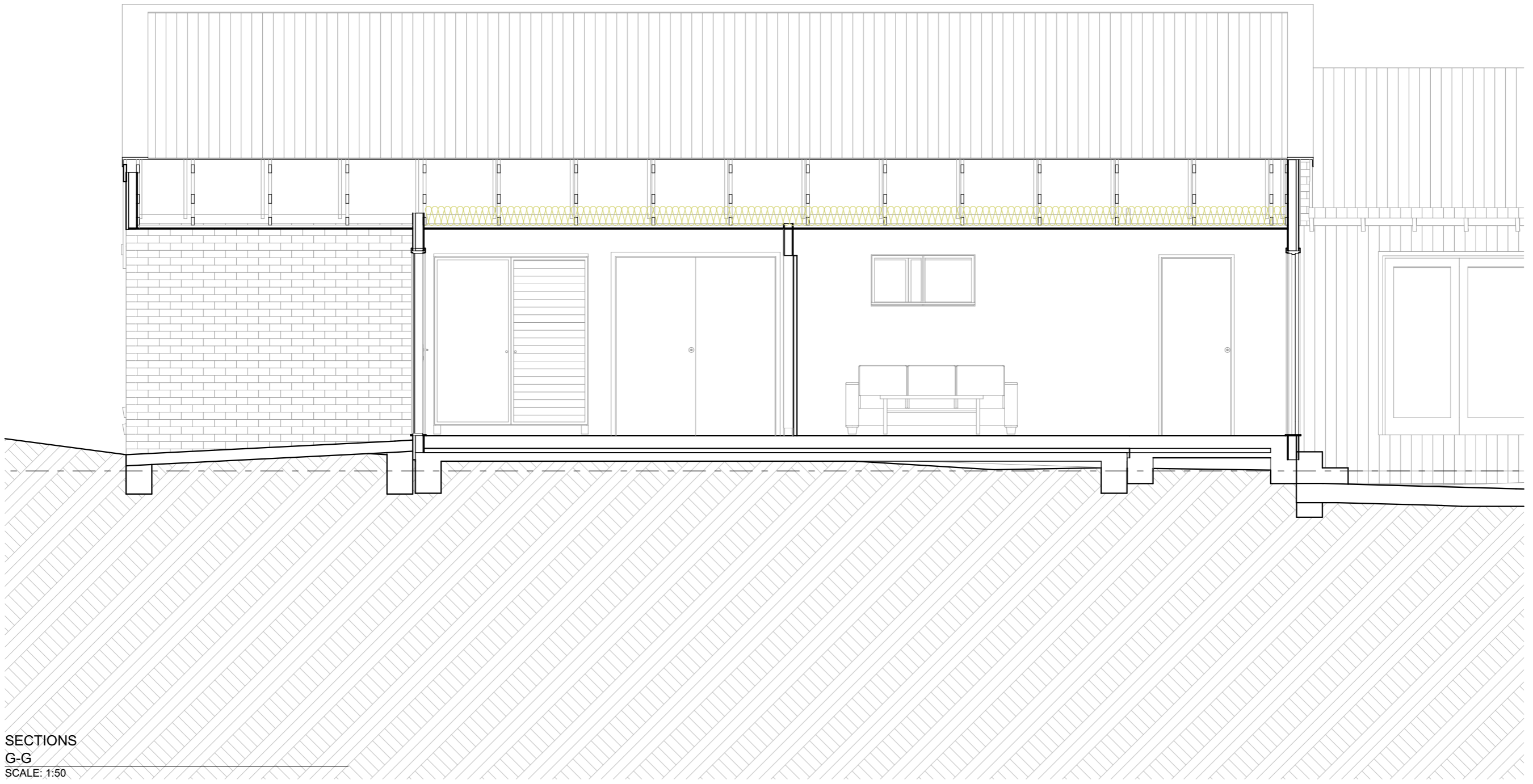
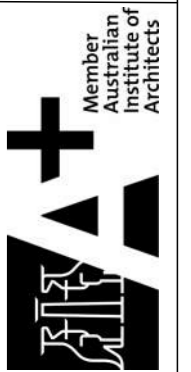
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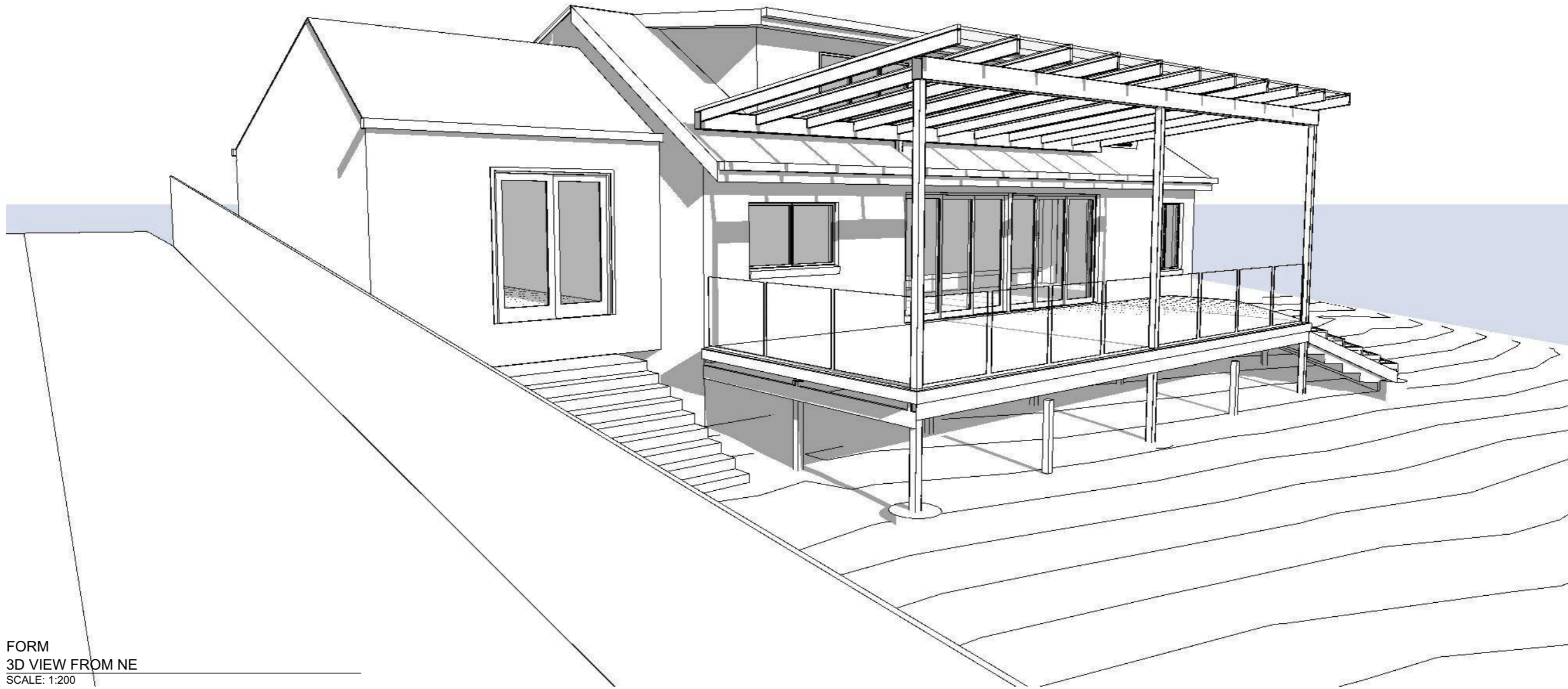
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SECTIONS
G-G
SCALE: 1:50

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
 Application No: DA2025286
 Doc ID: 538058



FORM
 3D VIEW FROM NE
 SCALE: 1:200

Project No: 00856
 Drawing No: A.25 B

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FORM
 3D VIEW FROM NE

STATUS:
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 DATE: 18.11.25

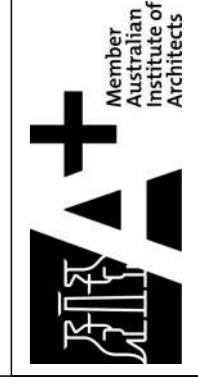
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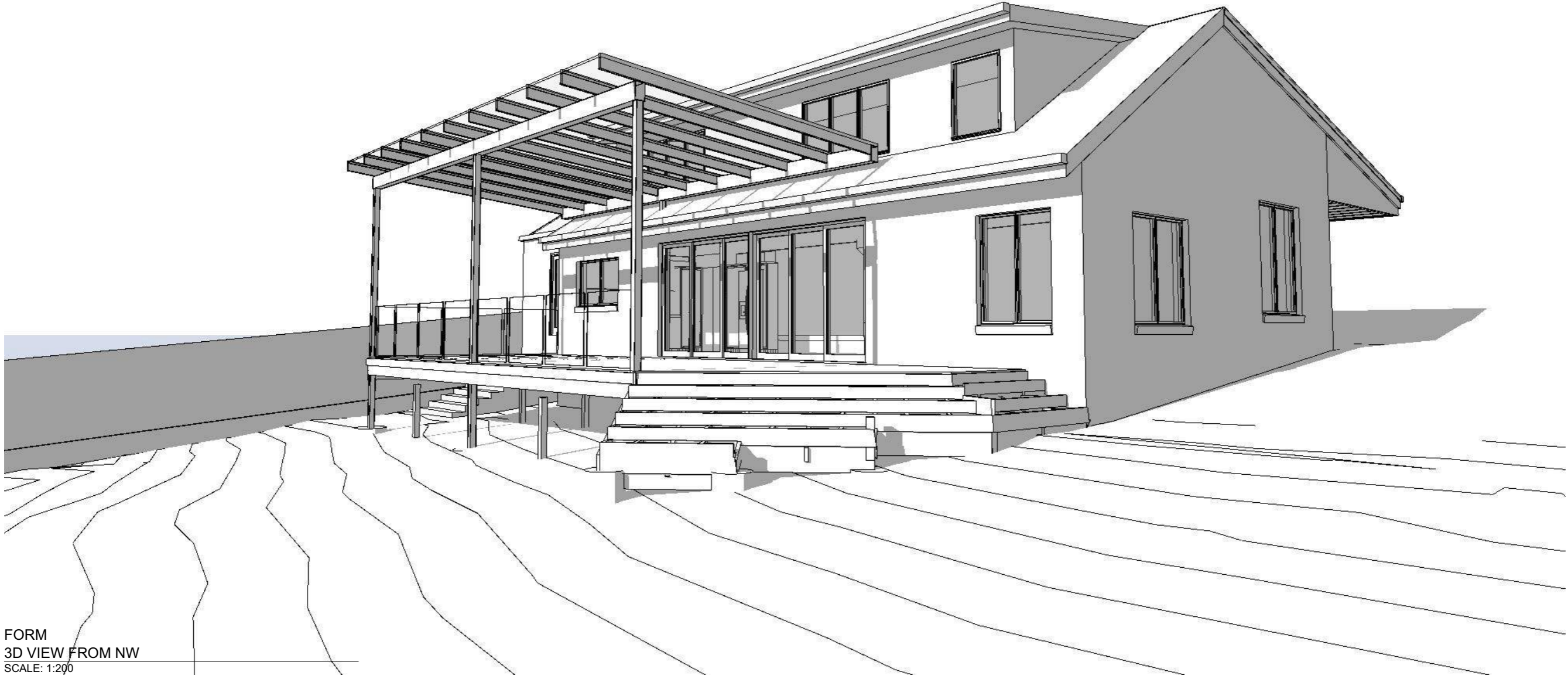


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Application No: DA2025286
Doc ID: 538058



FORM
3D VIEW FROM NW
SCALE: 1:200

Project No: 00856

Drawing No: A.26 B

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FORM
3D VIEW FROM NW

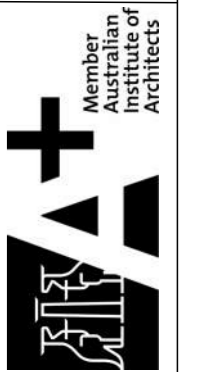
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SCALE (A3): 1:200
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS

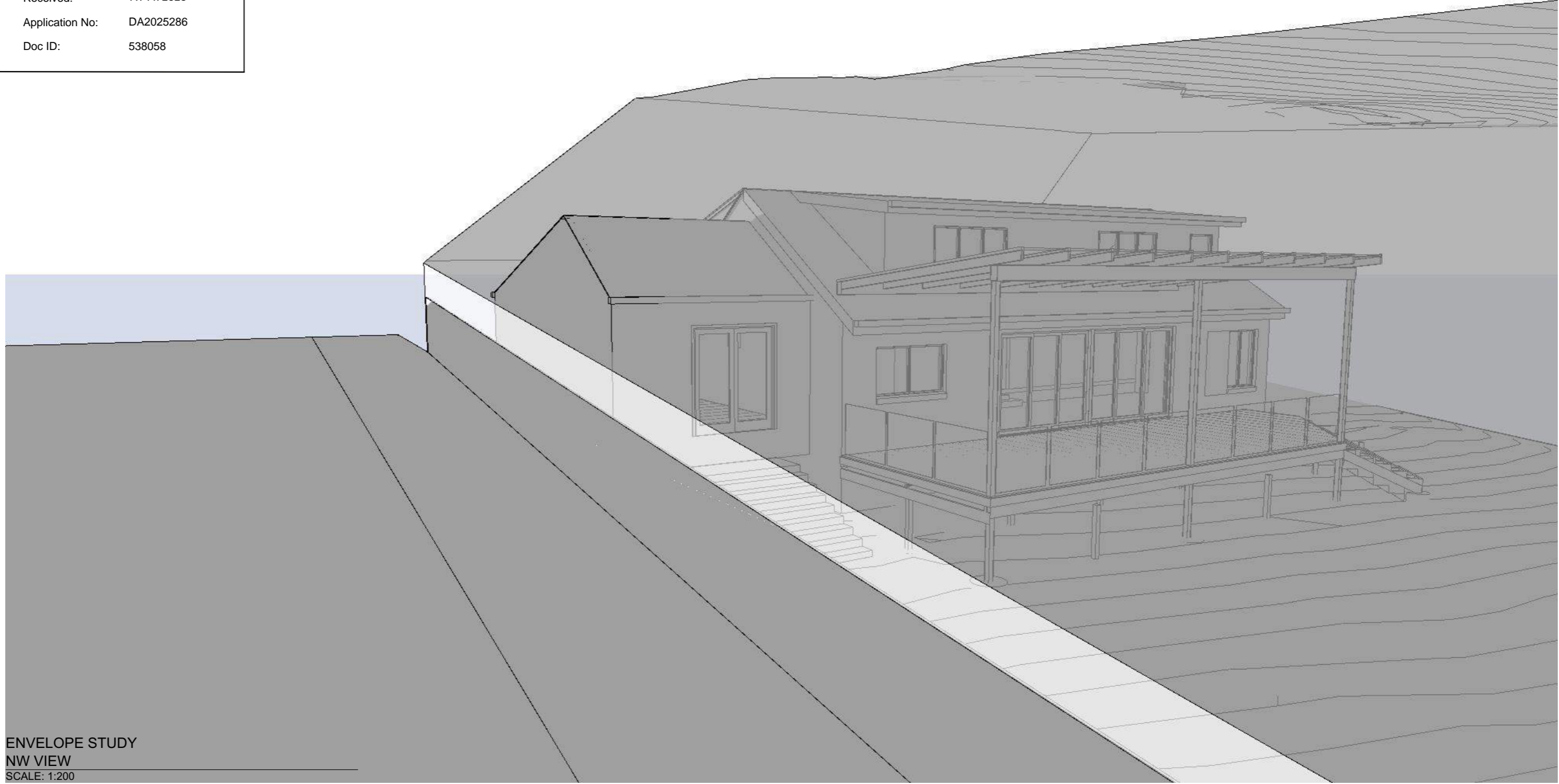
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Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058



ENVELOPE STUDY
NW VIEW
SCALE: 1:200

Project No: 00856

Drawing No: A.27 B

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ENVELOPE STUDY
NW VIEW

STATUS: CLC UPDATE
SCALE (A3): 1:200
DRAWN: ACS
DATE: 18.11.25

ADDITIONS & ALTERATIONS
S.J. CRANE & K.J. HANSEN
13 HAMPSON ST PENGUIN

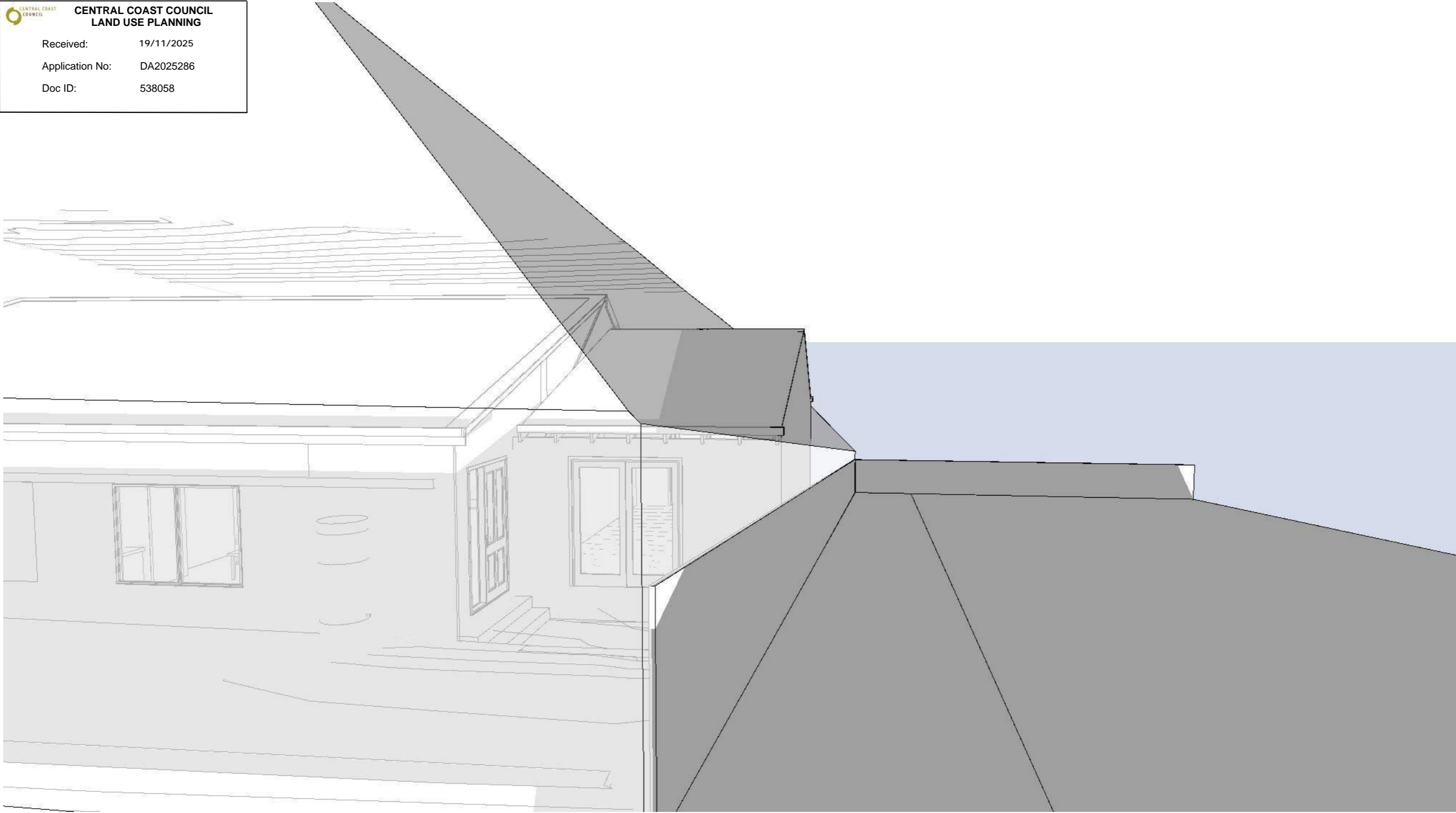


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CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
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ENVELOPE STUDY
 STH VIEW
 SCALE: 1:200

Project No: 00856
 Drawing No: A.28 B

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ENVELOPE STUDY
 STH VIEW

STATUS: SCALE (A3): 1:200
 CLC UPDATE DRAWN: ACS
 DATE: 18.11.25

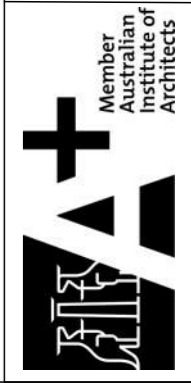
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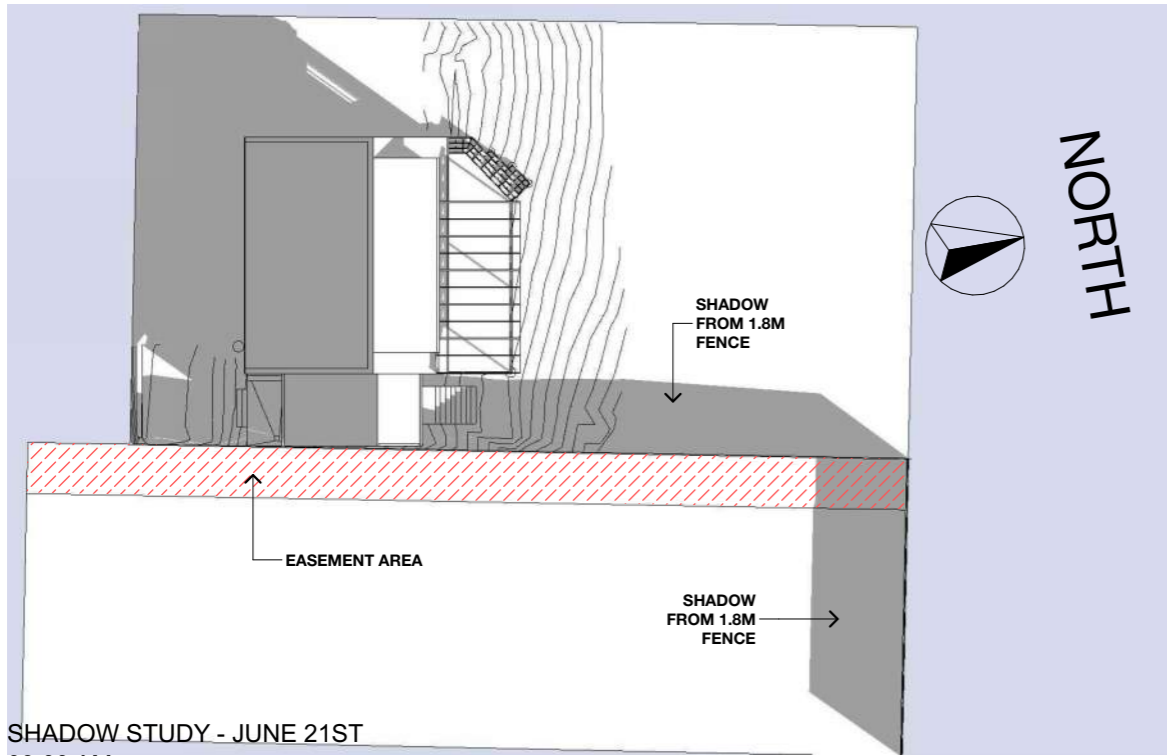
S.J. CRANE & K.J. HANSEN
 13 HAMPSON ST PENGUIN



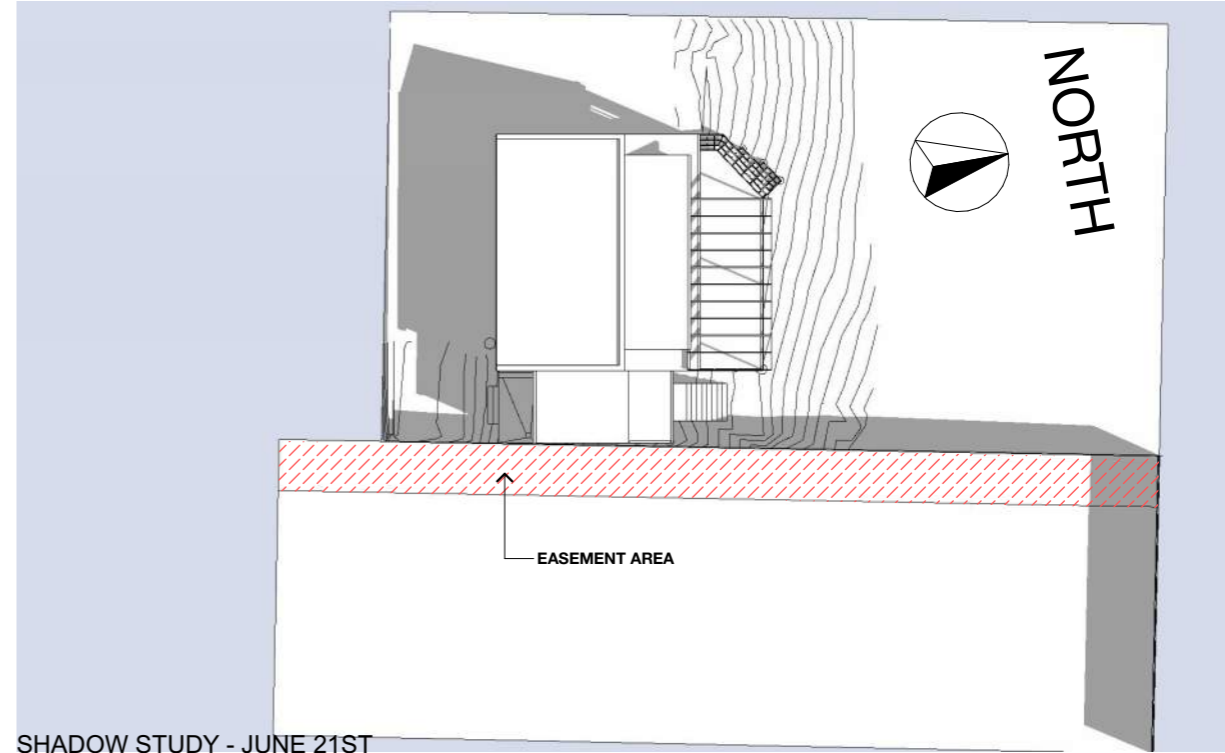
andrew smith
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CC2762M
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 T/F: 03 64370913 M: 0411 0084801
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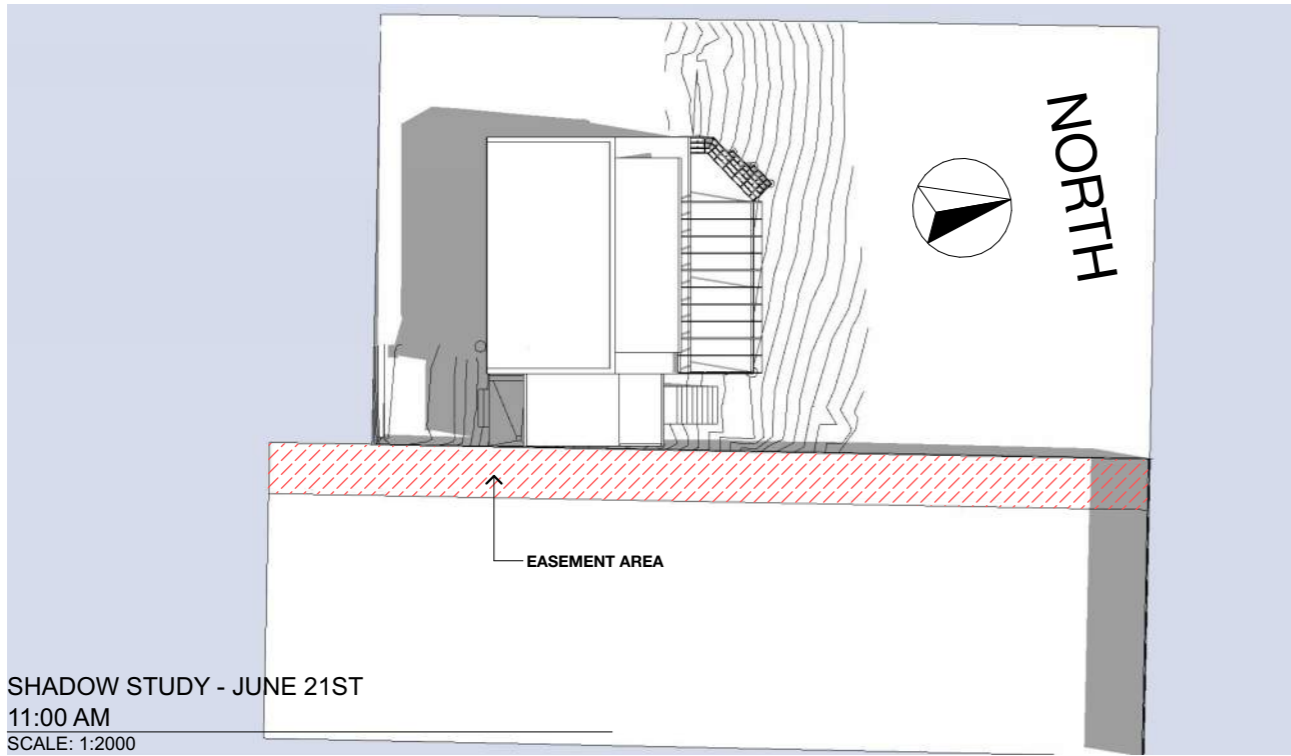




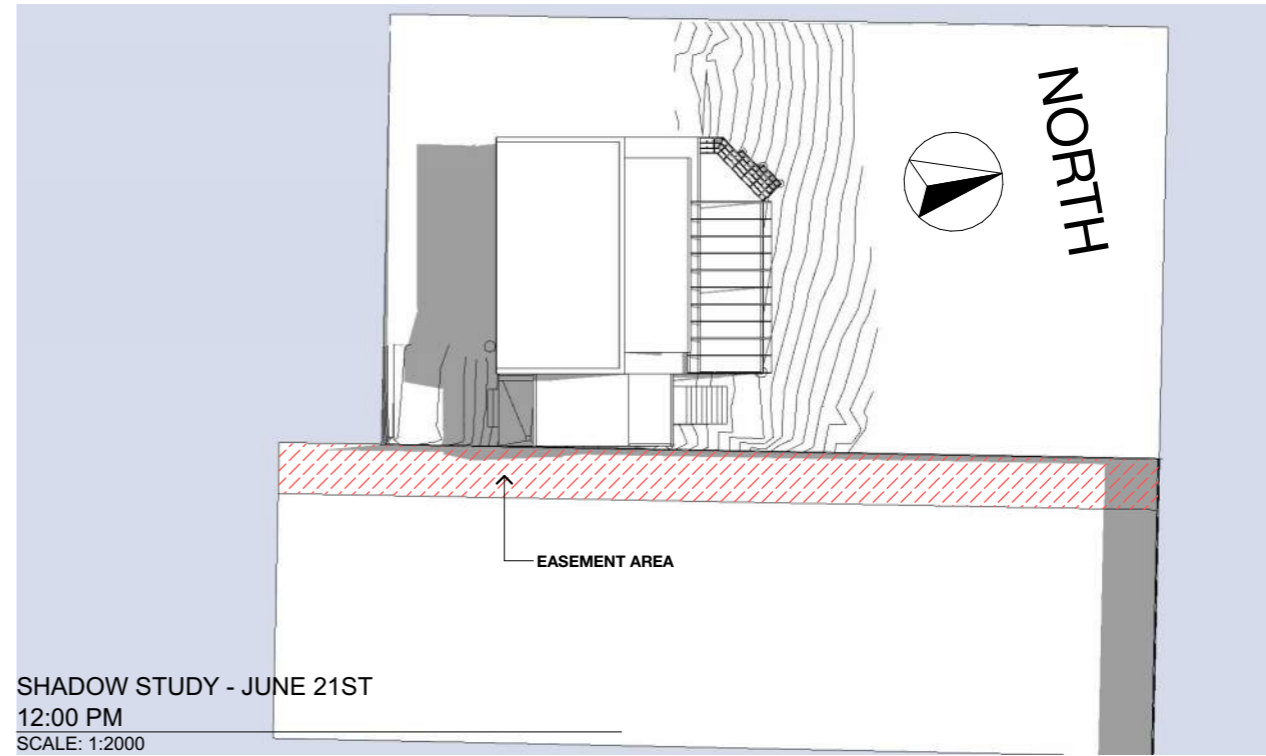
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SHADOW STUDY - JUNE 21ST
10:00 AM
SCALE: 1:2000



SHADOW STUDY - JUNE 21ST
11:00 AM
SCALE: 1:2000



SHADOW STUDY - JUNE 21ST
12:00 PM
SCALE: 1:2000

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 19/11/2025
Application No: DA2025286
Doc ID: 538058

Project No: 00856
Drawing No: A.29 B

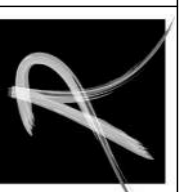
DO NOT SCALE
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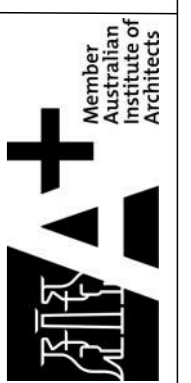
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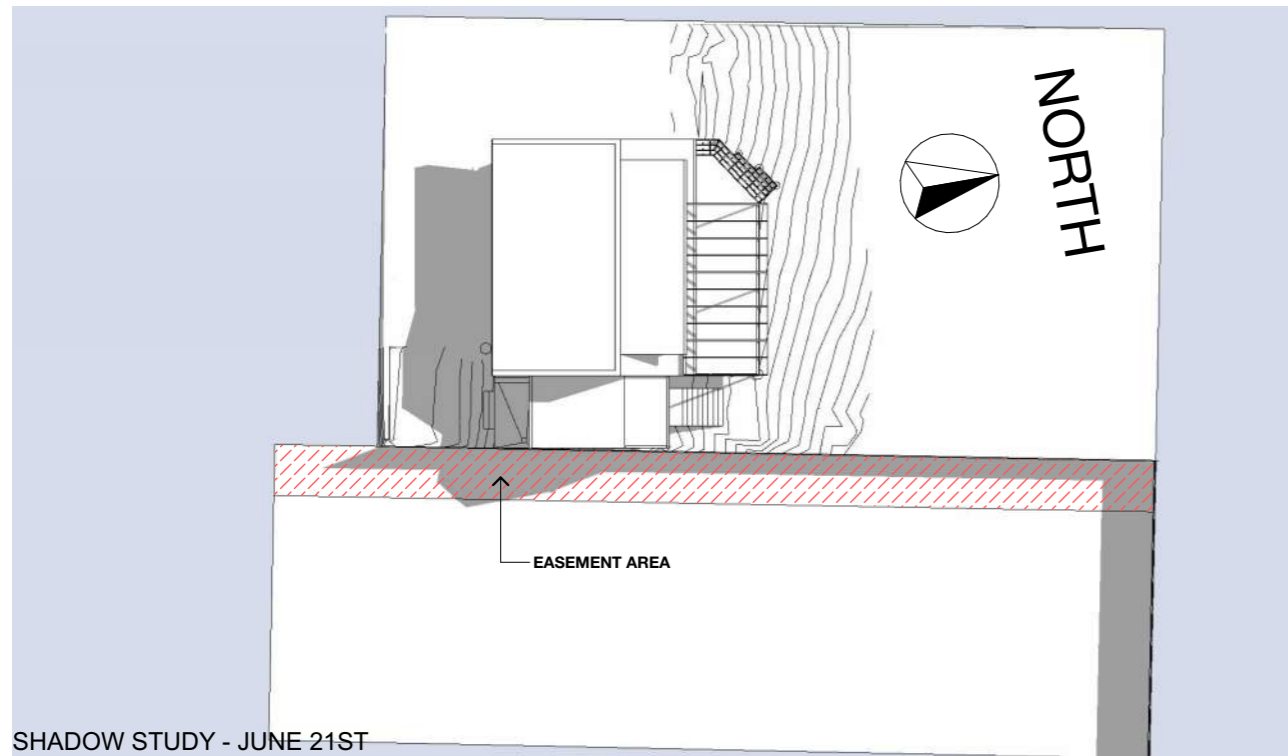
ADDITIONS & ALTERATIONS

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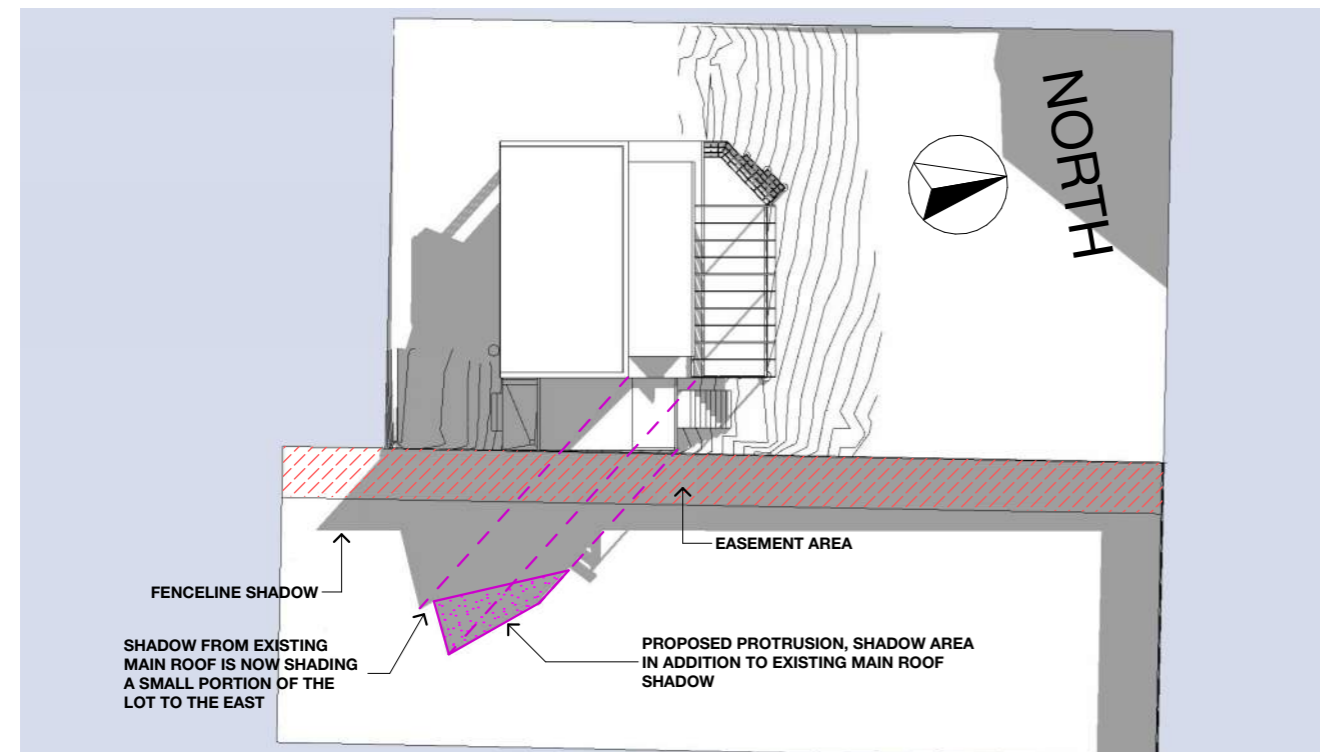


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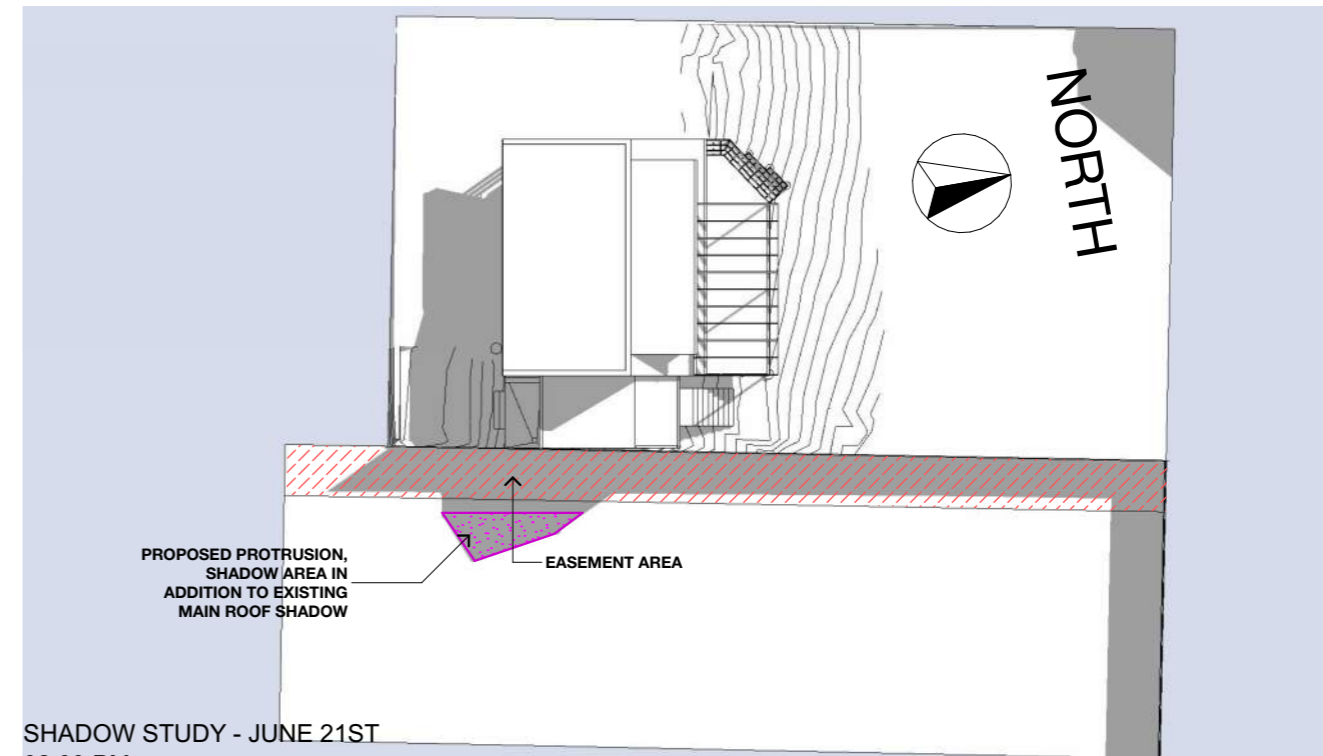




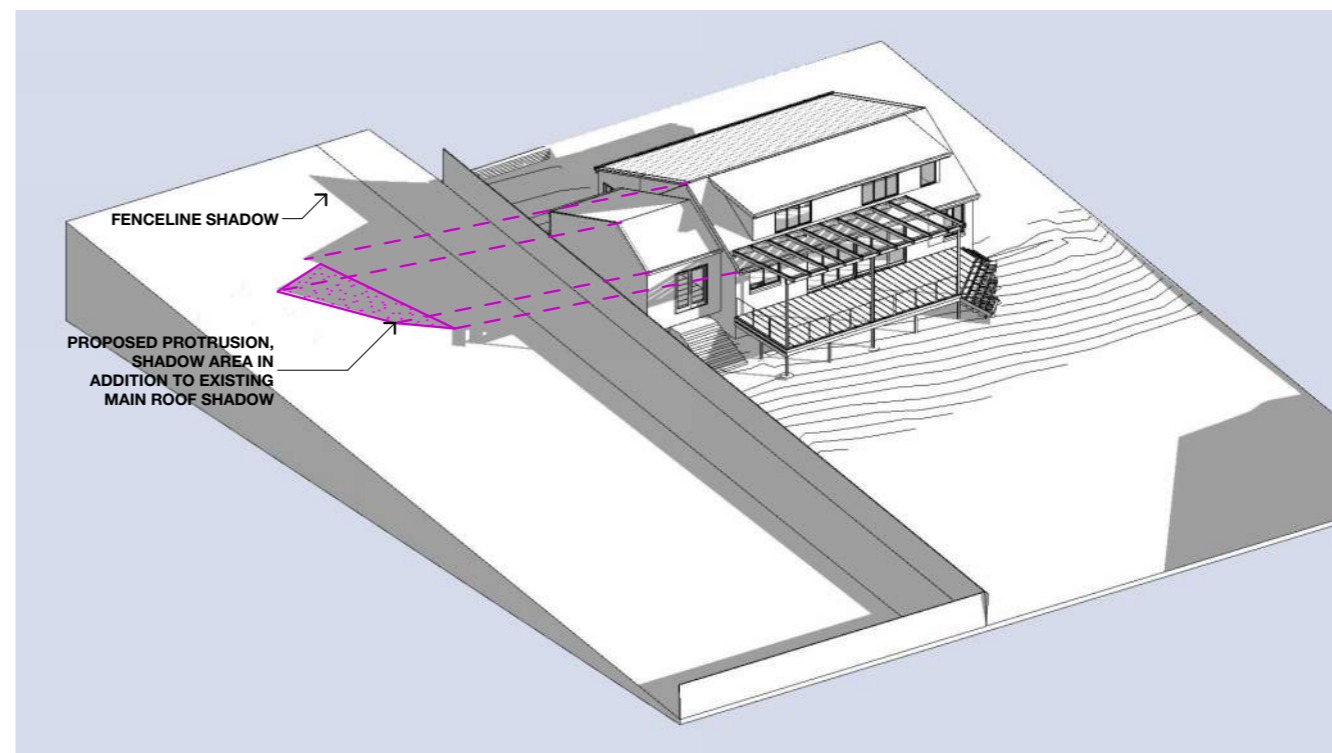
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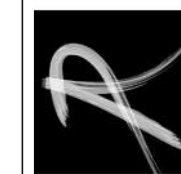
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CENTRAL COAST COUNCIL
LAND USE PLANNING

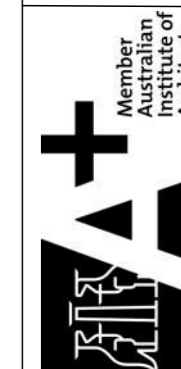
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Application No: DA2025286
Doc ID: 538058

ADDITIONS & ALTERATIONS

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Project No: 00856

Drawing No: A.30 B

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SHADOW STUDY - JUNE 21ST
01:00 PM, 02:00 PM, 03:00 PM, 3D VIEW - 03:00 PM
STATUS: CLC UPDATE
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DATE: 18.11.25