
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025287**

Location: **35 Southwood Avenue, Penguin**

Proposal: **Residential - single dwelling and shed**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before 18 February 2026

Date of Notification: **4 February 2026**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

CENTRAL COAST COUNCIL **CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 20/11/2025
Application No: DA2025287
Doc ID: 538250

Office use only: *Zone:* *Permit Pathway – NPR/Permitted/Discretionary*

Use or Development Site:

Site Address: 35 Southwood Avenue, Penguin

Certificate of Title Reference: 181413/15

Land Area: 1644.0m2 Heritage Listed Property: NO YES

Applicant(s)

First Name(s): Samuel Surname(s): Walters

Company name (if applicable): Platinum Pro Construction Pty Ltd Contact No: 03 6427 2676

Postal Address: Po box 2090 Spreyton TAS, 7310

Email address: info@platinumproconstruction.com.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s): Paul & Joanne Middle Names(s):

Surname(s): James Company name (if applicable):

Postal Address:

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Residential dwelling & outbuilding

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$700,000..... Estimate/ Actual

Total floor area of the development307.3m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I Samuel Walters , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant

Date 20/11/2025

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN


I, _____ the Minister
 responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we Samuel Walters
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 20/11/2025

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 181413	FOLIO 15
EDITION 2	DATE OF ISSUE 21-Dec-2022

 **CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: 20/11/2025
Application No: DA2025287
Doc ID: 538247

SEARCH DATE : 22-Oct-2025

SEARCH TIME : 08.16 AM

DESCRIPTION OF LAND

Town of PENGUIN
Lot 15 on Sealed Plan [181413](#)
Derivation : Part of 50A-2R-0P Gtd. to W. Splean
Prior CT [179558/96](#)

SCHEDULE 1

[N105560](#) TRANSFER to JOANNE JAMES and PAUL ROBERT JAMES
Registered 21-Dec-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP181413](#) EASEMENTS in Schedule of Easements
[SP181413](#) COVENANTS in Schedule of Easements
[SP181413](#) FENCING PROVISION in Schedule of Easements
[SP178123](#) & [SP179558](#) COVENANTS in Schedule of Easements
[SP178123](#) & [SP179558](#) FENCING PROVISION in Schedule of Easements
[E327010](#) MORTGAGE to Suncorp-Metway Ltd Registered
21-Dec-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

217... "PRIORITY BANK PLAN"

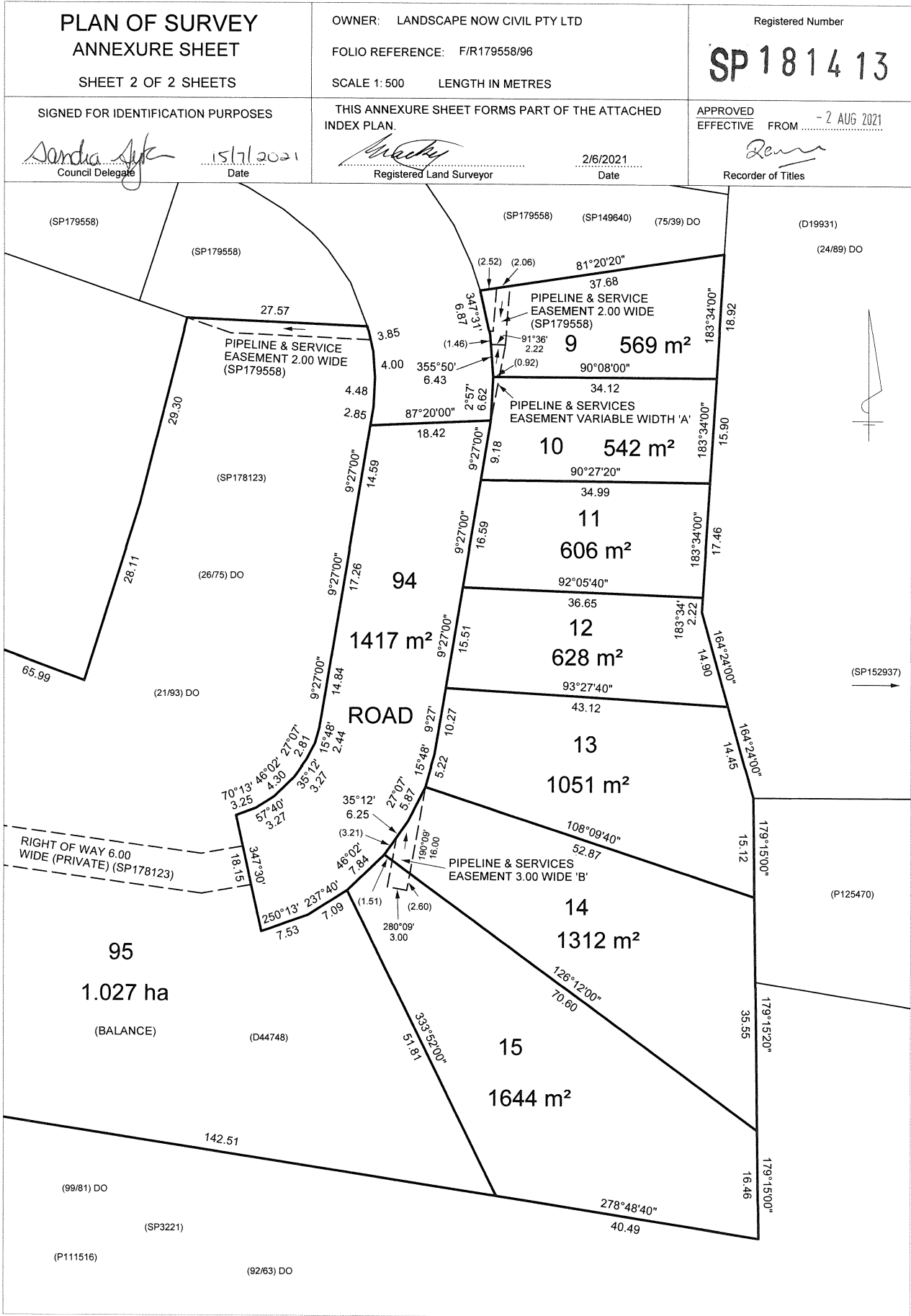
OWNER: LANDSCAPE NOW CIVIL PTY LTD	PLAN OF SURVEY	REGISTERED NUMBER SP181413
FOLIO REFERENCE: F/R179558/96		BY SURVEYOR: LEN C. MACKENZIE LOCATION:
GRANTEE: Part of 50A-2R-0P Gtd. to W. Splean.	Town of PENGUIN	APPROVED EFFECTIVE FROM - 2 AUG 2021
SCALE 1:1000 LENGTHS IN METRES		<i>Ren</i> Recorder of Titles

LOT 95 IS COMPILED FROM F/R179558/96 & THIS SURVEY INDEX PLAN
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	20/11/2025
Application No:	DA2025287
Doc ID:	538246



 Registered Land Surveyor Date: 2/6/2021	 Council Delegate Date: 15/11/2021
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	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	20/11/2025
Application No:	DA2025287
Doc ID:	538249

SCHEDULE OF EASEMENTS	Registered Number SP 181413
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 9 is subject to a pipeline and services easement in gross created by and more fully set forth in Sealed Plan 179558 (in favour of TasWater) over the land marked PIPELINE & SERVICE EASEMENT 2.00 WIDE passing through that lot on the plan

Lot 9 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICE EASEMENT ~~2.00 WIDE~~ ("the Easement Land") passing through that lot on the plan VARIABLE WIDTH 'A'


Lot 10 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT ~~2.00 WIDE~~ ("the Easement Land") passing through that lot on the plan VARIABLE WIDTH 'A'

Lot 14 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE "B" ("the Easement Land") passing through that lot on the plan

Lot 15 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE "B" ("the Easement Land") passing through that lot on the plan

Lot 95 is subject to a right of carriageway (appurtenant to lot 98 on Sealed Plan 178123) over the land marked RIGHT OF WAY 6.00 WIDE (PRIVATE) passing through that lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: LANDSCAPE NOW CIVIL P/L	PLAN SEALED BY: CENTRAL COAST COUNCIL
FOLIO REF: 179558-96	DATE: 15/7/2021
SOLICITOR: GRAHAM WOODHOUSE CONVEYANCING	DA 2018017 REF NO.
	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 181413</p>
<p>SUBDIVIDER: LANDSCAPE NOW CIVIL P/L FOLIO REFERENCE: 179558-96</p>	

Lot 95 is subject to a pipeline and services easement in gross created by and more fully set forth in Sealed Plan 179558 (in favour of TasWater) over the land marked PIPELINE & SERVICE EASEMENT 2.00 WIDE passing through that lot on the plan

~~Lot 95 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICE EASEMENT 2.00 WIDE ("the Easement Land") passing through that lot on the plan~~

FENCING PROVISION

In respect to the lots on the plan the vendor (Landscape Now Civil Pty Ltd) shall not be required to fence

COVENANTS

& Sealed Plan 179558

The owners of the lots on the plan are affected by covenants created by and more fully set forth in Sealed Plan 178123^A in the following terms-

1. Not to erect or construct any dwelling house, garage or garages or the outbuildings or fencing usually appurtenant thereto and normally used in connection with a dwelling house if the dwelling house on such lot-
 - (a) is a construction or re-erection of a building which has previously been pulled down or demolished
 - (b) is a relocation of a previously erected building
 - (c) has its exterior walls or roof clad with previously used or second-hand materials
 - (d) is a Dutch barn or similar type of construction

INTERPRETATION

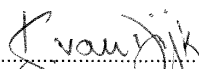
"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

Director: 

Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP181413</p>
<p>SUBDIVIDER: LANDSCAPE NOW CIVIL P/L FOLIO REFERENCE: 179558-96</p>	

- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietor of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate

Director: 

Director: 

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP181413</p>
<p>SUBDIVIDER: LANDSCAPE NOW CIVIL P/L FOLIO REFERENCE: 179558-96</p>	

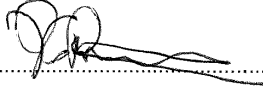
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

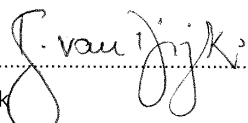
"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure

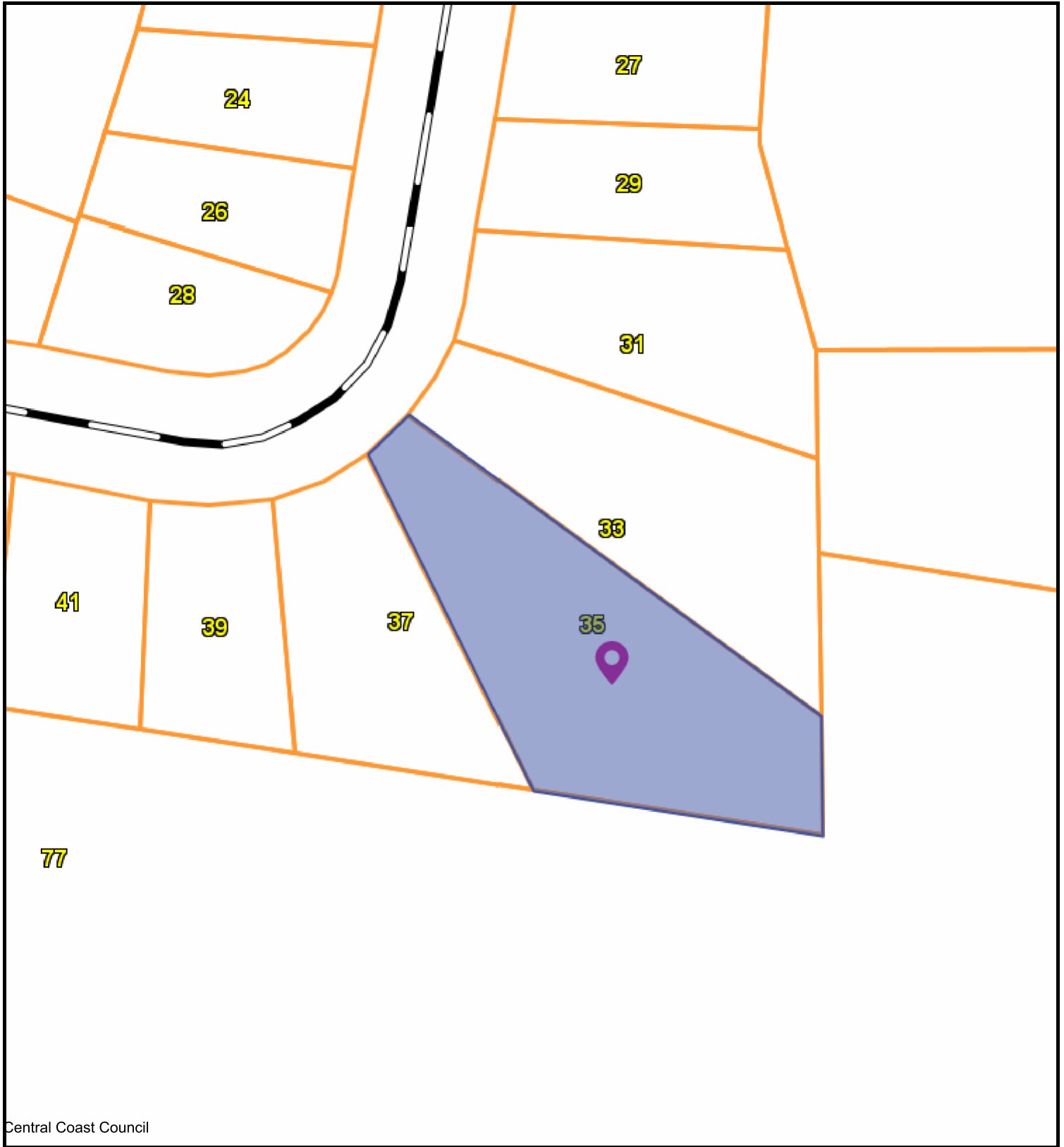
Signed for and on behalf of LANDSCAPE NOW CIVIL PTY LTD (ACN 626 579 333)

in accordance with section 127 Corporations Act 2001-

Director: 
Darren Geoffrey Rawlings

Director/Secretary: 
Kathryn Mary van Dijk

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



2-Feb-2026

**35 SOUTHWOOD AVENUE,
 PENGUIN
 DA2025287**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.
 © Central Coast Council 2025.

20 m

Scale =
1:737.100



PLATINUM PRO
Construction

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	21/01/2026
Application No:	DA2025287
Doc ID:	542960

135a Sheffield Road, Spreyton 7310
PH: (03) 6427 2676

www.platinumproconstruction.com.au
info@platinumproconstruction.com.au

21st January 2026

DEVELOPMENT APPLICATION – NEW DWELLING AND SHED – 35 SOUTHWOOD AVENUE, PENGUIN

Please see below written justification against the provisions of the C2.0 Parking and Sustainable Transport Code

C2.6.1 Construction of parking areas – P1

All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:

- (a) The nature of use;*
 - (b) The topography of the land;*
 - (c) The drainage system available;*
 - (d) The likelihood of transporting sediment or debris from the site onto a road or public place;*
 - (e) The likelihood of generating dust; and*
 - (f) The nature of the proposed surfacing*
-
- (a) The proposed residential use involves low-frequency traffic and no heavy vehicle movements. A compacted gravel surface is therefore sufficient to support the expected light-vehicle loading for the access way and manoeuvring areas.
 - (b) The site falls steeply from east to west at an average gradient of 1:4. To manage this, the first 16m of the access way (the steepest section) will be constructed in concrete at a maximum 1:4 gradient. Beyond this, the gradient eases to 1:7, where compacted gravel will be utilised. The manoeuvring area will be levelled (cut-out) to a flat profile and surfaced in compact gravel, while the carport parking area will be finished in concrete. All gradients and surfaces are designed to be safe and functional for residential use..
 - (c) Stormwater will be managed via a swale drain along the western boundary, collected in detention pits, and directed to the private stormwater connection. To protect public infrastructure, a grated drain will be installed at the site entrance to intercept runoff before it reaches Southwood Avenue.
 - (d) The gravel surfacing will consist of large-gauge, high-density aggregate with low "fines" content. This material will be compacted to create a stable hardstand that minimises dust generation during dry periods.
 - (e) The gravel portion of the access way and manoeuvring area will be composed of large gauge, high density gravel with low levels of fine content and compacted to minimise dust generation.



PLATINUM PRO
Construction

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info@platinumproconstruction.com.au

- (f) The surfacing strategy balances site constraints, functionality, and cost-effectiveness. Concrete is prioritised for the carport and the steepest entry section to ensure traction and prevent debris migration. Compacted gravel is used for the remaining lower-gradient areas to provide a durable, all-weather surface that reduces the overall project cost without compromising accessibility.

I trust that the above information will satisfactorily assist in processing the development application.

Many thanks,

Laura Rawlings

(Graduate of Architecture)



08 August 2025

Reference No. GL25443Ab

Platinum Pro Construction
PO Box 2090
SPREYTON TAS 7310

Attention: Ms Charley Davies

Dear Madam

**RE: Site Classification and Form D
35 Southwood Avenue, Penguin**

We have pleasure in submitting herein our report detailing the results of the geotechnical investigation conducted at the above site.

Should you require clarification of any aspect of this report, please contact Anne Foster on 03 6326 5001.

For and on behalf of

Geoton Pty Ltd

Tony Barriera

Director – Principal Geotechnical Engineer

Rev No.	Date	Written By	Reviewed By	Description
Ab	08/08/2025	A Foster	S Shahandeh	Original

1 INTRODUCTION

A limited scope investigation has been conducted for Platinum Pro Construction at the site of a proposed residential development at 35 Southwood Avenue, Penguin.

The investigation has been conducted to assess the following:

- The general subsurface conditions at the site and consequently assign a Site Classification in accordance with AS 2870 – 2011 “Residential Slabs and Footings”; and
- The surrounding topography and provide a Wind Classification in accordance with AS 4055 – 2021 “Wind Loads for Housing”.

Additionally, the majority of the site is within a mapped low landslide hazard band, and as such, a landslide risk appraisal is required to satisfy the ground hazard code requirements of the Tasmanian Planning Scheme and Directors Determination – Landslip Hazard Areas.

No plans of the proposed development were provided.

2 FIELD INVESTIGATION

The field investigation was carried out on 31 July 2025 and involved a site walkover and the drilling of 3 boreholes by 4WD mounted auger rig to the auger refusal or investigated depths of 0.6m to 2.0m.

Insitu vane shear strength tests were conducted in the clay layers encountered in the investigation, with samples of these soils being obtained for subsequent laboratory testing.

The results of the field and laboratory tests are shown on the borehole logs.

The logs of the boreholes are included in Appendix A and their locations are shown on Drawing 1, attached.

3 SITE CONDITIONS

The site is currently undeveloped. The ground surface has a westerly fall of approximately 15 to 18° within the southern portion of the site, and a north-westerly fall of approximately 18° to 20° within the northern portion of the site. Vegetation across the site comprises low grass and gorse (Plate 1).

The neighbouring dwellings and the nearby road and footpath are generally in good condition, showing no obvious signs of landslide damage. The slopes within and surrounding the site are generally smooth convex slopes, and do not display any obvious signs of recent landslide activity.



Plate 1: View of the site looking to the southeast.

The MRT Digital Geological Units 1:25,000 scale, indicates that the western and central portions of the site are mapped as Paleogene to Neogene period predominantly deeply weathered basalt. The rear, eastern portion of the site is mapped as Paleogene to Neogene period sediments comprising dominantly non-marine sequences of gravel, sand, silt, clay and regolith. This was generally confirmed by our field investigation.

Examination of the LIST Landslide Planning Map – Hazard Bands Overlay indicates that the majority of the site is within a mapped low landslide hazard band. A small area within the eastern portion of the site is not within a mapped landslide hazard band.

The investigation indicated that the soil profile is relatively uniform across the site. The boreholes encountered clayey silt topsoil to depths of 0.2m, underlain by low to high plasticity clayey silt to the auger refusal or investigated depths of 0.6m to 2.0m.

Auger refusal in Borehole BH02 was inferred to be on a boulder.

The boreholes did not encounter any signs of groundwater seepage over the investigated depths.

Full details of soil conditions encountered are presented on the borehole logs.

An assessment of the plasticity characteristics of the materials encountered indicates that the sandy soils at this site possess a high shrink/swell potential.

4 LANDSLIDE RISK ASSESSMENT

Section C15.0 of the *Tasmanian Planning Scheme* (TPS) applies to developments within areas of denoted landslide hazard or for projects which may cause or contribute to landslip.

The proposed development site is partially mapped within a low landslide hazard band area. However, in accordance with Clause C15.4.1(d) of the TPS the proposed development is exempt from the planning scheme and requires approval under the Building Act 2016.

Director's Determination - Landslip Hazard Areas (2021) specifies that development of a site must achieve and maintain a **tolerable level** of risk for the intended life of a development. It is considered that the existing landslide risk at the site is LOW and that the proposed development will maintain the current tolerable level of risk at the site based on the following:

- There is no evidence of any recent landslide activity at or in the vicinity of the site;
- The closest mapped landslides are located approximately 530m to the northeast of the site. These landslides are located on the coastal escarpment;
- No springs or seeps were observed within the proposed development area;
- The site is within a fully serviced area, therefore wastewater and stormwater will be discharged to existing council infrastructure or street drainage system; and
- The proposed development is considered minor construction works that present minimal or no geotechnical impact on the site or related land.

As such, we consider that a **tolerable level** of risk will be maintained for the proposed development and design life of the building provided that good hillside practices are maintained.

An information sheet entitled "Some Guidelines for Hillside Construction" adapted from the Journal of the Australian Geomechanics Society, Volume 42, Number 1, dated March 2007, is presented in Appendix B.

A Form D – Geotechnical Declaration – Minor Impact is provided in Appendix C.

5 SITE CLASSIFICATION

After allowing due consideration of the Director's Determination - Landslip Hazard Areas, site geology, drainage and soil conditions, the site has been classified as follows:

CLASS P (AS 2870)

However, if all footings are founded uniformly on the natural clayey silt, footings may be proportioned to a **CLASS H1**.

Foundation designs in accordance with this classification are to be subject to the overriding conditions of the Foundations section below.

This classification is applicable only for ground conditions encountered at the time of this investigation. If cut or fill earthworks are carried out, then the site classification will need to be re-assessed, and possibly changed.

6 FOUNDATIONS

Particular attention should be paid to the design of footings as required by AS 2870 – 2011.

In addition to normal founding requirements arising from the above classification, particular conditions at this site dictate that the founding medium for all footings would be as follows:

**Clayey SILT (ML/MH) – low to high plasticity, brown
encountered below 0.2m from the existing ground surface**

An allowable bearing pressure of **100kPa** is available for edge beams, strips, pads and bored piers founded as above.

The site classification presented assumes that the current natural drainage and infiltration conditions at the site will not be markedly affected by the proposed site development work. Care should therefore be taken to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

Attention is drawn to Appendix B of AS 2870 and CSIRO Building Technical File BTF18 “Foundation Maintenance and Footing Performance: A Homeowner’s Guide” as a guide to maintenance requirements for the proposed structure.

Although the borehole data provides an indication of subsurface conditions at the site, variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footing or beam excavations should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

The boreholes were backfilled shortly after being drilled, not allowing time for groundwater seepage flows to develop. Groundwater seepages or higher groundwater levels can occur during and/or after a prolonged period of wet weather or a heavy rainfall event.

7 PLUMBING

Classification for foundations was P Class, due to the site being partially within a low landslide hazard band; however, provided there is no loading around the plumbing pipework, the plumbing can be installed proportioned to **Class H1** for soil reactivity purposes.

If during plumbing trench excavations, soft or loose ground is encountered, it is recommended the plumbing trenches be excavated to natural ground and backfilled with granular material to the invert level of the pipework.

8 WIND CLASSIFICATION

After allowing due consideration of the region, terrain, shielding and topography, the site has been classified as follows:

WIND CLASSIFICATION N3 (AS 4055)

REGION	TERRAIN CATEGORY	SHIELDING	TOPOGRAPHY
A	TC2.5	NS	T3

9 REFERENCES

Australian Geomechanics Society. (2007). Practice note guidelines for landslide risk management. *Australian Geomechanics Journal*, 42(1), 115-158.

Department of Justice. (2021). *Building Act 2016: Director's Determination - Landslip Hazard Areas*. Consumer, Building and Occupational Services.

Standards Australia Limited. (2011). *AS 2870: Residential Slabs and Footings Construction*. Sydney: SAI Global Limited.

Standards Australia Limited. (2017). *AS 1726: Geotechnical Site Investigation*. Sydney: SAI Global Limited.

Standards Australia Limited. (2021). *AS 4055: Wind Loads for Housing*. Sydney: SAI Global Limited.

Tasmanina Planning Commission. (2025). *Tasmanian Planning Scheme*. Retrieved from https://www.planning.tas.gov.au/__data/assets/pdf_file/0011/711002/State-Planning-Provisions-effective-24-January-2024.PDF

Attachments:

Limitations of report

Drawing 1: Site Plan

Appendix A: Borehole Logs & Explanation Sheets

Appendix B: Some Guidelines for Hillside Construction

Appendix C: Certificate Forms

Geotechnical Consultants - Limitations of report

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

Project specific criteria

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

Subsurface variations with time

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

Interpretation of factual data

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

Report Recommendations

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

Specific purposes

This report should not be applied to any project other than that originally specified at the time the report was issued.

Interpretation by others

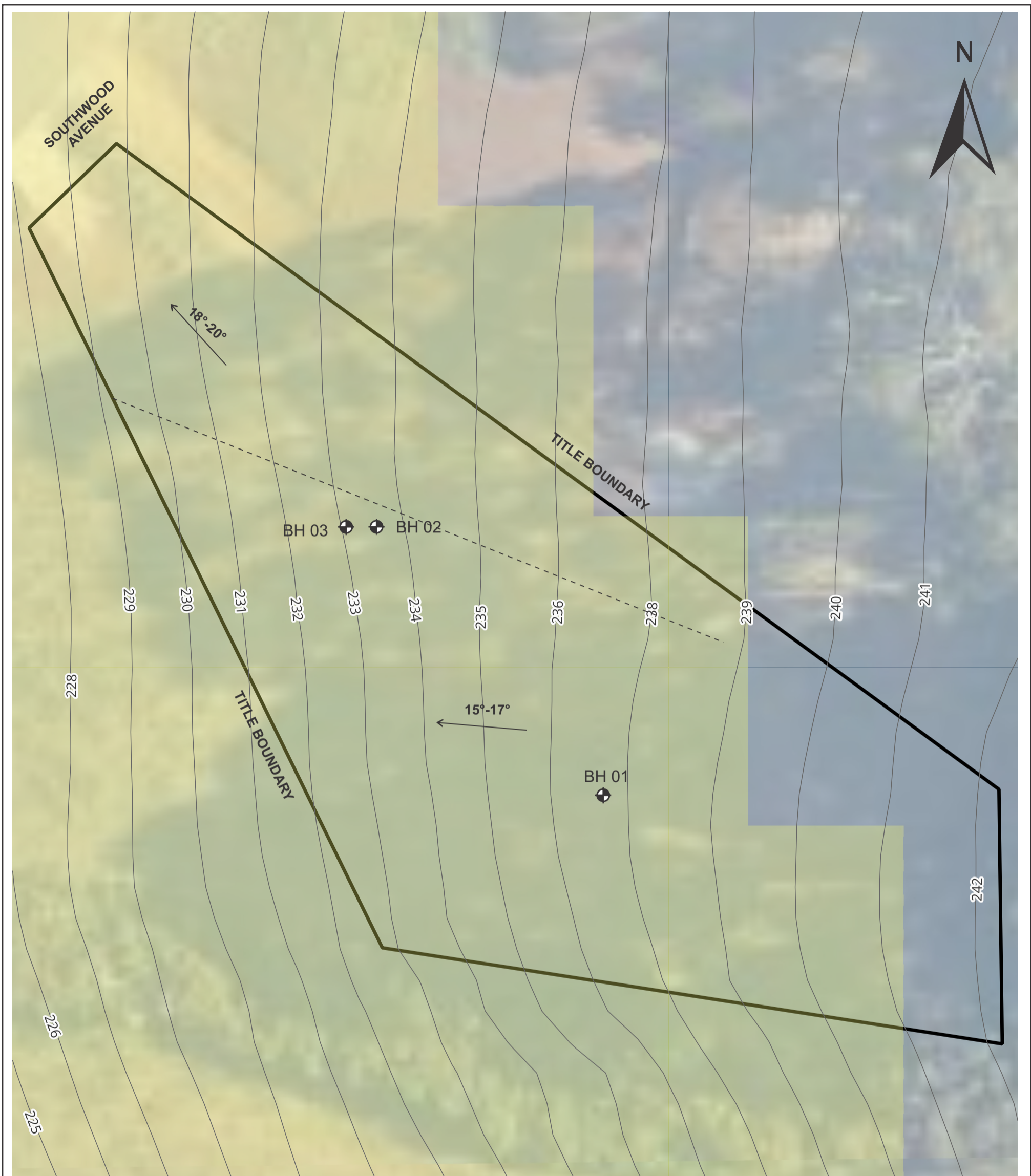
Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

Report integrity

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

Geoenvironmental issues

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.







5 0 5 10 15 m



Approximate Scale

Legend

- BH 01  Approximate Borehole Location
-  Approximate Slope angle in Degrees
- 50- Contour in Metres (LiDAR Derived)
- - - - Approximate Change in Slope
-  Low Landslide Hazard Band (LIST)

				Client: PLATINUM PRO CONSTRUCTION	
				Project: 35 SOUTHWOOD AVENUE PENGUIN	
Date	08/08/2025	Drawn	AF	Title: SITE PLAN	
Scale	1:250	Approved	TB	Project no:	GL25443A
Original size	A3	Rev		Drawing no.	1

Appendix A

Borehole Logs

Client : Platinum Pro Construction
Project : Site Classification and Form D
Location : 35 Southwood Avenue, Penguin

Easting : 0.00
Northing : 0.00
Inclination : -90deg
Azimuth :

Sheet : 1 OF 1
Job No : GL25443A
Logged : Anne Foster
Logged Date : 31/07/2025
Drill Rig : Honey Badger - 95mm

Method	Drilling	Water	Samples	Testing	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture condition	Consistency density, index	Structure, Additional Observations
				V (kPa)							
ADT							ML	TOPSOIL - Clayey SILT - low plasticity, dark brown, root fibres	M	St	
							MH	Clayey SILT - high plasticity, brown,	M	St	w ~ PL
				76							
			D				MH	becoming brown mottled pale brown,	M	St	
				94							
							ML	Clayey SILT - low plasticity, orange brown, trace fine to medium gravel,	M - D	VSt	w < PL
				R							
								BH01 Terminated at 2 m			

Client : Platinum Pro Construction
 Project : Site Classification and Form D
 Location : 35 Southwood Avenue, Penguin

Easting : 0.00
 Northing : 0.00
 Inclination : -90deg
 Azimuth :

Sheet : 1 OF 1
 Job No : GL25443A
 Logged : Anne Foster
 Logged Date : 31/07/2025
 Drill Rig : Honey Badger - 95mm

Method	Drilling	Water	Samples	Testing	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture condition	Consistency density, index	Structure, Additional Observations
				V (kPa)							
ADT					0.25		ML	TOPSOIL - Clayey SILT - low plasticity, dark brown, trace fine gravel, root fibres	M	St	
					0.50		ML	Clayey SILT - low plasticity, brown,	M	VSt	w < PL
				R				BH02 Refusal at 0.6 m (auger refusal on inferred boulder)			

Investigation Log Explanation Sheet

METHOD – BOREHOLE

TERM	Description
AS	Auger Screwing*
AD	Auger Drilling*
RR	Roller / Tricone
W	Washbore
CT	Cable Tool
HA	Hand Auger
DT	Diatube
B	Blank Bit
V	V Bit
T	TC Bit

* Bit shown by suffix e.g. ADT

METHOD – EXCAVATION

TERM	Description
N	Natural exposure
X	Existing excavation
H	Backhoe bucket
B	Bulldozer blade
R	Ripper
E	Excavator
HT	Hand Tools




SUPPORT

TERM	Description
M	Mud
N	Nil
C	Casing
S	Shoring

PENETRATION

1	2	3	4	
█	█	█	█	No resistance ranging to Refusal

WATER

Symbol	Description
	Water inflow
	Water outflow
	17/3/08 water on date shown

NOTES, SAMPLES, TESTS

TERM	Description
U ₅₀	Undisturbed sample 50 mm diameter
U ₆₃	Undisturbed sample 63 mm diameter
U ₈₁	Undisturbed sample 81 mm diameter
D	Disturbed sample
N	Standard Penetration Test (SPT)
N*	SPT – sample recovered
N _c	SPT with solid cone
V	Vane Shear
PP	Pocket Penetrometer
P	Pressumeter
B _s	Bulk sample
E	Environmental Sample
R	Refusal – Material cannot be penetrated
DCP	Dynamic Cone Penetrometer (blows/100mm)
PL	Plastic Limit
LL	Liquid Limit
LS	Linear Shrinkage

CLASSIFICATION SYMBOLS AND SOIL DESCRIPTION

Based on AS 1726:2017

MOISTURE

TERM	Description
D	Dry
M	Moist
W	Wet

CONSISTENCY/DENSITY INDEX

TERM	Description
VS	very soft
S	soft
F	firm
St	stiff
VSt	very stiff
H	hard
Fr	friable
VL	very loose
L	loose
MD	medium dense
D	dense
VD	Very dense

Soil Description Explanation Sheet (1 of 2)

DEFINITION

In engineering terms, soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

CLASSIFICATION SYMBOL AND SOIL NAME

Soils are described in accordance with the AS 1726: 2017 as shown in the table on Sheet 2.

PARTICLE SIZE DEFINITIONS

NAME	SUBDIVISION	SIZE (mm)
BOULDERS		>200
COBBLES		63 to 200
GRAVEL	Coarse	19 to 63
	Medium	6.7 to 19
	Fine	2.36 to 6.7
SAND	Coarse	0.6 to 2.36
	Medium	0.21 to 0.6
	Fine	0.075 to 0.21
SILT		0.002 to 0.075
CLAY		<0.002

MOISTURE CONDITION

Coarse Grained Soils

Dry Non-cohesive and free running.

Moist Soil feels cool, darkened in colour. Soil tends to stick together.

Wet As for moist but with free water forming when handling.

Fine Grained Soils

Moist, dry of Plastic Limited – $w < PL$

Hard and friable or powdery.

Moist, near Plastic Limit – $w \approx PL$

Soils can be moulded at a moisture content approximately equal to the plastic limit.

Moist, wet of Plastic Limit – $w > PL$

Soils usually weakened and free water forms on hands when handling.

Wet, near Liquid Limit - $w \approx LL$

Wet, wet of Liquid Limit - $w > LL$

CONSISTENCY TERMS FOR COHESIVE SOILS

TERM	UNDRAINED STRENGTH s_u (kPa)	FIELD GUIDE
Very Soft	≤ 12	Exudes between the fingers when squeezed in hand
Soft	12 to 25	Can be moulded by light finger pressure
Firm	25 to 50	Can be moulded by strong finger pressure
Stiff	50 to 100	Cannot be moulded by fingers
Very Stiff	100 to 200	Can be indented by thumb nail
Hard	> 200	Can be indented with difficulty by thumb nail
Friable	–	Can be easily crumbled or broken into small pieces by hand

RELATIVE DENSITY OF NON-COHESIVE SOILS

TERM	DENSITY INDEX (%)
Very Loose	≤ 15
Loose	15 to 35
Medium Dense	35 to 65
Dense	65 to 85
Very Dense	> 85

DESCRIPTIVE TERMS FOR ACCESSORY SOIL COMPONENTS

DESIGNATION OF COMPONENT	IN COARSE GRAINED SOILS		IN FINE GRAINED SOILS	TERM
	% Fines	% Accessory coarse fraction	% Sand/ gravel	
Minor	≤ 5	≤ 15	≤ 15	Trace
	$> 5, \leq 12$	$> 15, \leq 30$	$> 15, \leq 30$	With
Secondary	> 12	> 30	> 30	Prefix

SOIL STRUCTURE

ZONING		CEMENTING	
Layer	Continuous across the exposure or sample.	Weakly cemented	Easily disaggregated by hand in air or water.
Lens	Discontinuous layer of different material, with lenticular shape.		
Pocket	An irregular inclusion of different material.	Moderately cemented	Effort is required to disaggregate the soil by hand in air or water.

GEOLOGICAL ORIGIN

WEATHERED IN PLACE SOILS

Extremely Weathered material	Material is weathered to such an extent that it has soil properties. Structure and/or fabric of parent rock material retained and visible.
Residual soil	Structure and/or fabric of parent rock material not retained and visible.

TRANSPORTED SOILS

Aeolian soil	Carried and deposited by wind.
Alluvial soil	Deposited by streams and rivers.
Colluvial soil	Soil and rock debris transported downslope by gravity.
Estuarine soil	Deposited in coastal estuaries, and including sediments carried by inflowing rivers and streams, and tidal currents.
Fill	Man-made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils.
Lacustrine soil	Deposited in freshwater lakes.
Marine soil	Deposited in a marine environment.

Soil Description Explanation Sheet (2 of 2)

SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 63 mm and basing fractions on estimated mass)				GROUP SYMBOL	PRIMARY NAME	
COARSE GRAINED SOIL More than 65% of soil excluding oversize fraction is larger than 0.075 mm	GRAVEL More than half of coarse fraction is larger than 2.36 mm	CLEAN GRAVEL (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate particle sizes	GW	GRAVEL	
			Predominantly one size or a range of sizes with some intermediate sizes missing	GP	GRAVEL	
		GRAVEL WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	GM	Silty GRAVEL	
			Plastic fines (for identification procedures see CL, CI and CH below)	GC	Clayey GRAVEL	
	SAND More than half of coarse fraction is smaller than 2.36 mm	CLEAN SAND (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate sizes	SW	SAND	
			Predominantly one size or a range of sizes with some intermediate sizes missing	SP	SAND	
		SAND WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	SM	Silty SAND	
			Plastic fines (for identification procedures see CL, CI and CH below)	SC	Clayey SAND	
FINE GRAINED SOIL More than 35% of soil excluding oversize fraction is smaller than 0.075 mm	IDENTIFICATION PROCEDURES ON FRACTIONS <0.075 mm					
		DRY STRENGTH	DILATANCY	TOUGHNESS		
	SILT & CLAY (low to medium plasticity, LL ≤ 50)	None to Low	Slow to Rapid	Low	ML	SILT
		Medium to High	None to Slow	Medium	CL, CI	CLAY
		Low to Medium	Slow	Low	OL	ORGANIC SILT
	SILT & CLAY (high plasticity, LL > 50)	Low to Medium	None to Slow	Low to Medium	MH	SILT
		High to Very High	None	High	CH	CLAY
		Medium to High	None to Very Slow	Low to Medium	OH	ORGANIC CLAY
	Highly Organic Soil	Readily identified by colour, odour, spongy feel and frequently by fibrous texture.			Pt	PEAT

• LL – Liquid Limit.

COMMON DEFECTS IN SOILS

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub parallel to layering (e.g. bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
FISSURE	A surface or crack across which the soil has little or no tensile strength, but which is not parallel or sub parallel to layering. May be open or closed. May include desiccation cracks.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter.	
SHEARED SEAM	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting fissures which divide the mass into lenticular or wedge-shaped blocks.		TUBE CAST	An infilled tube. The infill may be uncemented or weakly cemented soil or have rock properties.	
SHEARED SURFACE	A near planar curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along the defect.		INFILLED SEAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open defects.	

Appendix B

Certificate Forms

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

Geoton Pty Ltd, Report Reference No. GL25443Ab,
dated 08/08/2025

Relevant
calculations:

Refer to report

References:

AS 2870 – 2011 Residential Slabs and Footings Construction
AS 4055 – 2021 Wind Loads for Housing
CSIRO Building Technical File 18

Substance of Certificate: (what it is that is being certified)

Site Classification in accordance with AS2870 - 2011
Wind Loading in accordance with AS 4055 - 2021
Findings and recommendations of report

Scope and/or Limitations

The classification applies to the site as investigated at the time and does not account for any future alteration to foundation conditions resulting from earthworks, drainage condition changes or site maintenance variations.

I certify the matters described in this certificate.

Signed:

Qualified person:



Certificate No:

GL25443Ab


Date:


08/08/2025

PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

FORM	D	Page 1 of 2				
Geotechnical Declaration Minor Impact						
Office Use Only				Regulator: Central Coast Council		
<p>This form may be used where minor construction works present minimal or no geotechnical impact on the site or related land. A geotechnical engineer or engineering geologist must inspect the site and/or review the proposed development documentation to determine if the proposed development requires a geotechnical report to be prepared to accompany the development application. Where the geotechnical engineer determines that such a report is not required then they must complete this form and attach design recommendations where required. A copy of this form with design recommendation, if required, must be submitted with the development application.</p> <p>Note: In all situations, this form will need to be accompanied by Form B where the structural engineer or civil engineer certifies that any residential structure designed or erected in accordance with the plans and specifications prepared by the structural engineer or civil engineer achieve the performance requirements of Clause 1.3 of the current version of AS 2870.</p> <p>Note: The use of this form does not preclude the geotechnical consultant from requiring a Geotechnical Report.</p>						
Section 1 Related Application						
<i>Reference</i>		What is the Council Development Application Number?				
<i>DA Site Address</i>		35 Southwood Avenue, Penguin				
<i>DA Applicant</i>		Platinum Pro Construction				
Section 2 Documentation						
<i>List of Documents Reviewed (More space on page two if required)</i>		Description	Plan or Document No.	Revision or Version No.	Date	Author
		Site Classification & Form D – Geoton Pty Ltd	GL25443Ab	-	08/08/25	AF
Section 3 Declaration						
Declaration (Tick all that apply)		<p>I am a geotechnical engineer or engineering geologist as defined by the Central Coast Council Planning Scheme and I have inspected the site and reviewed the proposed development at the DA Site Address described above. As a result of my consideration of the Central Coast Council Planning Scheme, of my site inspection and review of the documentation listed above, I have determined and declare that, on behalf of the company below:</p>				
Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	The current load-bearing capacity of the site will not be exceeded or be adversely impacted on by the proposed development, and				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed works are of such a minor nature that the requirement for geotechnical advice in the form of a geotechnical report, prepared in accordance with Central Coast Council Planning Scheme is considered unnecessary for the adequate and safe design of the structural elements to be incorporated into the new works as there is no change to the current landslide risk on the site in accordance with AGS (2007c), and				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	In accordance with AS 2870 Residential Slabs and Footings, the site is to be classified as a type: <u>P (H1 for reactivity)</u>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I have attached design recommendations to be incorporated in the structural design in accordance with this site classification.				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I have professional indemnity insurance in accordance with Central Coast Council Planning Scheme of not less than \$5 million, being in force for the year in which the report is dated, with retroactive cover under this insurance policy extending back to the engineer's first submission to Central Coast Council .				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I am aware that this declaration shall be used by Central Coast Council as an essential component in granting development consent for a structure to be erected on the site or related land without requiring submission of a geotechnical report complying with the Central Coast Council Planning Scheme in support of the development application.				

Reference: AGS (2007c) "Practice Note Guidelines for Landslide Risk Management". Australian Geomechanics Society, Australian Geomechanics, V42, .N1, March 2007.

FORM	D	Page 2 of 2			
		Geotechnical Declaration Minor Impact			
Section 4 Additional Documentation					
<i>List of Documents Reviewed</i>	Description	Plan or Document No.	Revision or Version No.	Date	Author
Section 5 Geotechnical Engineer or Engineering Geologist Details					
<i>Company/ Organisation Name</i>	Geoton Pty Ltd				
<i>Name (Company Representative)</i>	Surname: Barriera		Mr /Mrs /Other: Mr		
	Given Names: Tony				
	Chartered Professional Status: CPEng		Registration No: 471929		
<i>Signature</i>				Dated: 08 / 08 / 2025	

 CENTRAL COAST COUNCIL	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	28/01/2026
Application No:	DA2025287
Doc ID:	543484



PLATINUM PRO

Construction

NEW DWELLING AND SHED - 35 SOUTHWOOD AVENUE, PENGUIN

Paul and Joanne James
PROJECT N°: PPC - 2405

DEVELOPMENT APPLICATION

SITE INFORMATION

SITE AREA: 1644.0 m²

WIND SPEED: N3
CLIMATE ZONE: 7
SOIL CLASSIFICATION: CLASS P
BUSHFIRE ATTACK LEVEL: BAL 19
ALPINE AREA: N/A
CORROSION ENVIRONMENT: N/A

FLOOR AREAS

DWELLING: 182.3 m² (19.6 Sq.)
ALFRESCO 17.0 m²
SHED / CARPORT: 108.0 m²



DRAWING SCHEDULE - REV B

- A00 Cover Page
- A01 Site Plan
- A02 Ground Floor Plan
- A03 Lower Floor Plan
- A04 Elevations 1 of 2
- A05 Elevations 2 of 2
- A06 Section AA

CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	28/01/2026
Application No:	DA2025287
Doc ID:	543484

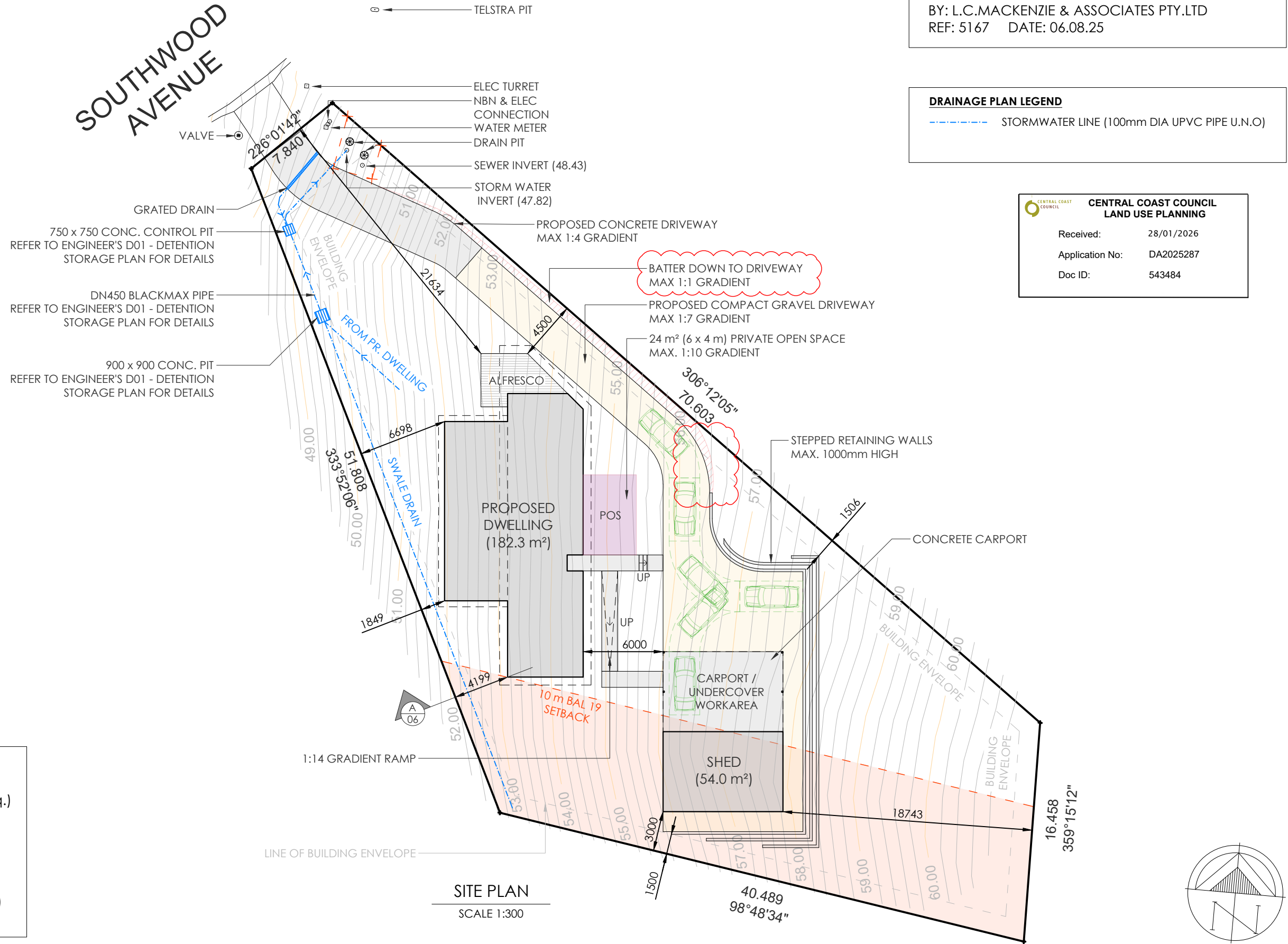
PLATINUM PRO

Construction

NEW DWELLING AND SHED - 35 SOUTHWOOD AVENUE, PENGUIN

Paul and Joanne James
PROJECT N°: PPC - 2405

DEVELOPMENT APPLICATION



DRAINAGE PLAN LEGEND

--- STORMWATER LINE (100mm DIA UPVC PIPE U.N.O)

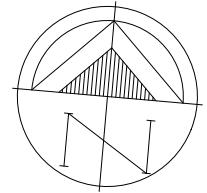
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 28/01/2026
Application No: DA2025287
Doc ID: 543484

SITE AREA:

DWELLING:	182.3 m ²	(19.6 Sq.)
ALFRESCO:	17.0 m ²	
SHED / CARPORT:	108.0 m ²	
DRIVEWAY:	266.2 m ²	
PATHS:	23.2 m ²	
SITE COVERAGE:	596.7 m²	(36.3 %)
SITE AREA:	1644.0 m²	

SITE PLAN
SCALE 1:300



PLATINUM PRO
Construction

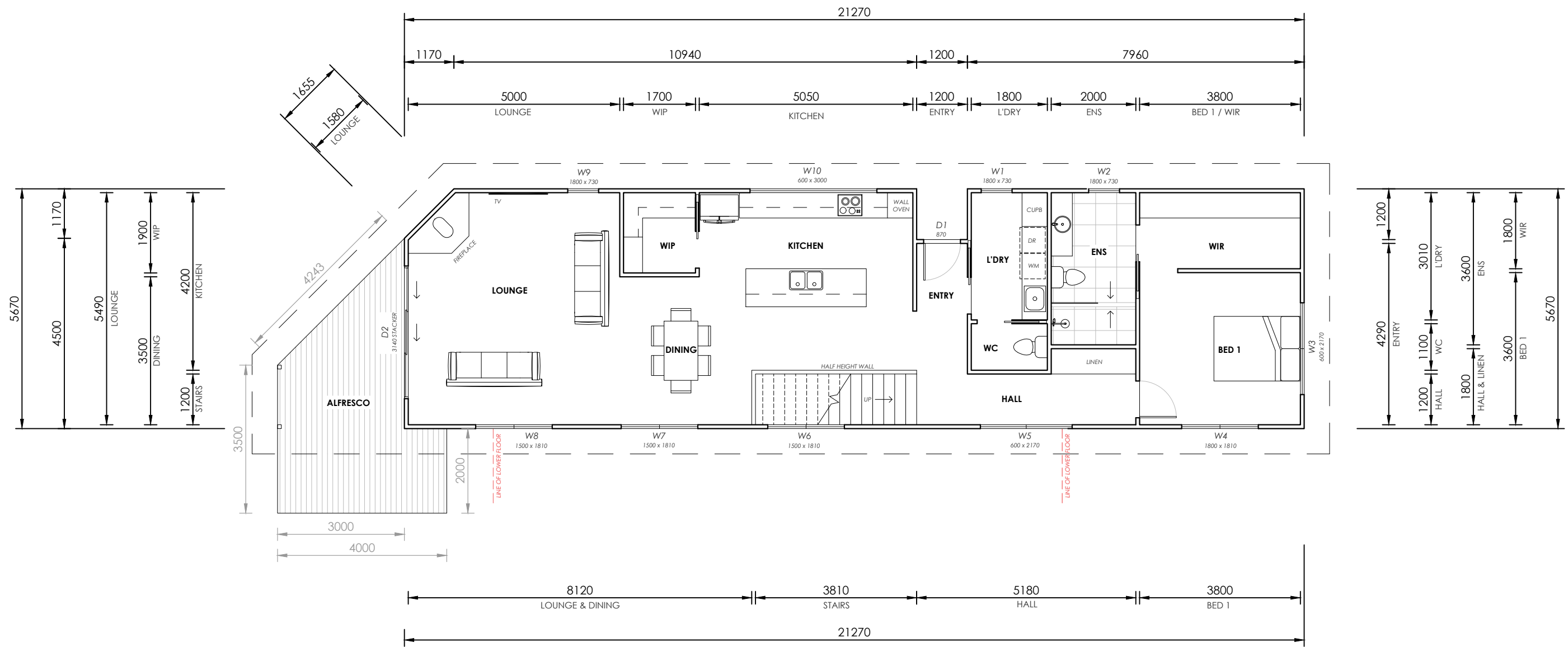
135a Sheffield Road, Spreyton 7310
ph: 03 6427 2676
ABN: 78 440 511 272
Licence No. 539021287
info@platinumproconstruction.com.au

PROPOSED NEW DWELLING

CLIENT(s): Paul and Joanne James
PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN
PROJECT N^o: PPC - 2405

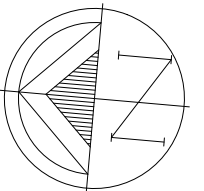
REVISIONS		
REV.	DESCRIPTION	DATE
-	Development Application	19.11.25
A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26
B	Retaining Wall Removed from Setback	28.01.26

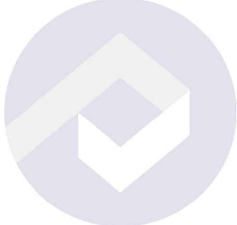
SITE PLAN				
SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:300	19.11.25	LR	RI	A01
DEVELOPMENT APPLICATION				
<small>These drawings remain the property of Platinum Pro Construction and must not be reproduced or used in any form without written permission © 2025. All contractors are to verify dimensions on site before commencing work. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.</small>				

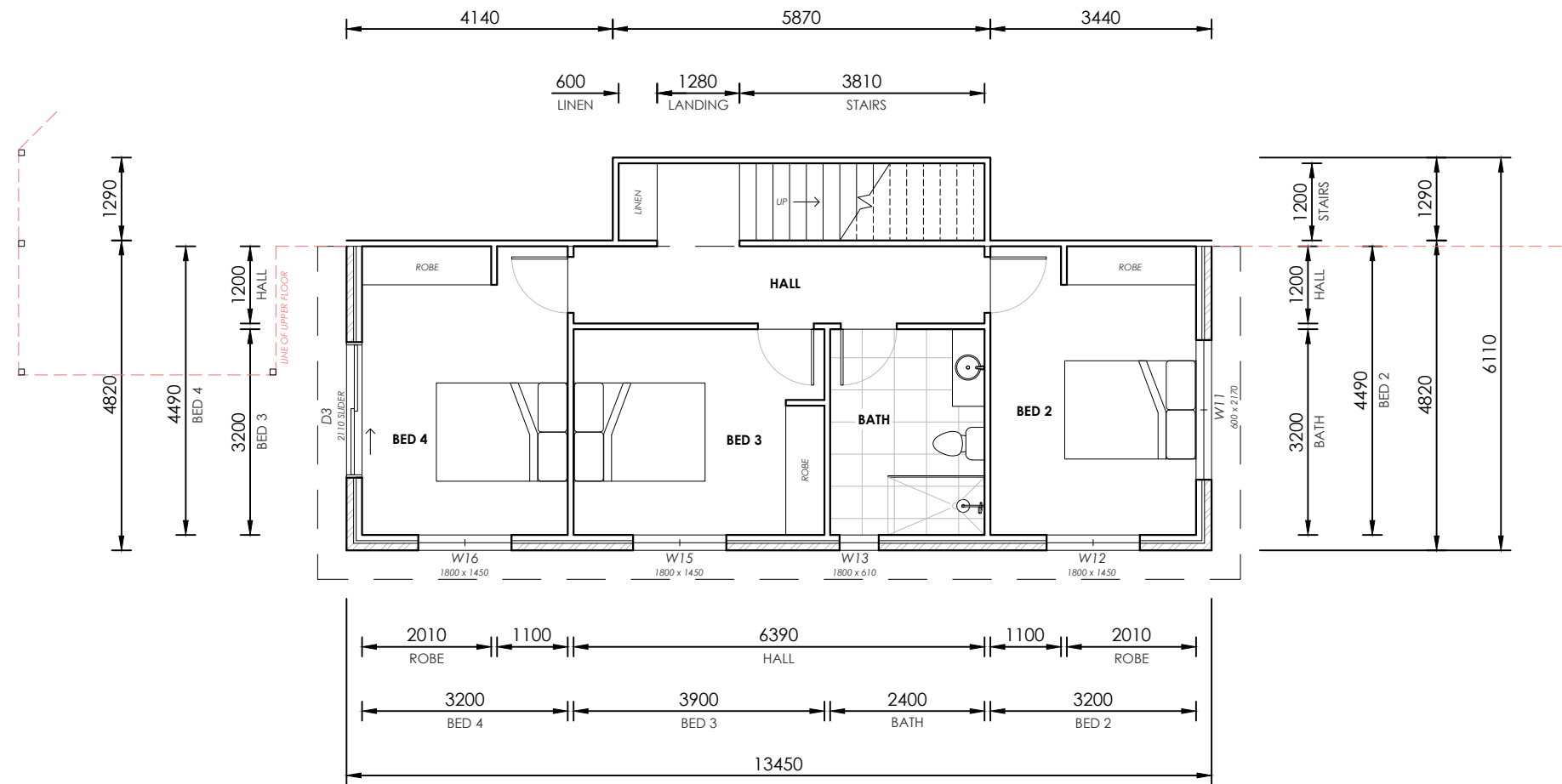


GROUND FLOOR AREA:
 DWELLING: 118.7 m² (12.8 Sq.)
 ALFRESCO: 17.0 m²

GROUND FLOOR PLAN
 SCALE 1:100



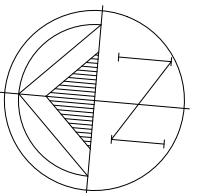
 <p>PLATINUM PRO <i>Construction</i> 135a Sheffield Road, Spreyton 7310 ph: 03 6427 2676 ABN: 78 440 511 272 Licence No. 539021287 info@platinumproconstruction.com.au</p>	<p>PROPOSED NEW DWELLING CLIENT(s): Paul and Joanne James PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN PROJECT N^o: PPC - 2405</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>Development Application</td> <td>19.11.25</td> </tr> <tr> <td>A</td> <td>Elev Dims, POS, Driveway, Coverage, SW</td> <td>21.01.26</td> </tr> <tr> <td>B</td> <td>Retaining Wall Removed from Setback</td> <td>28.01.26</td> </tr> </tbody> </table>			REV.	DESCRIPTION	DATE	-	Development Application	19.11.25	A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26	B	Retaining Wall Removed from Setback	28.01.26	<p>GROUND FLOOR PLAN</p> <table border="1"> <thead> <tr> <th>SCALE @ A3</th> <th>DATE</th> <th>DRAWN BY</th> <th>CHECKED</th> <th>SHEET N^o.</th> </tr> </thead> <tbody> <tr> <td>1:100</td> <td>19.11.25</td> <td>LR</td> <td>RI</td> <td>A02</td> </tr> </tbody> </table>					SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .	1:100	19.11.25	LR	RI	A02
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					<p>DEVELOPMENT APPLICATION</p> <p><small>These drawings remain the property of Platinum Pro Construction and must not be reproduced or used in any form without written permission © 2025. All contractors are to verify dimensions on site before commencing work. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.</small></p>																										




LOWER FLOOR AREA:

DWELLING: 63.6 m² (6.9 Sq.)

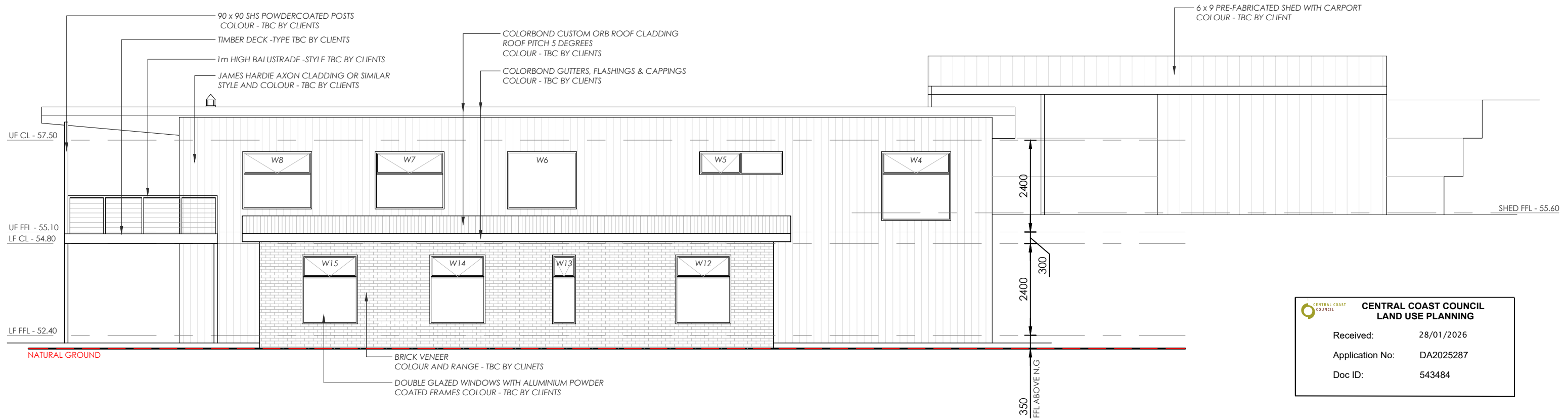
LOWER FLOOR PLAN
 SCALE 1:100



 <p>PLATINUM PRO <i>Construction</i></p> <p>135a Sheffield Road, Spreyton 7310 ph: 03 6427 2676 ABN: 78 440 511 272 Licence No. 539021287 info@platinumproconstruction.com.au</p>	<p>PROPOSED NEW DWELLING</p> <p>CLIENT(s): Paul and Joanne James PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN PROJECT N^o: PPC - 2405</p>	REVISIONS			LOWER FLOOR PLAN				
		REV.	DESCRIPTION	DATE		SCALE @ A3	DATE	DRAWN BY	CHECKED
	-	Development Application	19.11.25		1:100	19.11.25	LR	RI	A03
	A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26		DEVELOPMENT APPLICATION				
	B	Retaining Wall Removed from Setback	28.01.26		<small>These drawings remain the property of Platinum Pro Construction and must not be reproduced or used in any form without written permission © 2025. All contractors are to verify dimensions on site before commencing work. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.</small>				

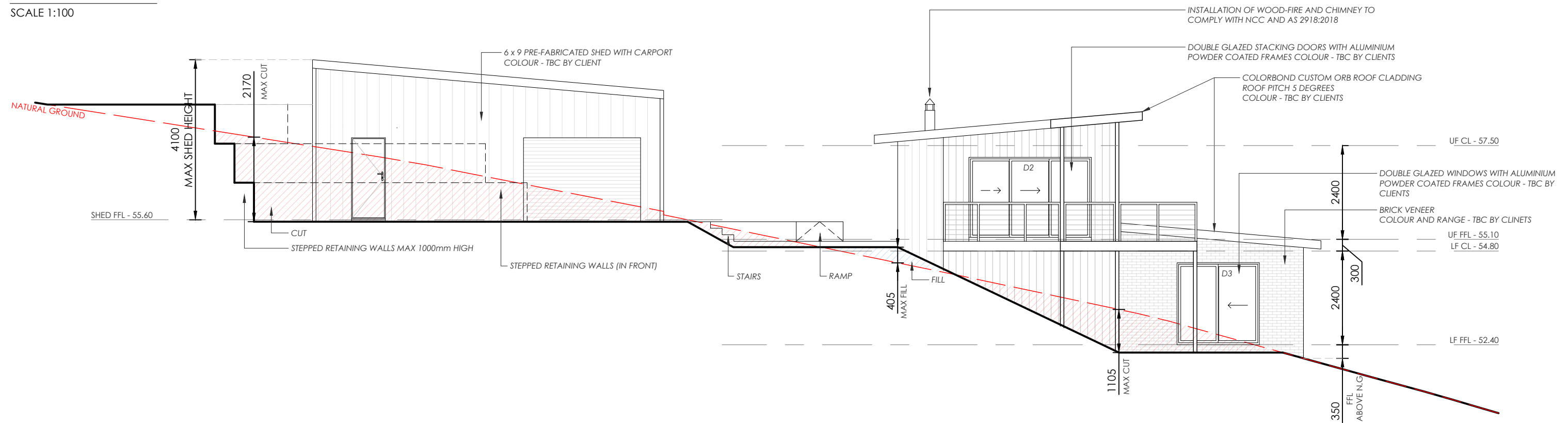
WEST ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100



PLATINUM PRO
Construction

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PROPOSED NEW DWELLING

CLIENT(s): Paul and Joanne James

PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN

PROJECT N^o: PPC - 2405

REVISIONS		
REV.	DESCRIPTION	DATE
-	Development Application	19.11.25
A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26
B	Retaining Wall Removed from Setback	28.01.26

ELEVATIONS 1 OF 2

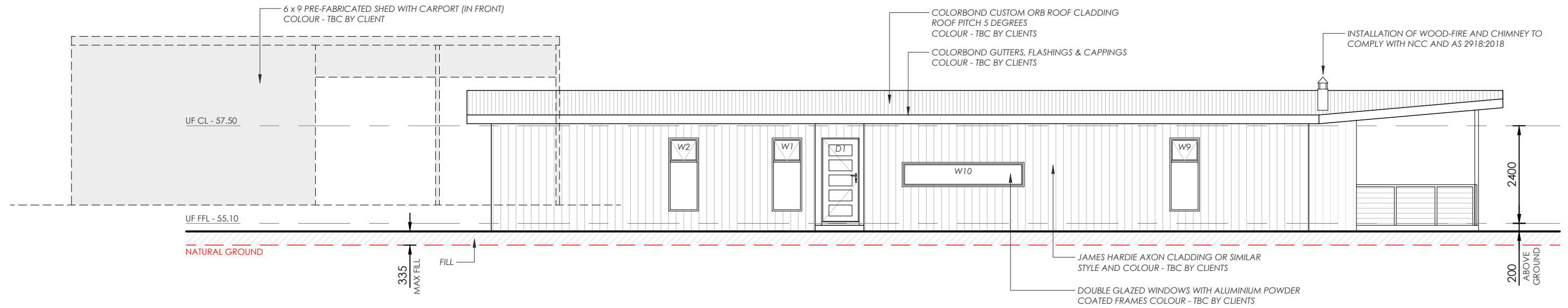
SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:100	19.11.25	LR	RI	A04

DEVELOPMENT APPLICATION

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EAST ELEVATION

SCALE 1:100

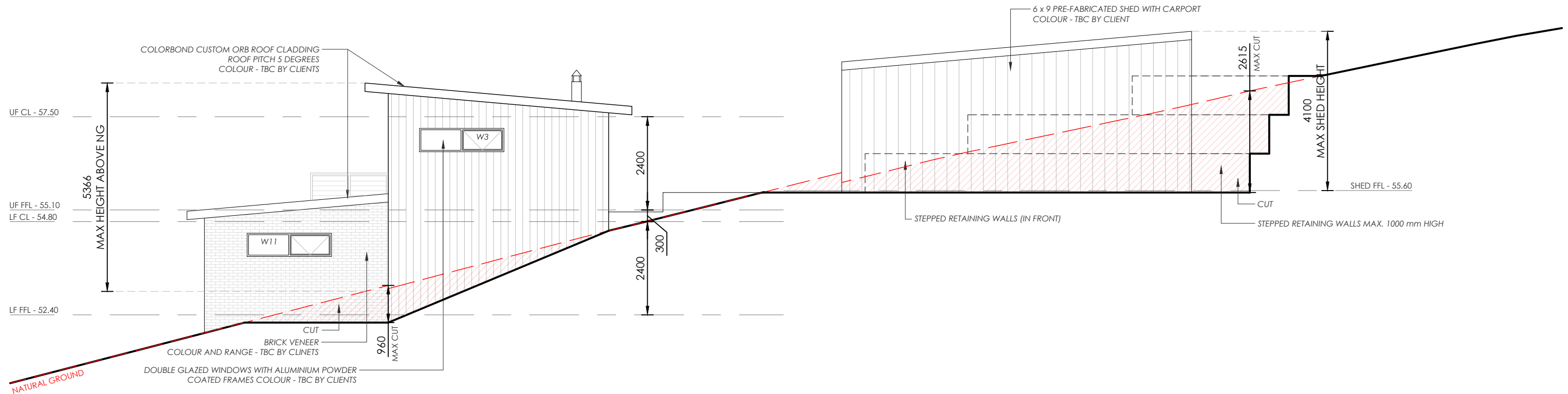


CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 28/01/2026
 Application No: DA2025287
 Doc ID: 543484

SOUTH ELEVATION

SCALE 1:100



PLATINUM PRO
Construction

135a Sheffield Road, Spreyton 7310
 ph: 03 6427 2676
 ABN: 78 440 511 272
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PROPOSED NEW DWELLING

CLIENT(s): Paul and Joanne James
 PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN
 PROJECT N^o: PPC - 2405

REVISIONS		
REV.	DESCRIPTION	DATE
-	Development Application	19.11.25
A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26
B	Retaining Wall Removed from Setback	28.01.26

ELEVATIONS 2 OF 2


SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:100	19.11.25	LR	RI	A05

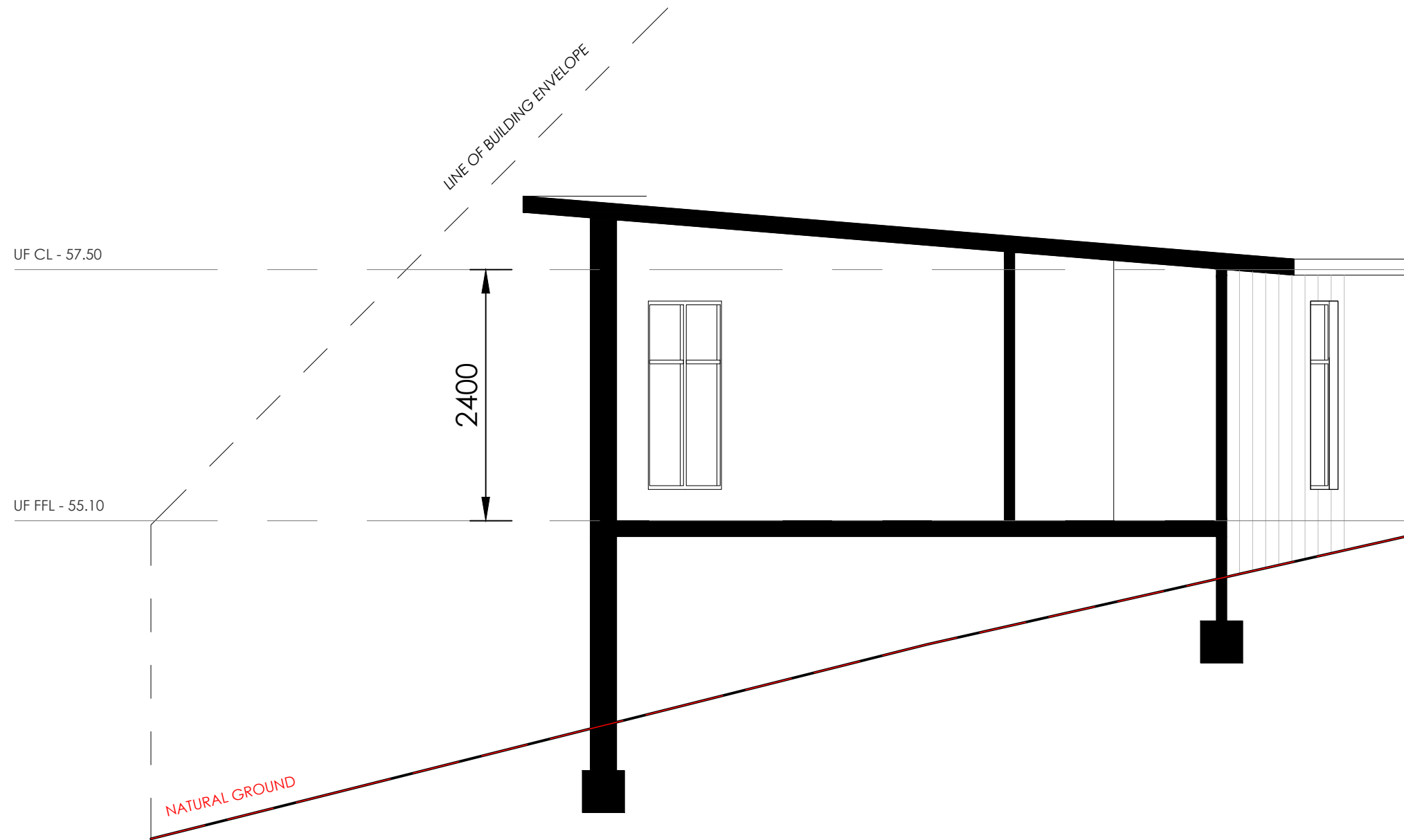
DEVELOPMENT APPLICATION

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SECTION AA

SCALE 1:50

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	28/01/2026
Application No:	DA2025287
Doc ID:	543484




PLATINUM PRO
Construction

135a Sheffield Road, Spreyton 7310
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PROPOSED NEW DWELLING

CLIENT(s): Paul and Joanne James
PROJECT ADDRESS: 35 SOUTHWOOD AVENUE, PENGUIN
PROJECT N^o: PPC - 2405

REVISIONS		
REV.	DESCRIPTION	DATE
-	Development Application	19.11.25
A	Elev Dims, POS, Driveway, Coverage, SW	21.01.26
B	Retaining Wall Removed from Setback	28.01.26

SECTION AA

SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:50	19.11.25	LR	RI	A06

DEVELOPMENT APPLICATION

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NOTES:

1. GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- 1.2 CHECK ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FOR OTHER SERVICES FOR PENETRATIONS AND CAST-IN ITEMS.

2. SITE

- 2.1 FLOOR SLAB AREAS TO BE STRIPPED OF ALL VEGETATION, TOP SOIL AND SOFT MATERIAL.
- 2.2 FILL TO BE APPROVED GRAVEL PROPERLY COMPACTED IN HORIZONTAL LAYERS NO EXCEEDING 150mm LOOSE THICKNESS.
- 2.3 ALL FOOTINGS TO BE FOUNDED IN FIRM NATURAL GROUND. MINIMUM FOUNDING DEPTH TO BE 300mm BELOW NATURAL SURFACE UNLESS OTHERWISE NOTED.
- 2.4 FINISHED GROUND LEVELS AROUND BUILDING TO BE MINIMUM 100mm BELOW GROUND FLOOR SLAB AND GRADE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1500mm.

3. CONCRETE

- 3.1 CONCRETE CONSTRUCTION TO BE IN ACCORDANCE WITH AS3600
- 3.2 UNLESS NOTED OTHERWISE CONCRETE TO BE GRADE N25 (28 DAY COMPRESSIVE STRENGTH OF 25MPa) 80mm SLUMP AND 20mm MAXIMUM AGGREGATE SIZE. CONCRETE TO BE PRE-MIXED IN ACCORDANCE WITH AS1379.
- 3.3 CHLORINE BASED ADMIXTURES ARE NOT TO BE USED.
- 3.4 MECHANICALLY VIBRATE CONCRETE IN THE FORM TO GIVE MAXIMUM COMPACTION, WITHOUT SEGREGATION OF THE CONCRETE.
- 3.5 MOIST CURE CONCRETE FOR A MINIMUM OF 7 DAYS.

4. REINFORCEMENT.

- 4.1 SYMBOLS ON DRAWINGS FOR GRADE AND TYPE OF REINFORCEMENT:
 - N - BHP TEMPCORE GRADE 500N DEFORMED BAR TO AS4671
 - R - GRADE 250R HOT-ROLLED PLAIN ROUND BAR TO AS4671
 - L - HARD DRAWN WIRE REINFORCING FABRIC GRADE 500 TO AS4671
 - TM - TRENCH MESH - AS FOR 'L'
- 4.2 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
- 4.3 REINFORCEMENT TO BE FABRICATED TO WITHIN TOLERANCES SPECIFIED BY AS3600
- 4.4 UNLESS NOTED OTHERWISE CONCRETE COVER TO REINFORCEMENT TO BE:
 - FOOTINGS: 40mm
 - SLAB ON GROUND 25mm
 - INTERIOR COLUMNS, BEAMS AND SUSPENDED SLABS 20mm
 - PATIOS AND EXTERIOR MEMBERS 40mm
- 4.5 BARS ARE TO BE SUPPORTED AT 2m MAX. CENTRES AND FABRIC SUPPORTED AT 800mm MAX. CENTRES EACH WAY.

5. MASONRY:

- 5.1 ARTICULATION JOINTS HAVE BEEN PROVIDED AT LOCATIONS SHOWN BY <. JOINTS ARE GENERALLY ALONGSIDE DOORS, WINDOWS AND CHANGES IN WALL HEIGHT AND DIRECTION.
- 5.2 BRICK TIES SHALL BE STAINLESS STEEL.
- 5.3 CONCRETE BLOCKS TO BE GRADE 15. CONCRETE FILLING FOR BLOCKWORK TO BE GRADE20, 200-250mm SLUMP, 10mm MAXIMUM AGGREGATE SIZE. PROVIDE TEMPORARY PROPPING TO LINTELS FOR 14 DAYS.

6. STEELWORK

- 6.1 ALL STEEL FRAME WORK SHALL BE POWER BRUSH CLEANED AND PAINTED WITH 2 COAT OF ZINC PHOSPHATE, UNLESS NOTED OTHERWISE
- 6.2 ALL STEEL SHALL BE GRADE C350
- 6.3 ALL BOLTS SHALL BE M16 8.8/S UNLESS NOTED OTHERWISE
- 6.4 ALL PLATES SHALL BE 8mm PL. UNLESS NOTED OTHERWISE
- 6.5 ALL WELDS SHALL BE 6 C.F.W. UNLESS NOTED OTHERWISE
- 6.6 ALL WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.

DESIGN INFORMATION:

- BUILDING DESIGNER: PLATINUM PRO CONSTRUCTION
- REFERENCE DRAWINGS: PPC - 2405 A01
- SOIL CLASSIFICATION: N/A
- DESIGN WIND CATEGORY: N/A
- BUSHFIRE PRONE AREA
BUSHFIRE ATTACK LEVEL: (by others)
- ALPINE AREA
DESIGNATION: N/A
- LAND TITLE REFERENCE: 181413/15

DRAWING INDEX:

- S01 GENERAL NOTES, DRAWING INDEX & DESIGN INFORMATION
- D01 DETENTION STORAGE PLAN
- D02 DETENTION STORAGE DETAILS

DRAFT

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: **21/01/2026**
Application No: **DA2025287**
Doc ID: **542958**

Mr. Jonathon Mulcahy
BE (Civil) MIEAust CPEng NER

Signature: 

Accredited Building Practitioner
Licence No. 430733550

REV.	DESCRIPTION:	BY:	DATE:

STATUS: **CONSTRUCTION**

 **CIVILVISION CONSULTING**
CREATIVE ENGINEERING

20b Loone Lane
Spreyton TAS 7310

Mob: 0412 439 184
ABN: 66 644 575 468

info@civilvisionengineering.com

PROJECT:
**NEW RESIDENCE
35 SOUTHWOOD AVE, PENGUIN**

CLIENT:
PLATINUM PRO CONSTRUCTION

DRAWING TITLE:
**GENERAL NOTES, DRAWING INDEX
& DESIGN INFORMATION**

SCALE AT A3: NONE	DATE: 12/01/2026	DRAWN: MS	CHECKED: JM
PROJECT NO: 25263	DRAWING NO: S01	REVISION: 0	

SOUTHWOOD AVENUE

NEW 750x750 CONC. CONTROL PIT WITH GRATED LID AND SUMP.
S.L. 48.80 (APPROX)
I.L. OUT 48.00
I.L. IN 48.05
FORM 150 HIGH EARTH BUND TO ON DOWNSTREAM SIDE TO PREVENT SPILLS

NEW 900x900 CONC. PIT WITH GRATED LID AND SUMP.
S.L. 49.60 (APPROX)
I.L. OUT 48.23

SW CNXN
S.L. 49.30 (APPROX)
I.L. 47.82

SEW CNXN
S.L. 49.70 (APPROX)
I.L. 48.43

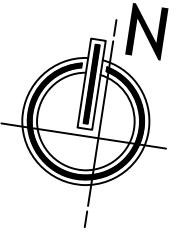
PROPOSED DWELLING
230m² ROOF AREA

PROPOSED SHED
108m² ROOF AREA

DRAFT

NOTES:

1. ALL DRAINS ARE Ø100 DWV PVC U.N.O
2. CONSTRUCT INTERNAL STORMWATER DRAINS IN ACCORDANCE WITH AS3500.3:2025.
3. ENSURE MINIMUM COVER OF 300 OVER DETENTION STORAGE PIPE
4. PLUMBER TO CONFIRM SW POINT CONNECTION DEPTH AND AVAILABLE COVER PRIOR TO EXCAVATION.



CENTRAL COAST COUNCIL
**CENTRAL COAST COUNCIL
LAND USE PLANNING**

Received: **21/01/2026**
Application No: **DA2025287**
Doc ID: **542958**

DETENTION STORAGE DESIGN INFORMATION SUMMARY	
Design AEP	5%
Total area of site	1644 sq. m
Design Impervious Area (Predevelopment 40% allowable)	658 sq. m
Design Impervious Area - Post development	605 sq. m (37%)
Design - Required Storage Vol	1.8 Cu. m
Total Storage Vol	1.84 Cu. m
Orifice Size	90 mm
Preveloped (5% AEP) / Post Dev Flow Rate @ (5% AEP)	18.0 / 23.0 L/s

- PERMEABLE AREA - LAWN / GARDEN BEDS
- CONCRETE / HOTMIX SURFACE

Mr. Jonathon Mulcahy
BE (Civil) MIEAust CPEng NER
Signature:
Accredited Building Practitioner
Licence No. 430733550

REV.	DESCRIPTION:	BY:	DATE:
STATUS: CONSTRUCTION			

CIVILVISION CONSULTING
CREATIVE ENGINEERING
20b Loone Lane
Spreyton TAS 7310
Mob: 0412 439 184
ABN: 66 644 575 468
info@civilvisionengineering.com

PROJECT:
**NEW RESIDENCE
35 SOUTHWOOD AVE, PENGUIN**

CLIENT:
PLATINUM PRO CONSTRUCTION

DRAWING TITLE:
DETENTION STORAGE PLAN

SCALE AT A3: 1:200	DATE: 12/01/2026	DRAWN: MS	CHECKED: JM
PROJECT NO: 25263	DRAWING NO: D01	REVISION: 0	

DETENTION STORAGE PLAN
SCALE 1:200

Received: 21/01/2026
Application No: DA2025287
Doc ID: 542958

NOTE:

CONCRETE PIT MAY BE SUBSTITUTED WITH CORRUTECH PE PROPRIETARY INTEGRATED PIT

FABRICATE RUBBISH SCREEN FROM MAXIMESH RH3030 OR SIMILAR (HD GALV.) TO FULL WIDTH OF PIT.

EARTH BUND. 150 ABOVE GRATE

FSL. 48.80 (APPROX)

I.L. 48.05

I.L. 48.00

Ø450 BLACKMAX

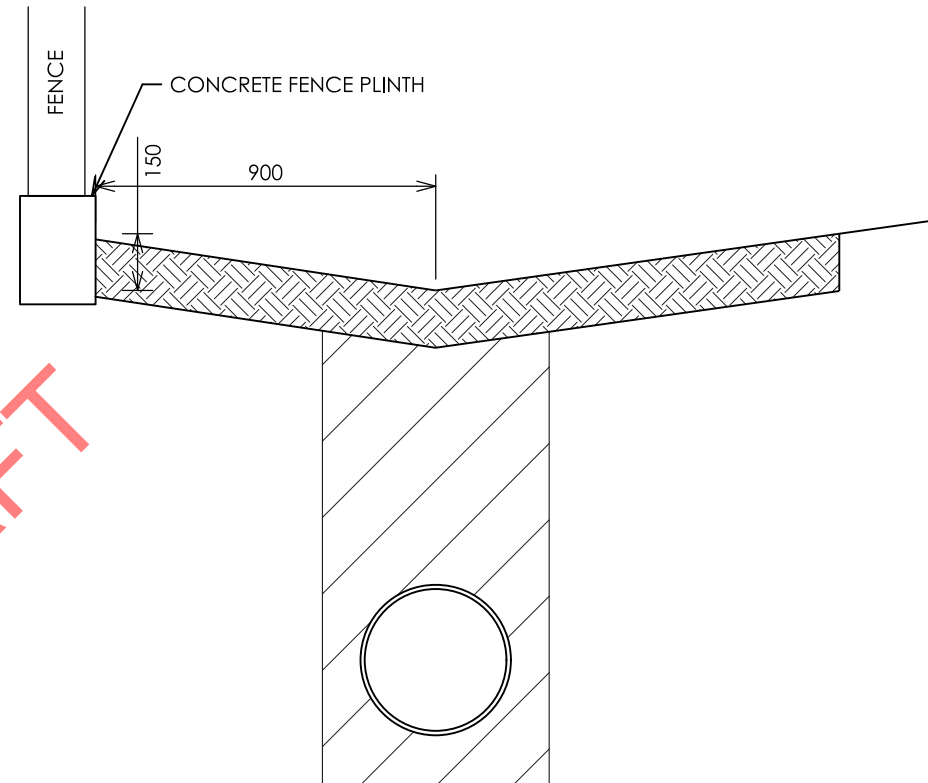
Ø150 PVC

400mm x 400mm x 6mm S/S ORIFICE PLATE WITH 90mm ORIFICE. BOLT PLATE TO PIT WALL AND TACK BOLT HEADS TO PREVENT REMOVAL.

100 SUMP

750 (x750)

DRAFT



CONTROL PIT
SCALE 1:20

SWALE/CUT OFF DRAIN DETAIL
SCALE 1:20

Mr. Jonathon Mulcahy
BE (Civil) MIEAust CPEng NER
Signature:
Accredited Building Practitioner
Licence No. 430733550

REV.	DESCRIPTION:	BY:	DATE:

STATUS: CONSTRUCTION

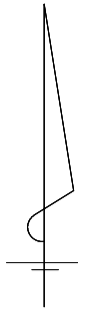
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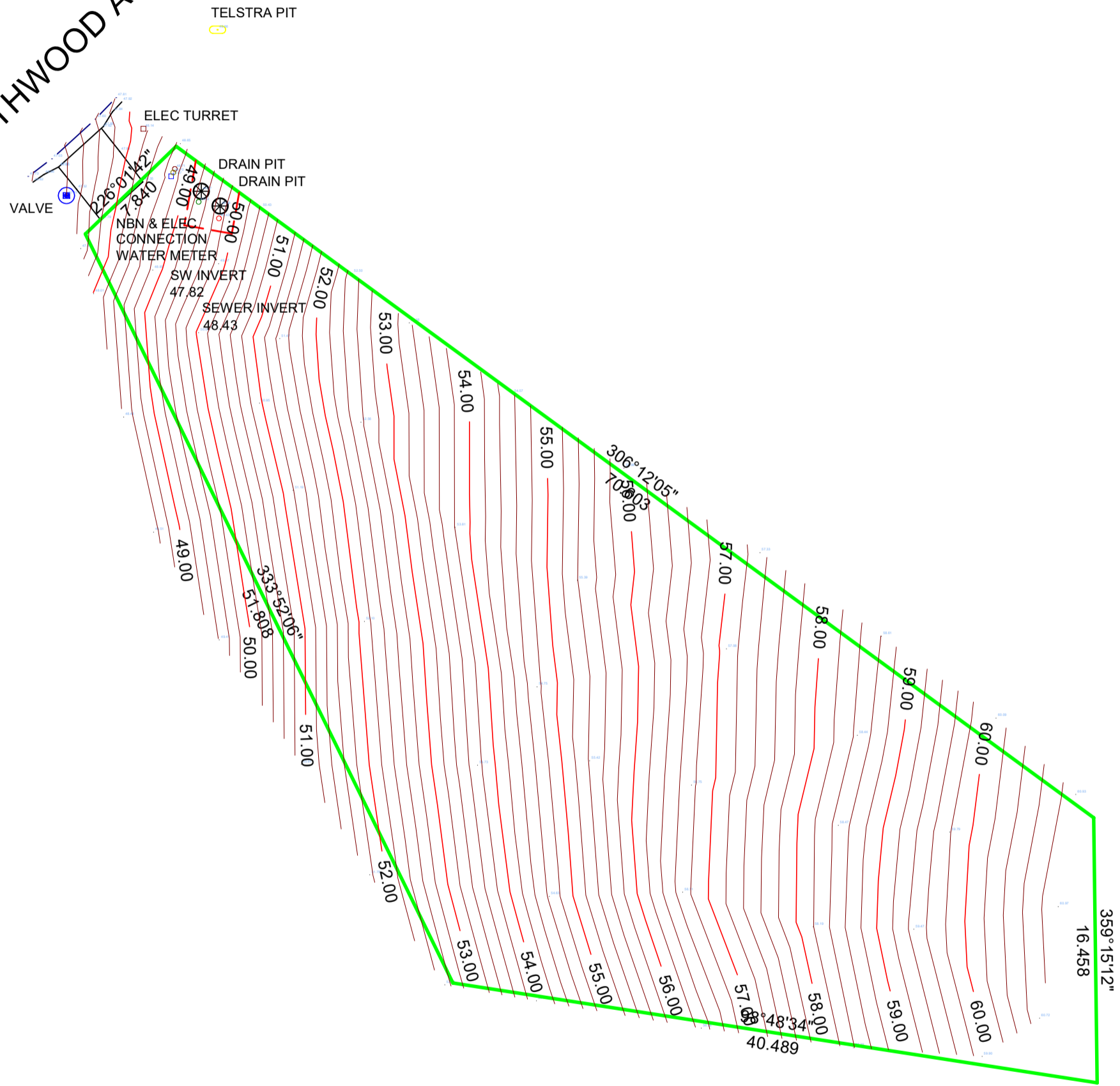
CLIENT:
PLATINUM PRO CONSTRUCTION

DRAWING TITLE:
DETENTION STORAGE SECTION DETAILS

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:200	12/01/2026	MS	JM
PROJECT NO:	DRAWING NO:	REVISION:	
25263	D02	0	



SOUTHWOOD AVENUE



L.C. Mackenzie & Associates Pty. Ltd.
CONSULTING SURVEYORS
 0400749451 P.O.Box 225 Wynyard TAS 7325
 0408533157 mack1111@bigpond.net.au

Detail Survey
 35 SOUTHWOOD AV
 PENGUIN TAS 7316
 F/R181413/15
 0.20m contours
 Drawn: LCM Scale: 1:300 (A3) Date: 7/8/2025

Drawing No.
 5167-6-8-25
 Drawing001

 L.C. Mackenzie