
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025301**

Location: **6 Rawson Street, Ulverstone**

Proposal: **Residential - multiple dwellings x 2**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before 2 March 2026

Date of Notification: **14 February 2026**

CENTRAL COAST COUNCIL

PO Box 220

19 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: planning@centralcoast.tas.gov.auwww: centralcoast.tas.gov.au

Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION


CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 09/12/2025

Application No: DA2025301

Doc ID: 540013

Office use only: Zone:

Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address

6 Rawson Street, Ulverstone TAS 7315

Certificate of
Title Reference

189258/90

Land Area

638m2

Heritage Listed Property

NO

YES

Applicant(s)

First Name(s)

Surname(s)

Company name
(if applicable)

RFS Projects

Contact No:

6424 6325

Postal Address:

70 Tugrah Road, Devonport TAS 7310

Email address:

admin@rfsprojects.com.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s)

Middle Names(s)

Surname(s)

Company name (if applicable)

RFS Enterprises

Postal Address:

70 Tugrah Road Devonport TAS 7310

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

residential

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

New residential dwelling

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)


\$ 660,000 Estimate/ Actual

Total floor area of the development 310 m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I RFS Projects , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant 

Date 9/12/25

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

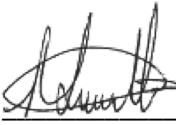
Central Coast Council consents to the making of this permit application.
 General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
 responsible for the land, consent to the making of this permit application.
 Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we RFS Projects
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.
 Signature of Applicant/s  _____ Date 9/12/25

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

Received: 09/12/2025

Application No: DA2025301

Doc ID: 540012

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
189258		90
EDITION	DATE OF ISSUE	
1	03-Sep-2025	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Town of ULVERSTONE
Lot 90 on Sealed Plan 189258
Derivation : Part of Lot 400, 500 Acres Gtd. to Andrew Risby
Prior CT 187836/1000

SCHEDULE 1

M887139 & N216166 TRANSFER to RFS ENTERPRISES (TAS) PTY LTD
Registered 01-Oct-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP189258 COVENANTS in Schedule of Easements
SP189258 FENCING PROVISION in Schedule of Easements
SP187836 COVENANTS in Schedule of Easements
SP183178, SP185379 & SP187836 FENCING PROVISION in Schedule of Easements

OWNER: RFS ENTERPRISES (TAS) PTY LTD

FOLIO REFERENCE: C.T.187836/1000

GRANTEE: PART OF LOT 400, 500 ACRES GTD.
TO ANDREW RISBY AND PART OF
7A 1R 9P GTD. TO HUBERT JOHN
JAMES MCKENNA.

PLAN OF SURVEY



BY SURVEYOR: BRETT RICHARD WOOLCOTT
LOCATION: TOWN OF ULVERSTONE

SCALE 1: 1000 LENGTHS IN METRES

REGISTERED NUMBER

SP189258

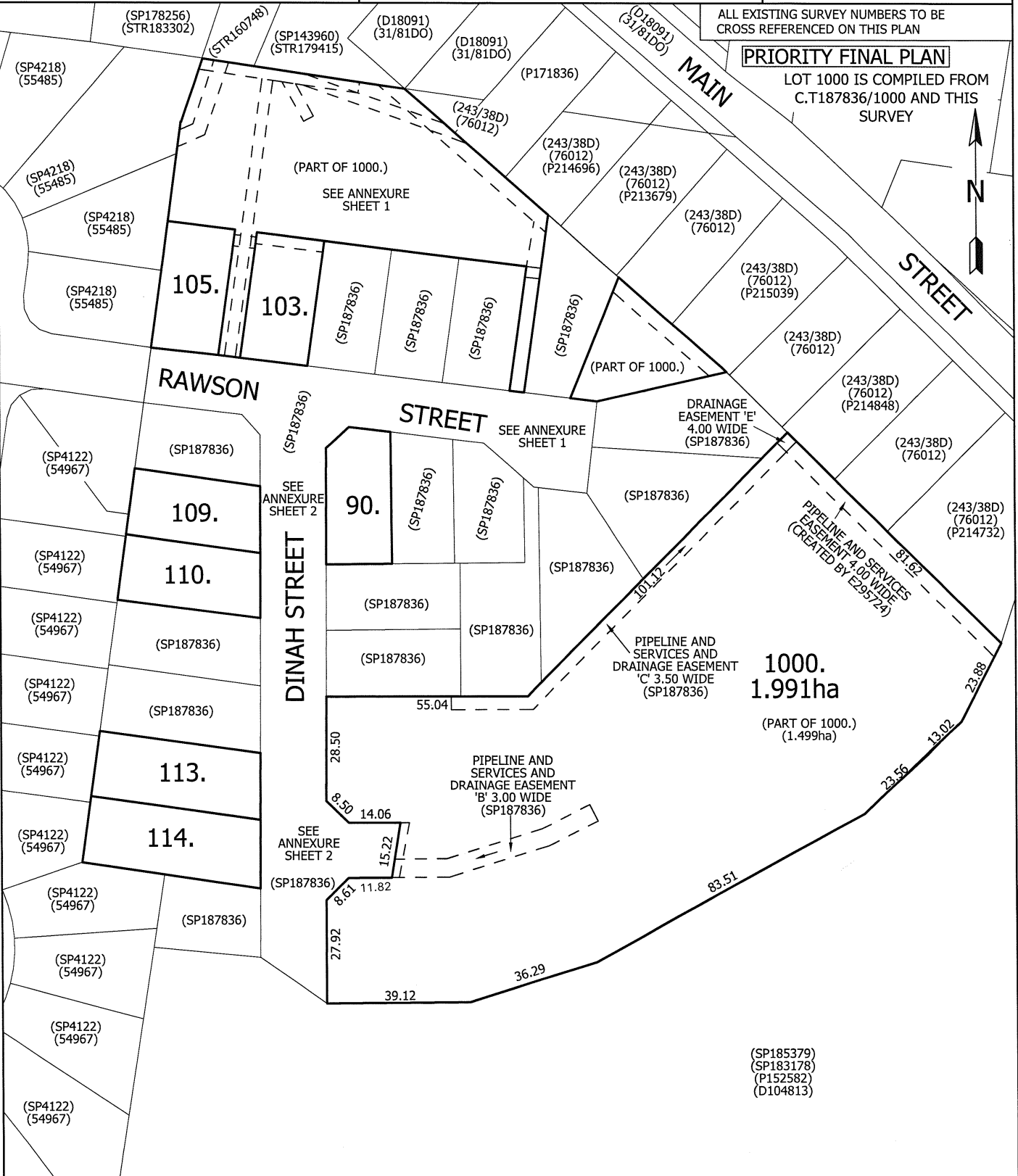
APPROVED EFFECTIVE FROM - 3 SEP 2025

Brett Woolcott
Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN

LOT 1000 IS COMPILED FROM
C.T.187836/1000 AND THIS
SURVEY



Brett Woolcott
Registered Land Surveyor
23/7/25
Date

[Signature]
Council Delegate
25.8.25
Date

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 09/12/2025
Application No: DA2025301
Doc ID: 540016

<p>SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p style="font-size: 2em;">SP 189258</p>
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EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Easements

Lots 103 and 1000 are subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'H' 3.00 WIDE (SP187836) (the Easement Land) shown on the Plan

Lots 103 and 1000 are subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'H' 3.00 WIDE (SP187836) shown on the Plan

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked DRAINAGE EASEMENT 'K' VARIABLE WIDTH (SP187836) shown on the Plan

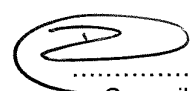
Lot 1000 is subject to a Drainage Easement in gross (in favour of Central Coast Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE (SP185379) shown on the Plan and as defined in Sealed Plan 185379

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked DRAINAGE EASEMENT 'M' 3.00 WIDE (SP187836) shown on the Plan

Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'G' 3.00 WIDE (the Easement Land) shown on the Plan

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'G' 3.00 WIDE shown on the Plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: RFS Enterprises (TAS) Pty Ltd FOLIO REF: 187836/1000 SOLICITOR & REFERENCE: Blackwood Beattie Legal ABB 24-085	PLAN SEALED BY: Central Coast Council DATE: 25-8-2025 <div style="display: flex; justify-content: space-between;"> DA2023104 REF NO. <div style="text-align: center;">  Council Delegate </div> </div>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 5 PAGES

Registered Number

SP 189258

SUBDIVIDER: RFS Enterprises (TAS) Pty Ltd
FOLIO REFERENCE: 187836/1000

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked DRAINAGE EASEMENT 'L' VARIABLE WIDTH (SP187836) shown on the Plan

Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 'D' 4.00 WIDE (SP185379) (the Easement Land) shown on the Plan

Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'B' 3.00 WIDE (SP187836) (the Easement Land) shown on the Plan

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'B' 3.00 WIDE (SP187836) shown on the Plan

Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'C' 3.50 WIDE (SP187836) (the Easement Land) shown on the Plan

Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'C' 3.50 WIDE (SP187836) shown on the Plan

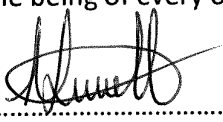
Lot 1000 is subject to a Right of Drainage in gross (in favour of Central Coast Council) over the land marked DRAINAGE EASEMENT 'E' 4.00 WIDE (SP187836) shown on the Plan

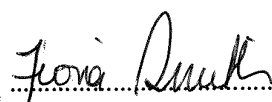
Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 'N' VARIABLE WIDTH (SP187836) (the Easement Land) shown on the Plan

Lot 1000 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 4.00 WIDE (CREATED BY E295724) (the Easement Land) shown on the Plan

Covenants

The owner of each lot on the Plan covenants with the Vendor RFS Enterprises (TAS) Pty Ltd and the owners for the time being of every other lot shown on the plan to the intent that the burden of these covenants


.....
RFS Enterprises (TAS) Pty Ltd


.....
RFS Enterprises (TAS) Pty Ltd

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 5 PAGES

Registered Number

SP 189258

SUBDIVIDER: RFS Enterprises (TAS) Pty Ltd
FOLIO REFERENCE: 187836/1000

shall run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the said plan and each and every part thereof to observe the following stipulations-

- (a) Not to use or place upon the lot any prefabricated, removable, or relocatable homes

BUT nothing above contained or implied will prevent the Vendor, RFS Enterprises (TAS) Pty Ltd, from:

- (a) selling any lot free or exempt from the restrictive covenant and stipulations contained in the covenant set out above; and
(b) modifying, waiving, or releasing or allowing any departure from the said restrictive covenant in relation to any lot or portion of any lot

Fencing Provision

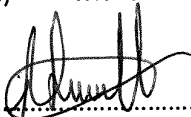
In respect to the lots on the plan the Vendor, RFS Enterprises (TAS) Pty Ltd, shall not be required to fence.

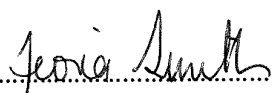
Interpretation

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and


.....
RFS Enterprises (TAS) Pty Ltd


.....
RFS Enterprises (TAS) Pty Ltd

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 4 OF 5 PAGES

Registered Number

SP 189258

SUBDIVIDER: RFS Enterprises (TAS) Pty Ltd
FOLIO REFERENCE: 187836/1000


- (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;



.....
RFS Enterprises (TAS) Pty Ltd



.....
RFS Enterprises (TAS) Pty Ltd

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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 5 OF 5 PAGES

Registered Number

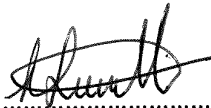
SP 189258

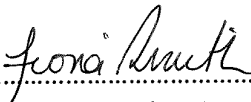
SUBDIVIDER: RFS Enterprises (TAS) Pty Ltd
FOLIO REFERENCE: 187836/1000

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

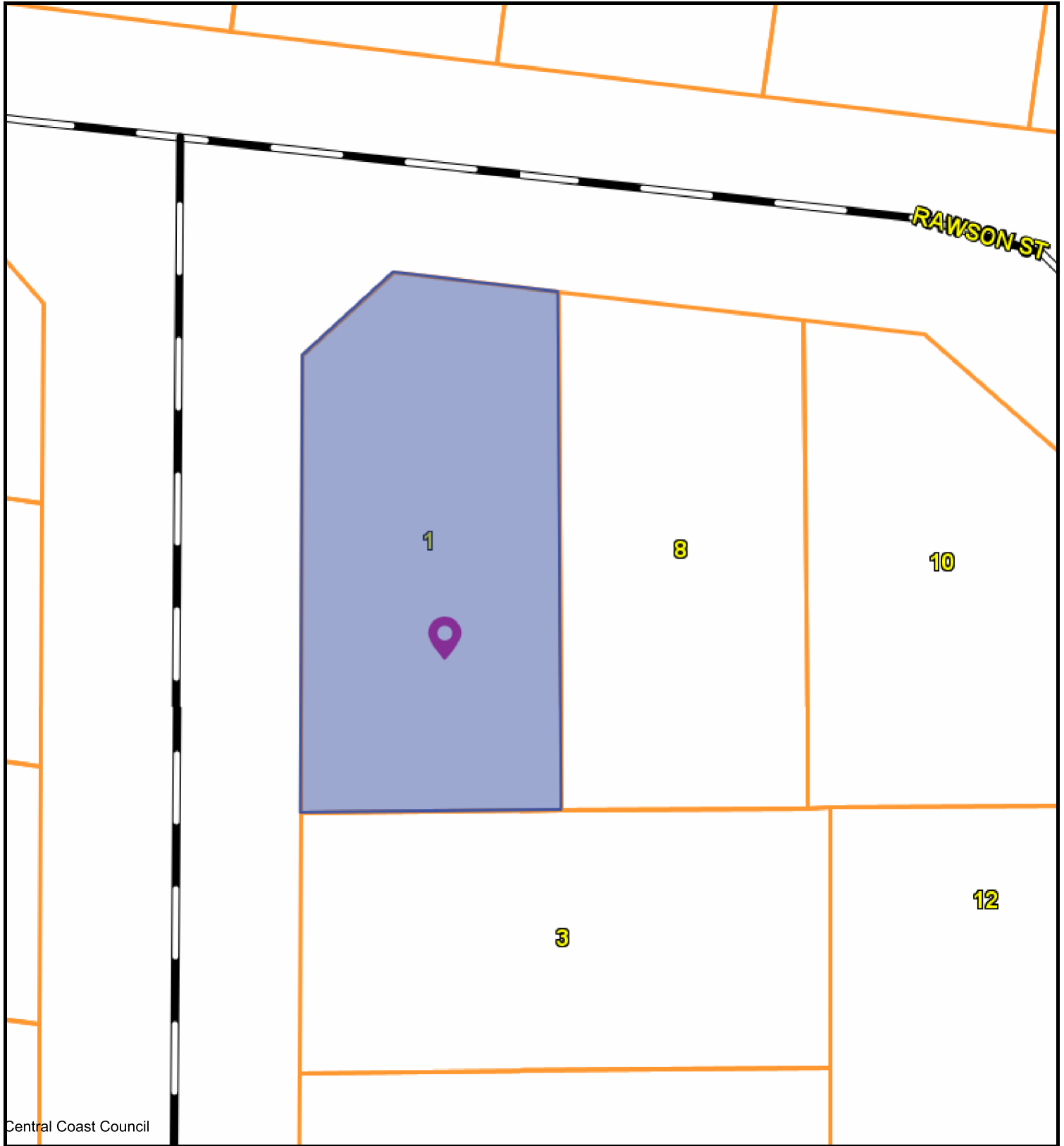
“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Signed by the said RFS ENTERPRISES)
(TAS) PTY LTD (ACN 639 328 902))
being the registered proprietor of Folio)
of the Register Volume 187836 Folio 1000)
pursuant to section 127(1) of the)
Corporations Act 2001 (Cth))


.....
Roger Geoffrey Smith - Director


.....
Fiona Sue Smith - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



12-Feb-2026

**6 RAWSON STREET,
 ULVERSTONE
 DA2025301**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.
 © Central Coast Council 2025.

10 m

Scale =
1:366.660

Client:
RFS Enterprises TAS Pty Ltd
6 Rawson Street, Ulverstone,
Tasmania, 7315.

ATT Planning,

Please see below supporting documentation as per council request.

Point 1: C2.5.1 – Car parking numbers.

Performance Criteria:

P1.1

The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:

- (a) the availability of off-street public car parking spaces within reasonable walking distance of the site;
- (b) the ability of multiple users to share spaces because of:
 - (i) variations in car parking demand over time; or
 - (ii) efficiencies gained by consolidation of car parking spaces;
- (c) the availability and frequency of public transport within reasonable walking distance of the site;
- (d) the availability and frequency of other transport alternatives;
- (e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;
- (f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;
- (g) the effect on streetscape; and
- (h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms; and
- (c) the pattern of parking in the surrounding area.

Comment:

The proposed development includes 4 car parking spaces (2 per dwelling) which is one short of the acceptable solution of 5. The proposal consists of one 2 bedroom and one 3 bedroom dwelling with an average total size of around 150m². With the two dwellings being relatively small in size the proposed 4 car parking spots should be adequate to serve each of the dwellings with the possibility of overflow parking on the adjacent streets of Rawson and Dinah.

Point 2: 8.4.1 – Residential density for multiple dwellings

Performance Criteria:

P1

Multiple dwellings must only have a site area per dwelling that is less than 325m², if the development will not exceed the capacity of infrastructure services and:

- (a) is compatible with the density of existing development on established properties in the area; or
- (b) provides for a significant social or community benefit and is:
 - (i) wholly or partly within 400m walking distance of a public transport stop; or
 - (ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone.

Comment:

The proposed development is compatible with the density of existing unit developments in the area. See below for two examples.

The property at 8 Dinah Street has been passed with Unit 1 having a site area of 291m² and Unit 2 having a site area of 355m² once access strips (common land/driveway access) have been subtracted from the overall site area.

The Units at 146B Main St have been constructed with 1/146B having a site area of 285m², 2/146B having a site area of 230m² and 3/146B having a site area of 345m² once access strips (common land/driveway access) have been subtracted from the overall site area.

The total site area per dwelling of the proposed development is; Unit 1 = 320m² and Unit 2 = 318m². As seen from the two examples above the proposed development is compatible with established and future developments in the immediate area.

Point 3: 8.4.2 – Setbacks and building envelope for all dwellings

Performance Criteria:

P3

The siting and scale of a dwelling must:

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;
 - (ii) overshadowing the private open space of a dwelling on an adjoining property;
 - (iii) overshadowing of an adjoining vacant property; and
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and
- (c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:
 - (i) an adjoining property; or
 - (ii) another dwelling on the same site.

Comment:

There is no unreasonable loss of amenity to either of the two adjoining properties of 3 Dinah St and 8 Rawson St due to the proposed application.

Overshadowing of the private open space of the adjoining properties is kept to a minimum with overshadowing only occurring after 12pm. (Ref to drawing #A09 of the submitted application for sun study diagram.)

Visual impacts of the proposed development caused by the dwellings being located on the property boundaries are kept to a minimum. The roof design is a low pitch skillion roof with the pitching point being on the boundary. This design consideration allows for the ridge point of the roof structure to be further away from adjoining properties. This in return reduces the apparent bulk and scale when viewed from an adjoining property.

Separation between dwelling on adjoining properties is consistent with existing and current building projects in the immediate areas.

Point 4: 8.4.4 – Sunlight to private open space of multiple dwellings.

Acceptable Solutions:

A1

A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):

- (a) the multiple dwelling is contained within a line projecting (see Figure 8.4):
 - (i) at a distance of 3m from the northern edge of the private open space; and
 - (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal.
- (b) the multiple dwelling does not cause 50% of the private open space means an outdoor area of the land or dwelling for the exclusive use of the occupants of the land or dwelling, excluding areas proposed or approved for vehicle access or vehicle parking. to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and
- (c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:
 - (i) an outbuilding with a building height not more than 2.4m; or
 - (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.

Comment:

The proposed development complies with A1, (a). Refer to site plan (A02) of the submitted application which shows the 3m acceptable distance between the northern edge of the private open space and the dwelling. The dwelling is also contained within a line projecting in accordance to figure 8.4 (ref to dwelling elevations on page A08)

Point 5: 8.4.3 – Site coverage and private open space for all dwellings.

Performance Criteria:

P2

A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:

- (a) conveniently located in relation to a living area of the dwelling; and
- (b) orientated to take advantage of sunlight.

Comment:

Unit One has 78m² and unit Two 80m² of private open space which is conveniently located off the living and dining rooms of both dwellings.

The private open space of unit 1 complies with A2 of 8.4.3 where in one location is of 24m² and has a horizontal dimension of 4m.

Unit 2 has a dedicated area of 32m² in which 23m² of this space is orientated to take advantage of the afternoon sunlight. The dwelling is able to achieve a minimum of 3hrs of direct sunlight into the private open space which can be used as an extension of the dwelling for outdoor activities. Ref to page (A09) of the application.

Point 6: 8.4.7 – Frontage fences for all dwellings

Not applicable –

Comment:

All fences within 4.5m of a frontage will be designed in accordance with “4.6.3 Fences within 4.5m of a frontage”.

The fences will be constructed to 1.8m in height above the existing ground level and provide a uniform transparency of 30% above the height of 1.2m.

Infrastructure Services

Point 7:

Comment:

Plans have been amended to show two 3.6m wide crossovers.

Point 8:

Comment:

On previous developments from RFS Projects council (Phillip Bowen) have agreed to condition the DA to require a OSD design and drainage plan as per councils stormwater Detention Policy. This is to be submitted to the stormwater drainage authority prior to lodging an associated plumbing application and include a detailed OSD design and drainage plan.

Are we able to get this condition added to this permit?

PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
**6 RAWSON ST, ULVERSTONE,
TASMANIA, 7315**

VOLUME: 189258
FOLIO: 90
DESIGN WIND SPEED: N2 - BY STRATA GEOSCIENCE AND ENVIRONMENTAL
SITE CLASSIFICATION: P - BY STRATA GEOSCIENCE AND ENVIRONMENTAL
SITE CLASSIFICATION PLUMBING DESIGN: M - BY STRATA GEOSCIENCE AND ENVIRONMENTAL
BUSHFIRE ASSESSMENT: LOW - BY WOOLCOTT SURVEYS
CLIMATE ZONE: 7
ALPINE AREA: NA

FLOOR AREA:

UNIT 1

RESIDENCE: 147.6m²
PORCH: 1.7m²
TOTAL: 149.30m²

UNIT 2

RESIDENCE: 145.90m²
ALFRESCO: 1.76m²
TOTAL: 147.66m²

REV: B PLANING APPROVAL DATE: 09.02.2026

DRAWING SCHEDULE:		
SHEET No.	TITLE	REV #
A01	COVER SHEET	B
A02	SITE PLAN	B
A03	UNIT 1 - FLOOR PLAN	B
A04 - A05	UNIT 1 - ELEVATIONS	B
A06	UNIT 2 - FLOOR PLAN	B
A07 - A08	UNIT 2 - ELEVATIONS	B
A09	SUN STUDY	B



**70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310**

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au

LEGEND & NOTES:

- LIFT OFF DOOR HINGES REQUIRED ON FULLY ENCLOSED SANITARY COMPARTMENT DOORS IF CLEAR SPACE IS LESS THAN 1.2m (AS PER HPS PART 10.4.2).
- R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING. NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.
- LINEN/ROBES ARE 600mm DEEP UNLESS STATED OTHER.
- THRESHOLDS OF INTERNAL DOORS THAT FORM PART OF THE LIVABLE HOUSING DESIGN ACCESS PATH MUST BE CONSTRUCTED IN ACCORDANCE TO PART 3 OF THE LIVABLE HOUSING DESIGN STANDARD.

FLOOR AREA
 NEW RESIDENCE - 147.6m²
 PORCH - 1.7m²

ROOFING:
 CUSTOM ORB - MEDIUM
 FASCIA - MEDIUM
 GUTTER - MEDIUM

FACADE:
 BRICK TYPE - MEDIUM

CEMENT SHEET - JAMES HARDIE AXON
 CLADDING
 COLOUR - TBC BY CLIENT

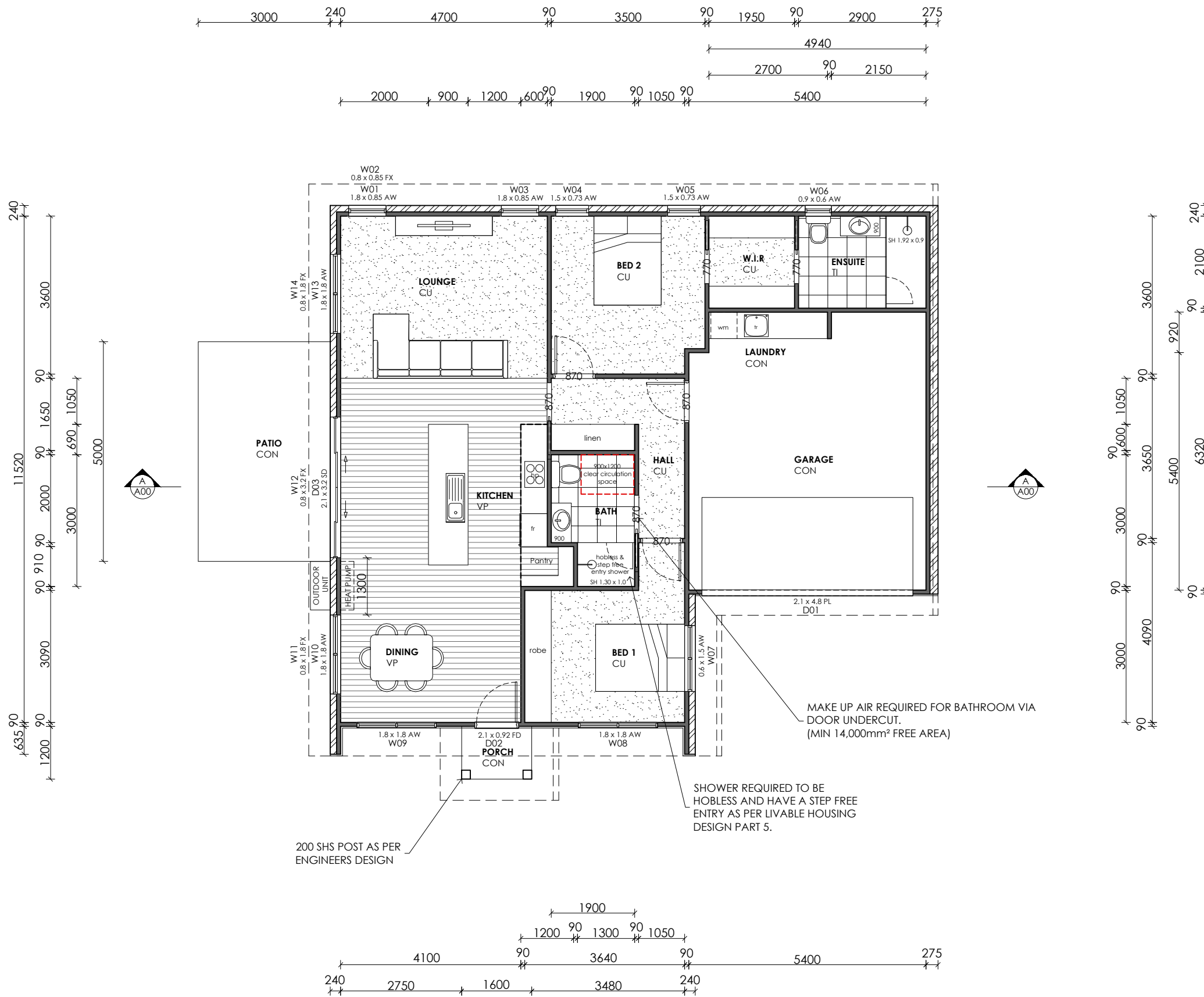
ALUMINIUM FRAMED WINDOWS:
 COLOUR - MEDIUM
 GLAZING - DOUBLE

CARPET UNDERLAY - (CU)
 FLOOR AREA APPROX - 53.0m²

VINYL PLANK - (VP)
 FLOOR AREA APPROX - 32.3m²

TILES - (TI)
 FLOOR AREA APPROX - 11.6m²

CONCRETE - (CON)
 EXPOSED CONCRETE, NO SURFACE FINISH REQUIRED



FLOOR PLAN
 SCALE 1:100



**70 TUGRAH RD
 DEVONPORT, TASMANIA
 AUSTRALIA, 7310**
 LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
B	PLANING APPROVAL	09.02.2026

DO NOT SCALE OFF PLANS. ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS SHALL BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

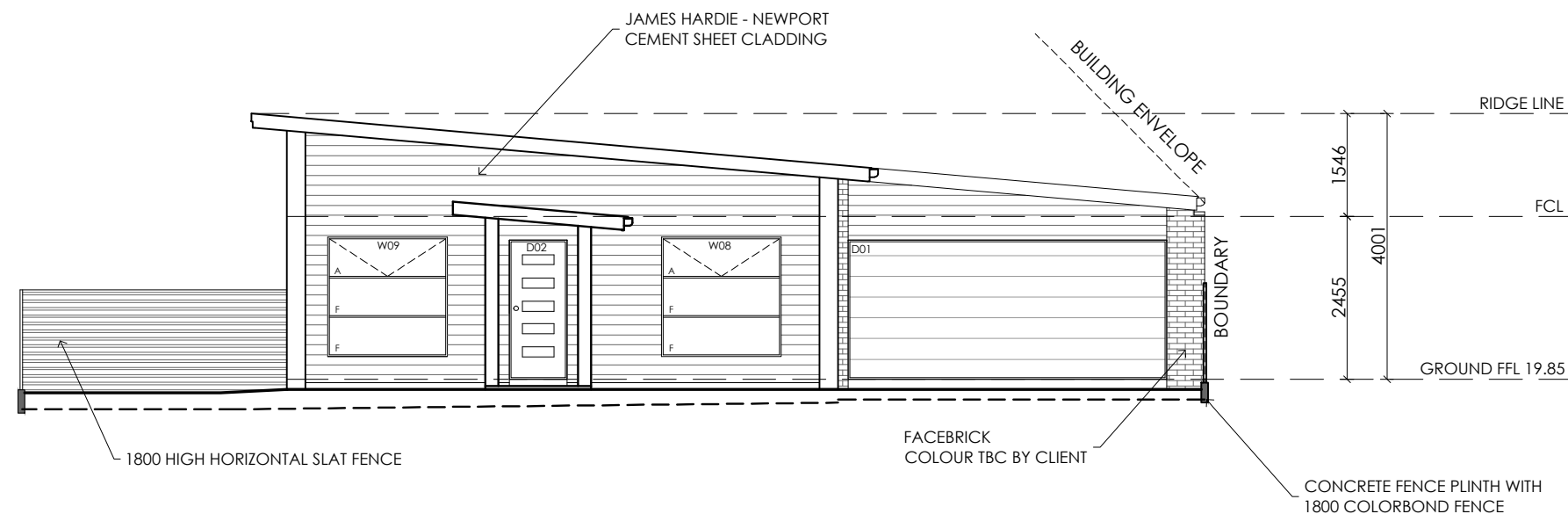
LOCATION:
6 RAWSON ST, ULVERSTONE, TASMANIA, 7315

DRAWING TITLE: UNIT 1 - FLOOR PLAN		
JOB NO: TBC		
DRAWN BY: R.J	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY:		

DRAWING NO:
A03
 / A09

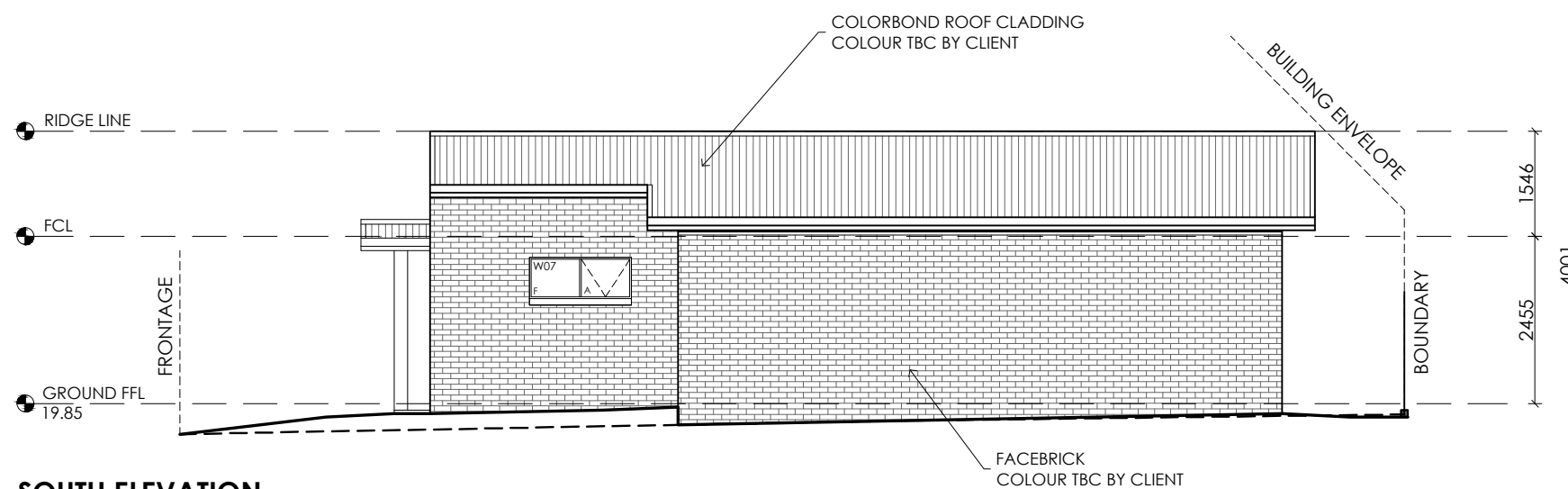
LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



WEST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
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EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
B	PLANING APPROVAL	09.02.2026

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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
**6 RAWSON ST, ULVERSTONE,
TASMANIA, 7315**

DRAWING TITLE:
UNIT 1 - ELEVATIONS 1 of 2

JOB NO: TBC

DRAWN BY: R.J

CHECKED BY:

SCALE:
1:100 @ A3

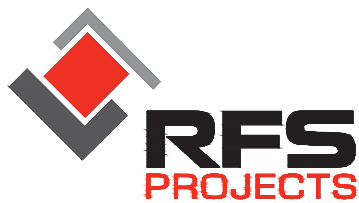
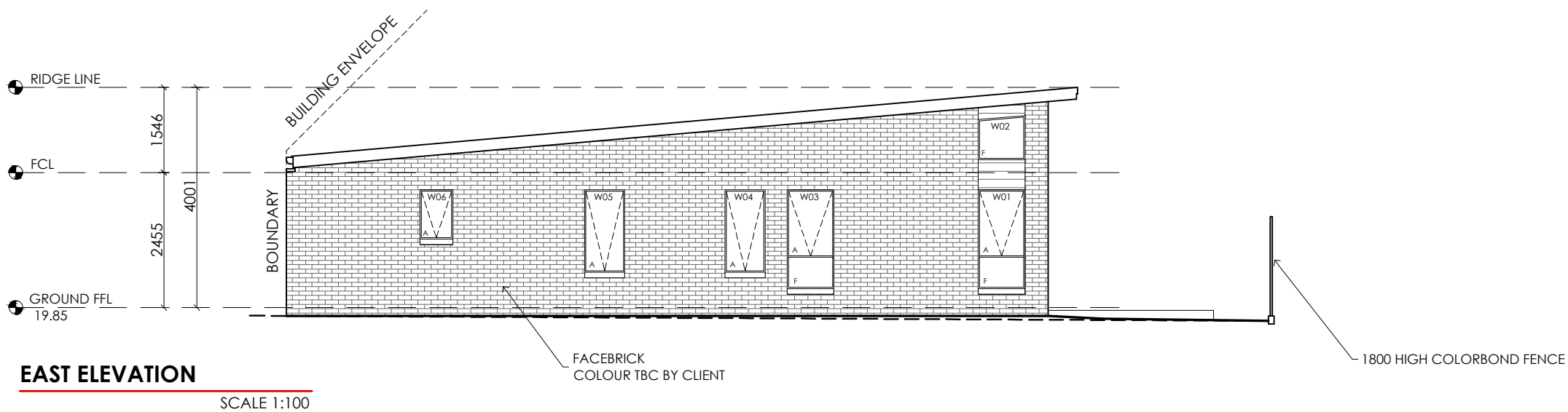
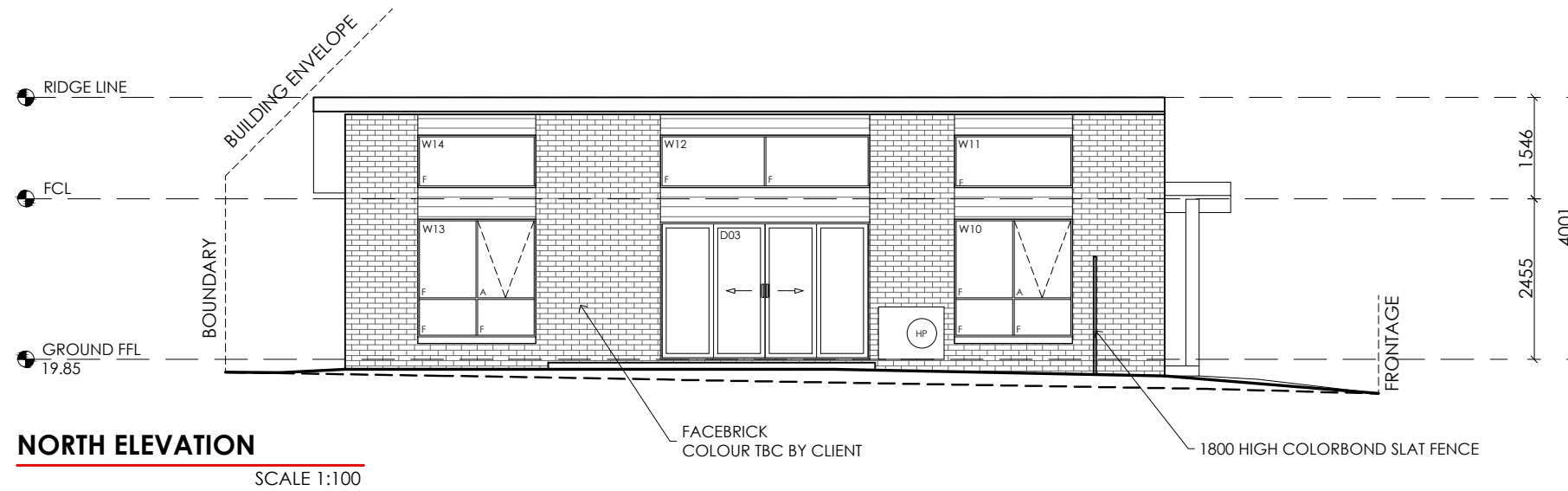
ISSUE: **DA**

DRAWING NO:

A04
/ A09

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
PH: 03 6424 6325
EMAIL: draffing@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
B	PLANING APPROVAL	09.02.2026

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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
**6 RAWSON ST, ULVERSTONE,
TASMANIA, 7315**

DRAWING TITLE:
UNIT 1 - ELEVATIONS 2 of 2

JOB NO: TBC

DRAWN BY: R.J

CHECKED BY:

SCALE:
1:100 @ A3

ISSUE: **DA**

DRAWING NO:

A05
/ A09

LEGEND & NOTES:

1. LIFT OFF DOOR HINGES REQUIRED ON FULLY ENCLOSED SANITARY COMPARTMENT DOORS IF CLEAR SPACE IS LESS THAN 1.2m (AS PER HPS PART 10.4.2).
2. R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING. NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.
3. LINEN/ROBES ARE 600mm DEEP UNLESS STATED OTHER.
4. THRESHOLDS OF INTERNAL DOORS THAT FORM PART OF THE LIVABLE HOUSING DESIGN ACCESS PATH MUST BE CONSTRUCTED IN ACCORDANCE TO PART 3 OF THE LIVABLE HOUSING DESIGN STANDARD.

FLOOR AREA
 NEW RESIDENCE - 145.9m²
 PORCH - 1.76m²

ROOFING:
 CUSTOM ORB - MEDIUM
 FASCIA - MEDIUM
 GUTTER - MEDIUM

FACADE:
 BRICK TYPE - MEDIUM

CEMENT SHEET - JAMES HARDIE AXON
 CLADDING
 COLOUR - TBC BY CLIENT

ALUMINIUM FRAMED WINDOWS:
 COLOUR - MEDIUM
 GLAZING - DOUBLE

CARPET UNDERLAY - (CU)
 FLOOR AREA APPROX - 64.2m²

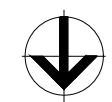
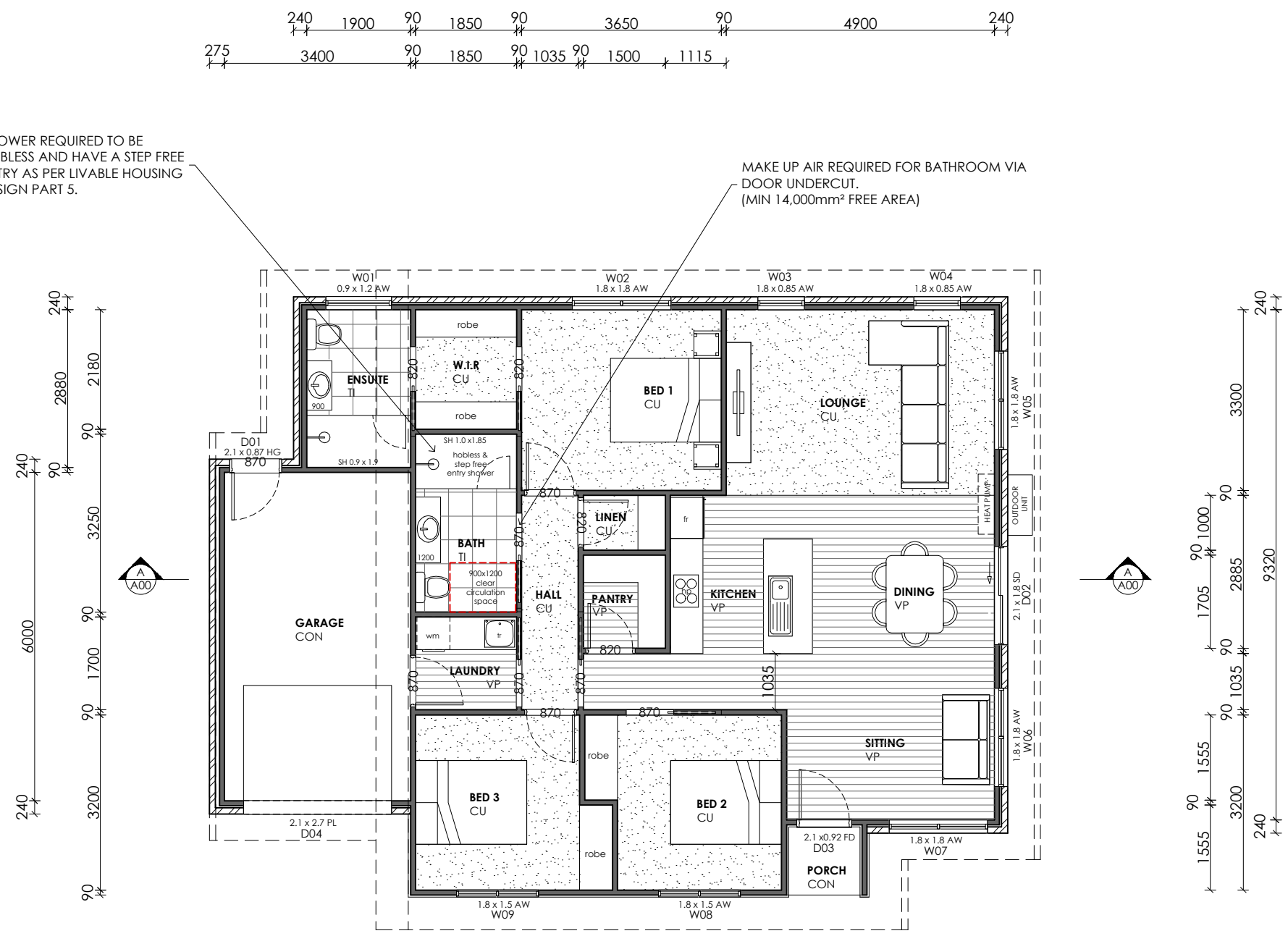
VINYL PLANK - (VP)
 FLOOR AREA APPROX - 37.0m²

TILES - (TI)
 FLOOR AREA APPROX - 13.5m²

CONCRETE - (CON)
 EXPOSED CONCRETE, NO SURFACE FINISH REQUIRED

SHOWER REQUIRED TO BE HOBLESS AND HAVE A STEP FREE ENTRY AS PER LIVABLE HOUSING DESIGN PART 5.

MAKE UP AIR REQUIRED FOR BATHROOM VIA DOOR UNDERCUT. (MIN 14,000mm² FREE AREA)



FLOOR PLAN

SCALE 1:100



**70 TUGRAH RD
 DEVONPORT, TASMANIA
 AUSTRALIA, 7310**
 LICENSED DESIGNER: ROBERT JETSON #409212438
 PH: 03 6424 6325
 EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
B	PLANING APPROVAL	09.02.2026

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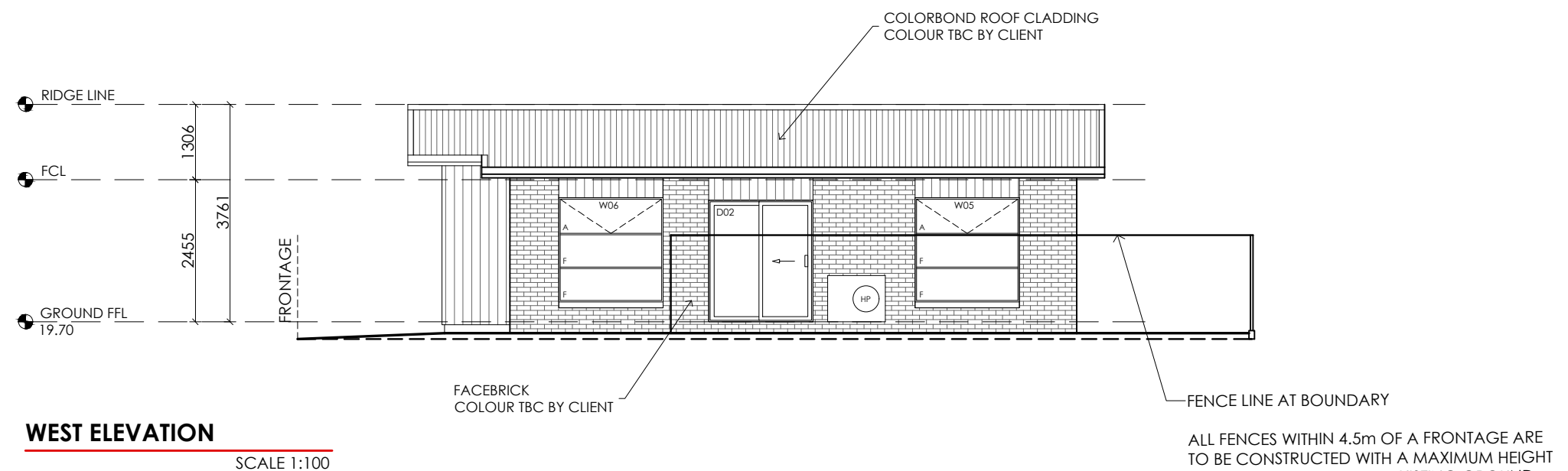
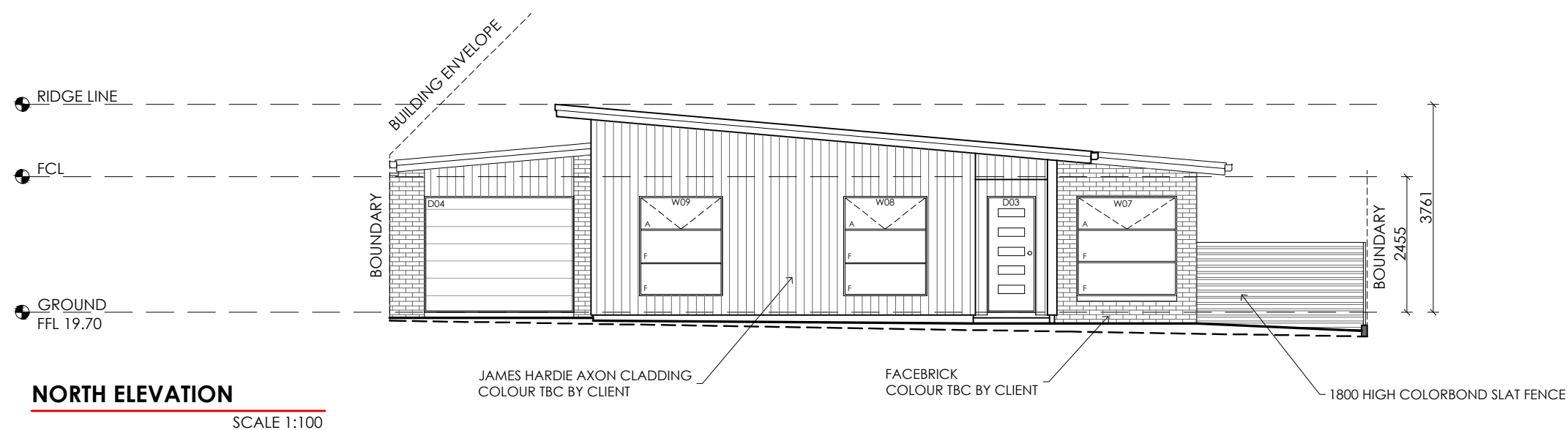
PROJECT: **PROPOSED MULTIPLE DWELLINGS (TWO UNITS)**
 CLIENT: **RFS ENTERPRISES TAS PTY LTD**
 LOCATION: **6 RAWSON ST, ULVERSTONE, TASMANIA, 7315**

DRAWING TITLE: UNIT 2 - FLOOR PLAN		
JOB NO: TBC		
DRAWN BY: R.J	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY:		

DRAWING NO:
A06
 / A09

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



ALL FENCES WITHIN 4.5m OF A FRONTAGE ARE TO BE CONSTRUCTED WITH A MAXIMUM HEIGHT OF 1.8m HIGH ABOVE THE EXISTING GROUND LEVEL AND PROVIDE A UNIFORM TRANSPARENCY OF 30% ABOVE THE HEIGHT OF 1.2m.



70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310

LICENSED DESIGNER: ROBERT JETSON #409212438
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EMAIL: drafting@rfsprojects.com.au

REV:	DESCRIPTION:	DATE:
B	PLANING APPROVAL	09.02.2026

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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
**6 RAWSON ST, ULVERSTONE,
TASMANIA, 7315**

DRAWING TITLE:
ELEVATIONS 1 of 2

JOB NO: TBC

DRAWN BY: R.J

CHECKED BY:

SCALE:
1:100 @ A3

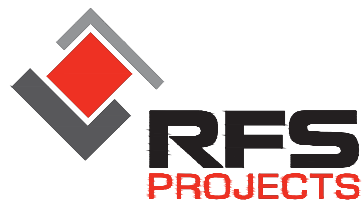
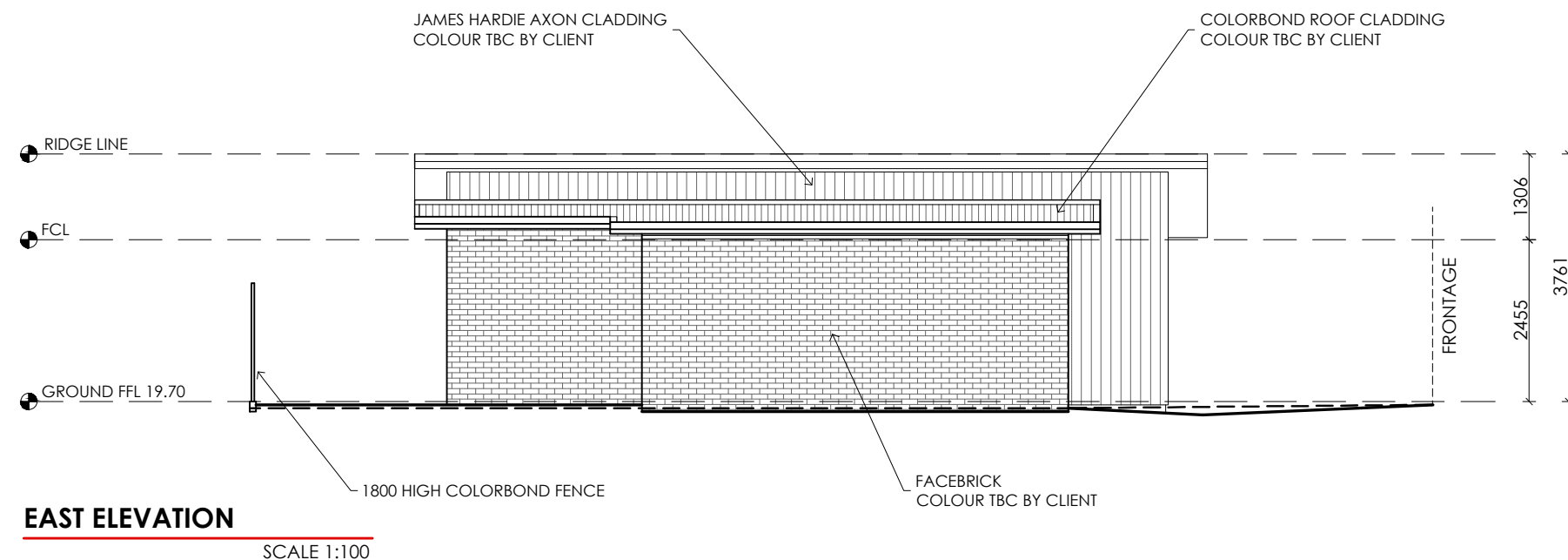
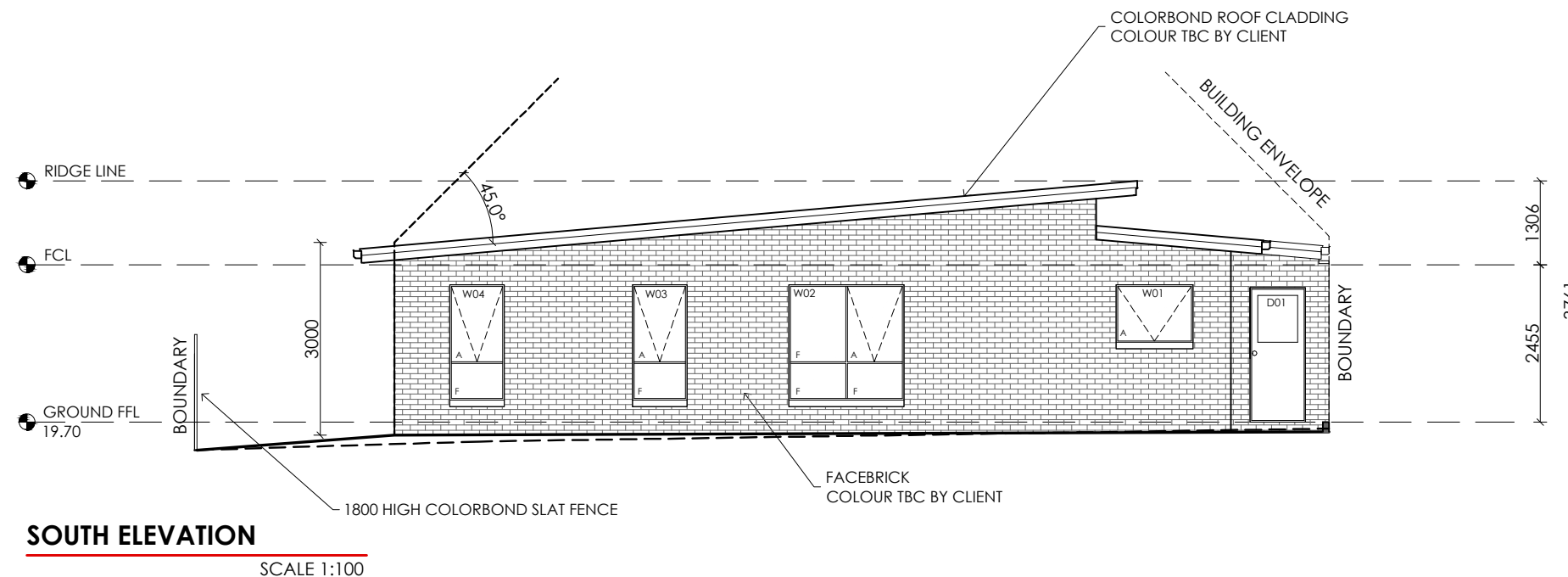
ISSUE: **DA**

DRAWING NO:

A07
/ A09

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



70 TUGRAH RD
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AUSTRALIA, 7310

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B	PLANING APPROVAL	09.02.2026

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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
6 RAWSON ST, ULVERSTONE, TASMANIA, 7315

DRAWING TITLE: ELEVATIONS 2 of 2		
JOB NO: TBC		
DRAWN BY: R.J	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY:		

DRAWING NO:
A08
/ A09

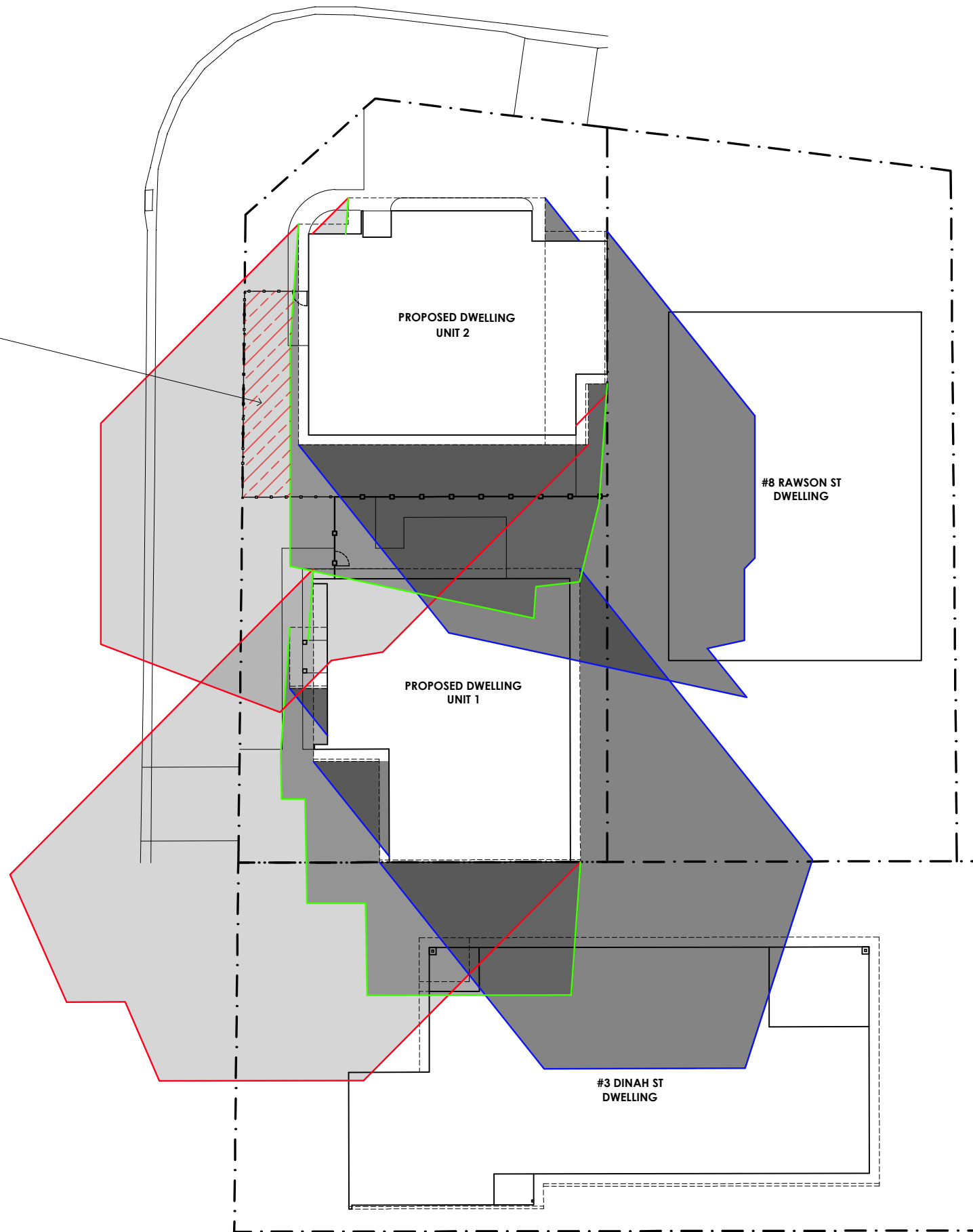
LEGEND & NOTES:

1. THE BUILDER AND PLUMBER SHALL CONFIRM THE DEPTH OF THE CONNECTIONS TO SEWER & STORMWATER SERVICES PRIOR TO SETOUT TO DETERMINE FINISHED SLAB LEVEL TO PROVIDE MINIMUM GRADES TO CONNECTION POINTS.
2. SLAB & FOOTINGS CONSTRUCTION SHALL BE IN ACCORDANCE TO ENGINEERS DRAWINGS & SPECIFICATIONS.
3. FLOOR FRAMING IS A GUIDE ONLY. ENGINEER DRAWINGS ON FLOOR FRAMING TAKE PRECEDENCE OVER THIS PLAN.

- 21ST JUNE - 9AM
- 21ST JUNE - 12PM
- 21ST JUNE - 3PM

UNIT 2

23.1m² OF PRIVATE OPEN SPACE WILL ACHIEVE SUNLIGHT BETWEEN 12PM AND 3PM ON THE 21ST JUNE.



SUN STUDY

SCALE 1:250



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REV:	DESCRIPTION:	DATE:
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PROJECT:
PROPOSED MULTIPLE DWELLINGS (TWO UNITS)

CLIENT:
RFS ENTERPRISES TAS PTY LTD

LOCATION:
**6 RAWSON ST, ULVERSTONE,
TASMANIA, 7315**

DRAWING TITLE:
SUN STUDY

JOB NO: TBC

DRAWN BY: R.J

CHECKED BY:

SCALE:
1:250 @ A3

ISSUE: **DA**

DRAWING NO:

A09
/ A09