
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025083**

Location: **5 Henslowes Road, Ulverstone**

Proposal: **Residential - dwelling and shed additions**

Performance Criteria: **Setbacks and building envelope for all dwellings**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before **4 November 2025**

Date of Notification: **18 October 2025**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

Received: 08 APR 2025

Application No:

Office use only: Zone:

Doc. Id
Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address

5 HENSLOWES ROAD, ULVERSTONE.

Certificate of
Title Reference

LOT 20 / 60512

Land Area

622m²

Heritage Listed Property

NO



YES



Applicant(s)

First Name(s)

CALEB

Surname(s)

DAVIES

Company name
(if applicable)

Contact No:

0439 596 625

Postal Address:

5 HENSLOWES ROAD, ULVERSTONE, 7315

Email address:

Daviescaleb5@gmail.com

Please tick box to receive correspondence and any relevant information regarding your application via email.



Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s)

CALEB
LACY

Middle Names(s)

JAMES
MAREE

Surname(s)

DAVIES
SUSHAMES

Company name (if applicable)

N/A

Postal Address:

5 HENSLOWES ROAD, ULVERSTONE
TAS 7315.

PERMIT APPLICATION INFORMATION (If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use RESIDENCE AND SHED

Use Class Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

- PROPOSED RESIDENCE EXTENSION

- PROPOSED SHED EXTENSION

- PROPOSED CAR-PORT

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$.....450,000..... ~~Estimate~~ Actual

Total floor area of the developmentm²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I _____, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant

Date

If the application involves land within a Strata Corporation


I _____, declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL	
Central Coast Council consents to the making of this permit application.	
General Managers Signature _____	Date _____
If the permit application involves land owned or administered by the CROWN	
I, _____ the Minister	
responsible for the land, consent to the making of this permit application.	
Minister (Signature) _____	Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration	
<input checked="" type="radio"/> <u>we</u> <u>CALEB JAMES DAUFES +</u> declare that the information I have given in this permit application to be true and correct to the best of my knowledge.	
Signature of Applicant/s <u></u>	Date <u>04/09/2025</u>

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

SEARCH OF TORRENS TITLE

VOLUME 60511	FOLIO 20
EDITION 13	DATE OF ISSUE 23-Oct-2023

SEARCH DATE : 04-Apr-2025

SEARCH TIME : 11.14 AM

DESCRIPTION OF LAND

Parish of ABBOTSHAM, Land District of DEVON
 Lot 20 on Plan 60511 (formerly being P1613)
 Derivation : Whole of 0A-3R-29.8/10Ps, 1A-2R-38.3/10Ps,
 0A-3R-38Ps and 1A-3R-26Ps (Leven Subdivision) Gtd to The
 Director of Housing
 Prior CT 2045/43

SCHEDULE 1

M705947 TRANSFER to CALEB JAMES DAVIES Registered
 06-Aug-2018 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 E335954 MORTGAGE to Bank of Queensland Limited Registered
 23-Oct-2023 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

E411210 MORTGAGE to Westpac Banking Corporation Lodged by
 DOBSON MITCHELL on 20-Mar-2025 BP: N249999
 N249999 DISCHARGE OF MORTGAGE E335954 Lodged by DOBSON
 MITCHELL on 20-Mar-2025 BP: N249999

CENTRAL COAST COUNCIL

DEVELOPMENT & REGULATORY SERVICES

Received: **08 APR 2025**

Application No:

Doc. Id

FOR TASPOL TITLE PURPOSES	
EXISTING PLAN LOT No.	NEW NUMBERED FOLIO LOT No.
12B = 40	=
<i>Michael J. O'Brien</i> RECORDER OF TITLES 12 SEP 1994	

LEVEN SUBDIVISION

COUNTY OF DEVON

PARISH OF ABBOTSHAM

Part of Lot 425 100 ac A. Clarke P. Director of Housing Em.

Scale - 40 ft. to an inch.

Whole of Lots 1-5 inc. 0.329 ha, Lots 6, 12, 12A, 12B, 13, 1-2, 388, Lots 14-19 inc. 0.338 ha.

Lots 20-31 inc. 1.326 ha. The Director of Housing Par. & Or 258 967.

Compiled Plan

PLOTTED BY _____

MATHEMATICALLY CHECKED _____

EXAMINED AS TO BOUNDARIES *10/1/94*

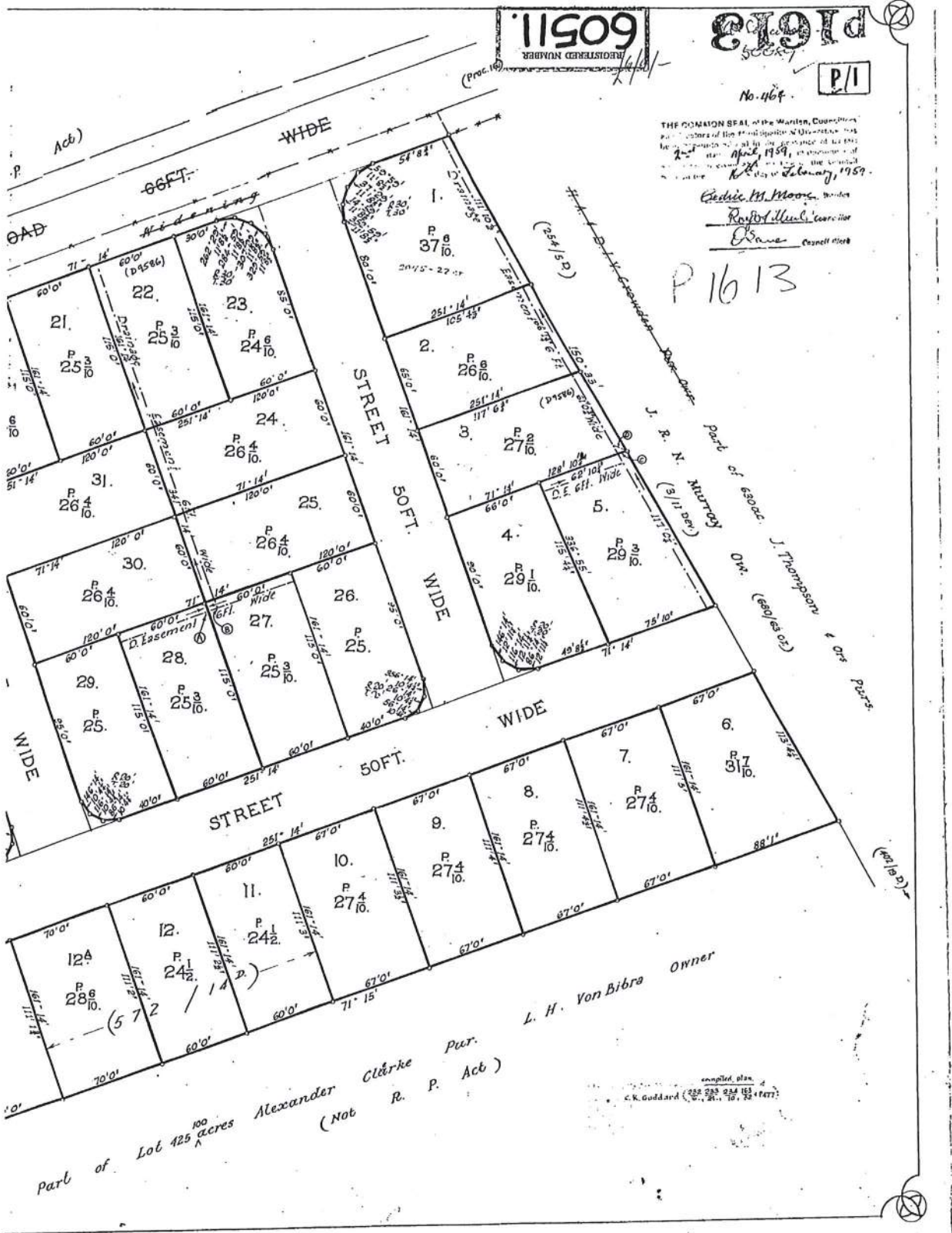
ENTERED IN CARV. *10/1/94*

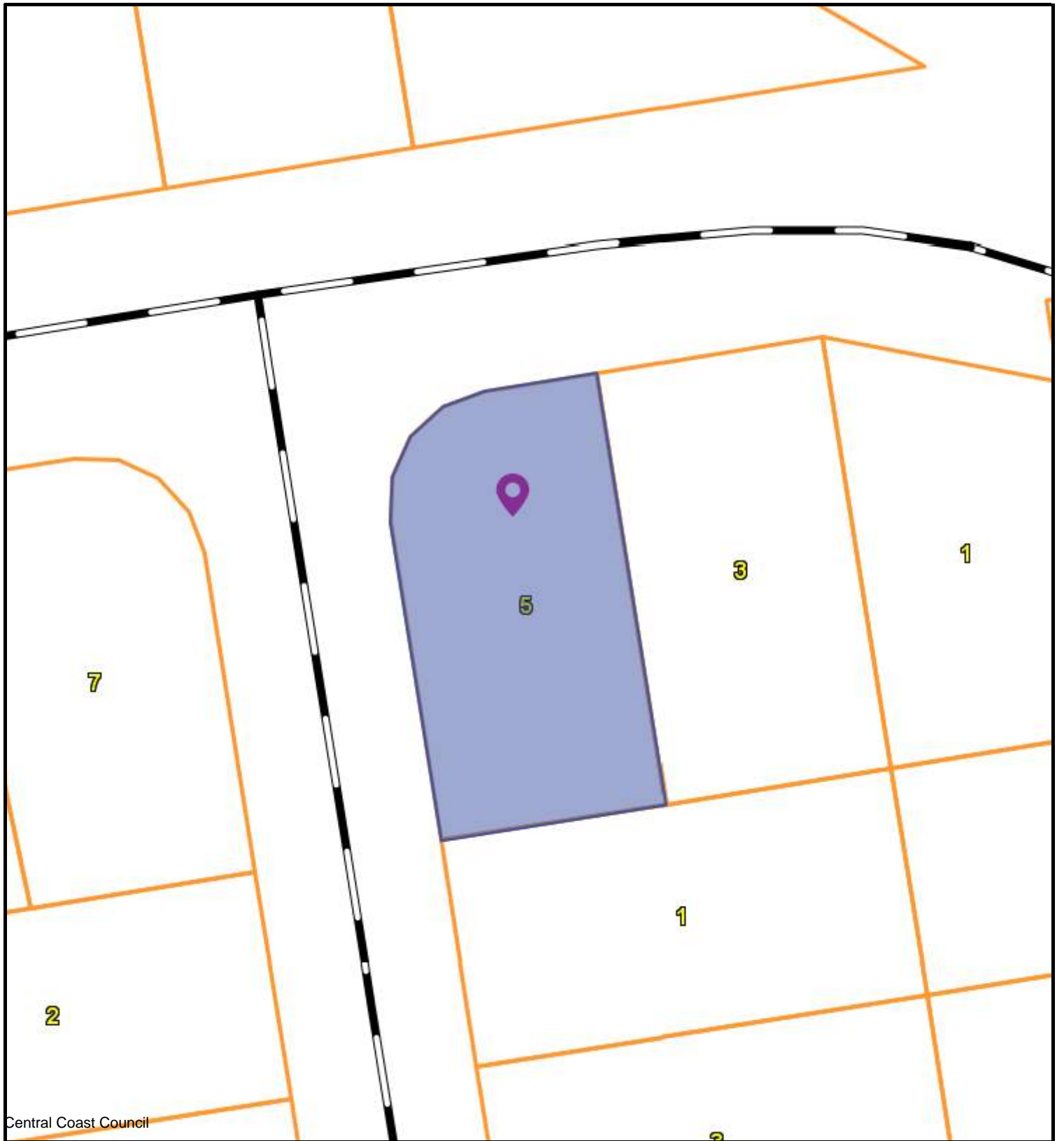
REGISTERED NUMBER

21613

60511







Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



16-Oct-2025

**5 HENSLOWES ROAD,
 ULVERSTONE
 DA2025083**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.
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10 m

Scale =
1:427.140



PROPOSED EXTENSION - 5 HENSLOWES RD, ULVERSTONE

Caleb Davies & Lacy Sushames

PROJECT N°: MUR - 2525

DEVELOPMENT APPLICATION

SITE INFORMATION

SITE AREA: 622.1 m²

WIND SPEED: N2

CLIMATE ZONE: 7

SOIL CLASSIFICATION: CLASS TBC

BUSHFIRE ATTACK LEVEL: BAL N/A

ALPINE AREA: N/A

CORROSION ENVIRONMENT: N/A

FLOOR AREAS

EXISTING FLOOR AREA: 105.4 m² (11.3 SQUARES)

PROPOSED FLOOR AREA: 170.3 m² (18.3 SQUARES)

EXISTING DECK AREA: 17.6 m²

EXISTING SHED 1: 17.4 m²

SHED 2: 90.0 m²

DRAWING SCHEDULE

A00 Cover Page

A01 Existing Site Plan

A02 Proposed Site Plan

A03 Existing Floor Plan

A04 Proposed Floor Plan

A05 Elevations 1 of 2

A06 Elevations 2 of 2

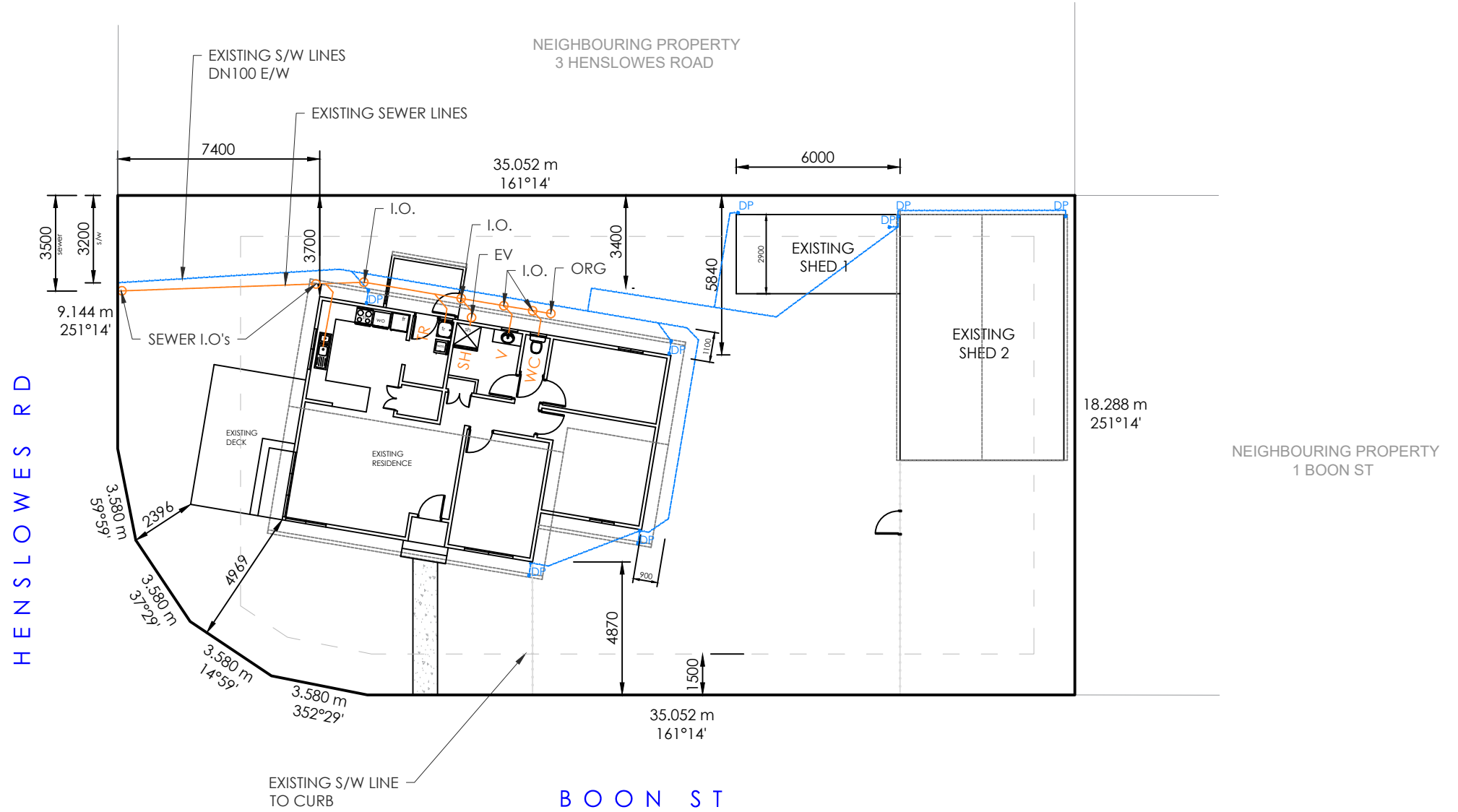
PROPOSED EXTENSION - 5 HENSLOWES RD, ULVERSTONE

Caleb Davies & Lacy Sushames

PROJECT N^o: MUR - 2525

DEVELOPMENT APPLICATION

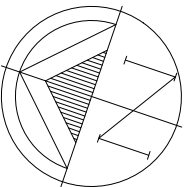
Lot 20
 Area- 622.1 m²
 Vol - 60511
 Folio - 20



SITE AREA:		
EXISTING DWELLING:	105.4 m ²	(11.3 Sq.)
EXISTING DECK:	17.6 m ²	
EXISTING SHED 1:	17.4 m ²	
EXISTING SHED 2:	54.0 m ²	
SITE COVERAGE:	194.4 m ²	(32.1 %)
SITE AREA:	622.1 m ²	

EXISTING SITE PLAN
 SCALE 1:200

DRAINAGE PLAN LEGEND	
	SEWER LINE (100mm DIA UPVC PIPE)
	STORMWATER LINE (100mm DIA UPVC PIPE)
	D.P. DOWNPIPE (90mm)



Murchison Pty Ltd
 P.O. Box 128, Devonport 7310
 ABN: 35 618 741 567
 Licence No. 539021287
 pH: 0421 189 569
 raquel@murchisonx.com.au

PROPOSED EXTENSION & RENOVATION
 CLIENT(s): Caleb Davies & Lacy Sushames
 PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
 PROJECT N^o: MUR - 2525

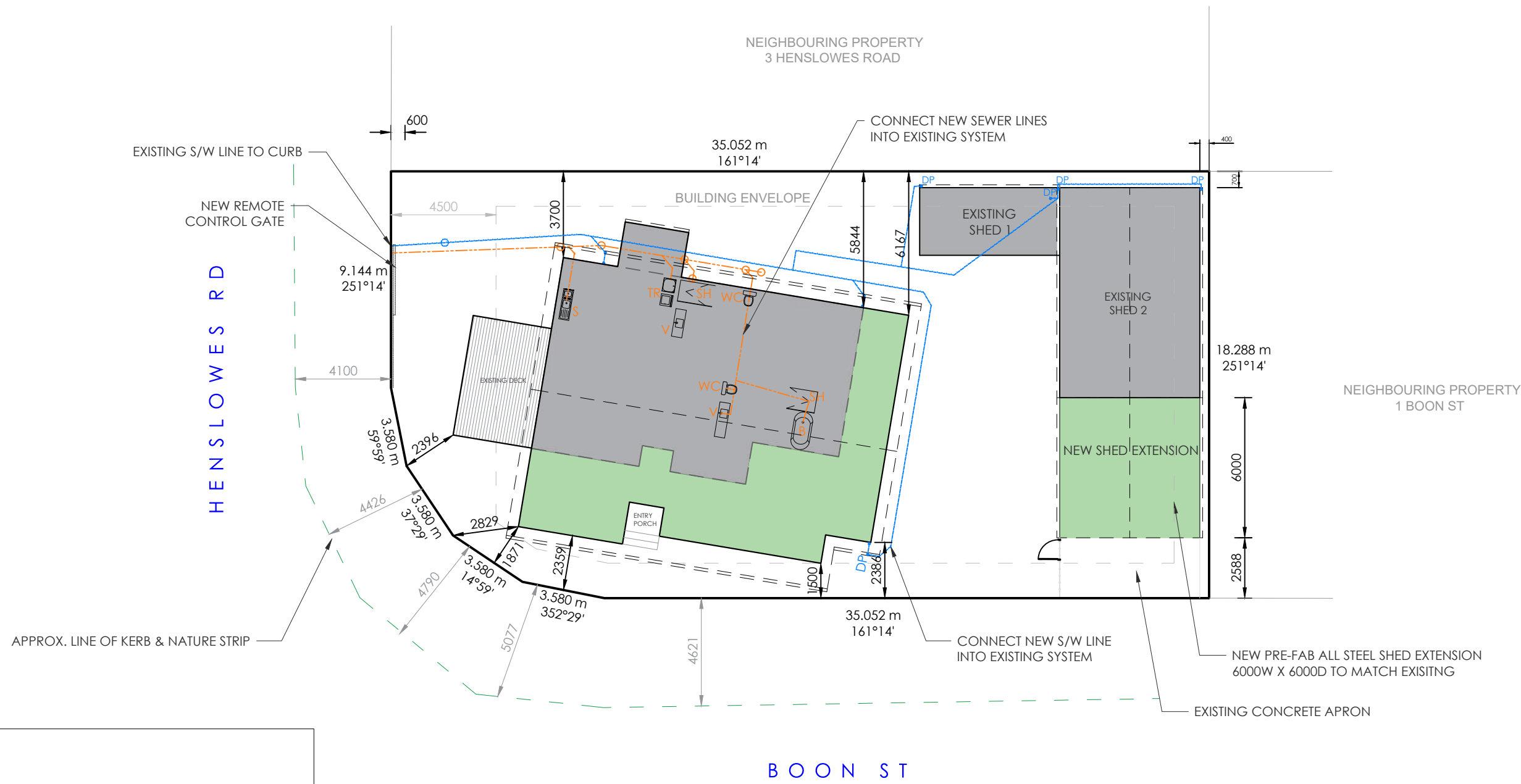
REVISIONS		
REV.	DESCRIPTION	DATE
A	RFI - Development Application	28.08.25
B	RFI - Development Application 2	06.10.25

EXISTING SITE PLAN				
SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:200	28.08.25	RI	RI	A01
DEVELOPMENT APPLICATION ISSUE				
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Lot 20
 Area- 622.1 m²
 Vol - 60511
 Folio - 20

KEY:

- EXISTING STRUCTURES
- PROPOSED EXTENSION OF STRUCTURES



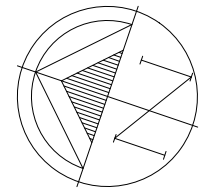
SITE AREA:

EXTENSION AREA:	70.3 m ² (7.6 Sq.)
OVERALL DWELLING:	170.3 m ² (18.3 Sq.)
NEW DECK & VERANDAH:	17.6 m ²
SHED EXTENSION:	36.0m ²
SITE COVERAGE:	294.2 m ² (47.3%)
SITE AREA:	622.1 m ²

PROPOSED SITE PLAN
 SCALE 1:200

DRAINAGE PLAN LEGEND

- · — · — · SEWER LINE (100mm DIA UPVC PIPE)
- · — · — · STORMWATER LINE (100mm DIA UPVC PIPE)
- D.P. DOWNPIPE (90mm)



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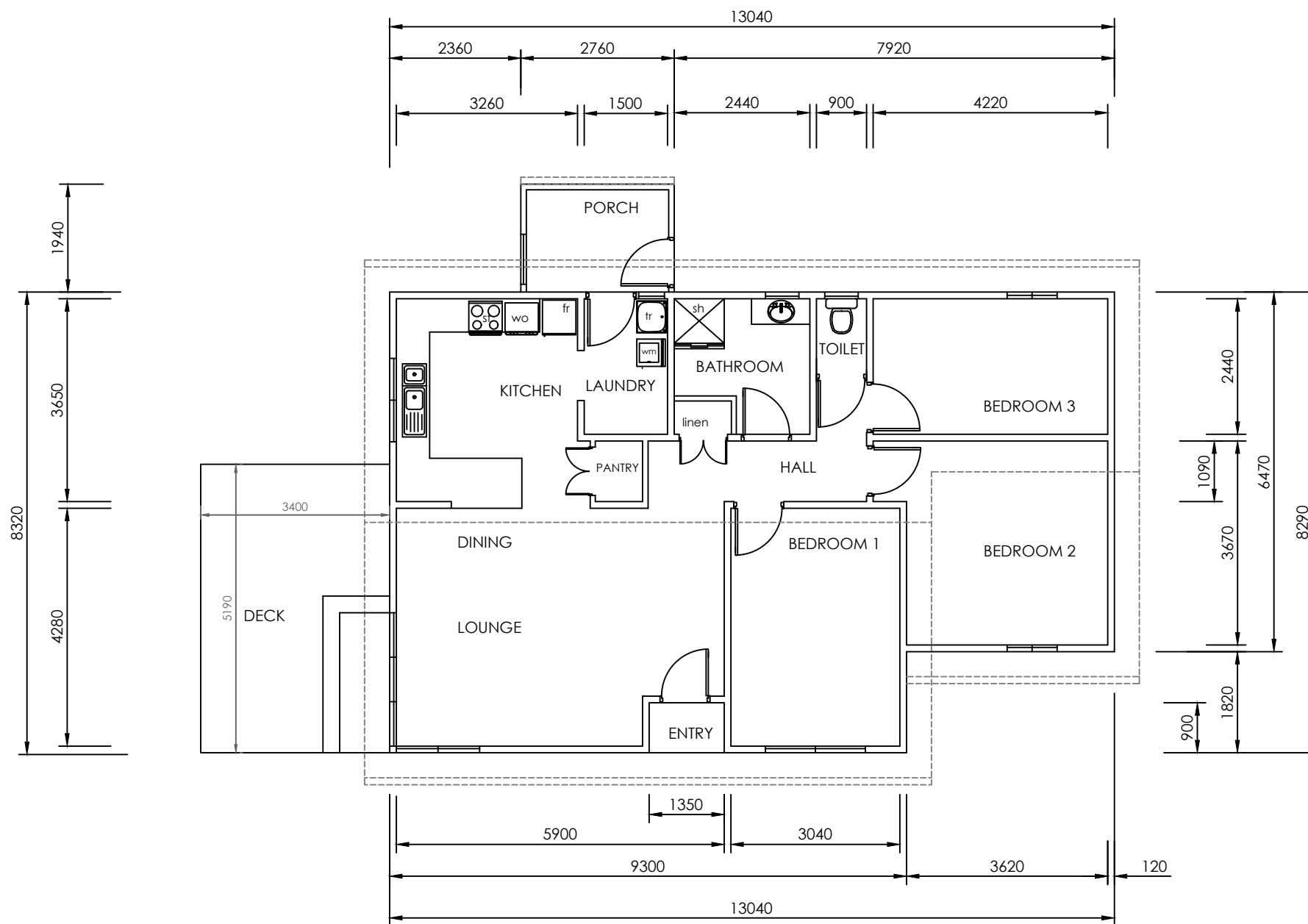
PROPOSED EXTENSION & RENOVATION

CLIENT(s): Caleb Davies & Lacy Sushames
 PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
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REV.	DESCRIPTION	DATE
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PROPOSED SITE PLAN

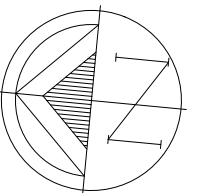
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EXISTING FLOOR AREA:		
DWELLING:	105.4 m ²	(11.3 Sq.)
DECK:	17.6 m ²	

EXISTING FLOOR PLAN

SCALE 1:100



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 Licence No. 539021287

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 raquel@murchisonx.com.au

PROPOSED EXTENSION & RENOVATION

CLIENT(s): Caleb Davies & Lacy Sushames
 PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
 PROJECT N^o: MUR - 2525

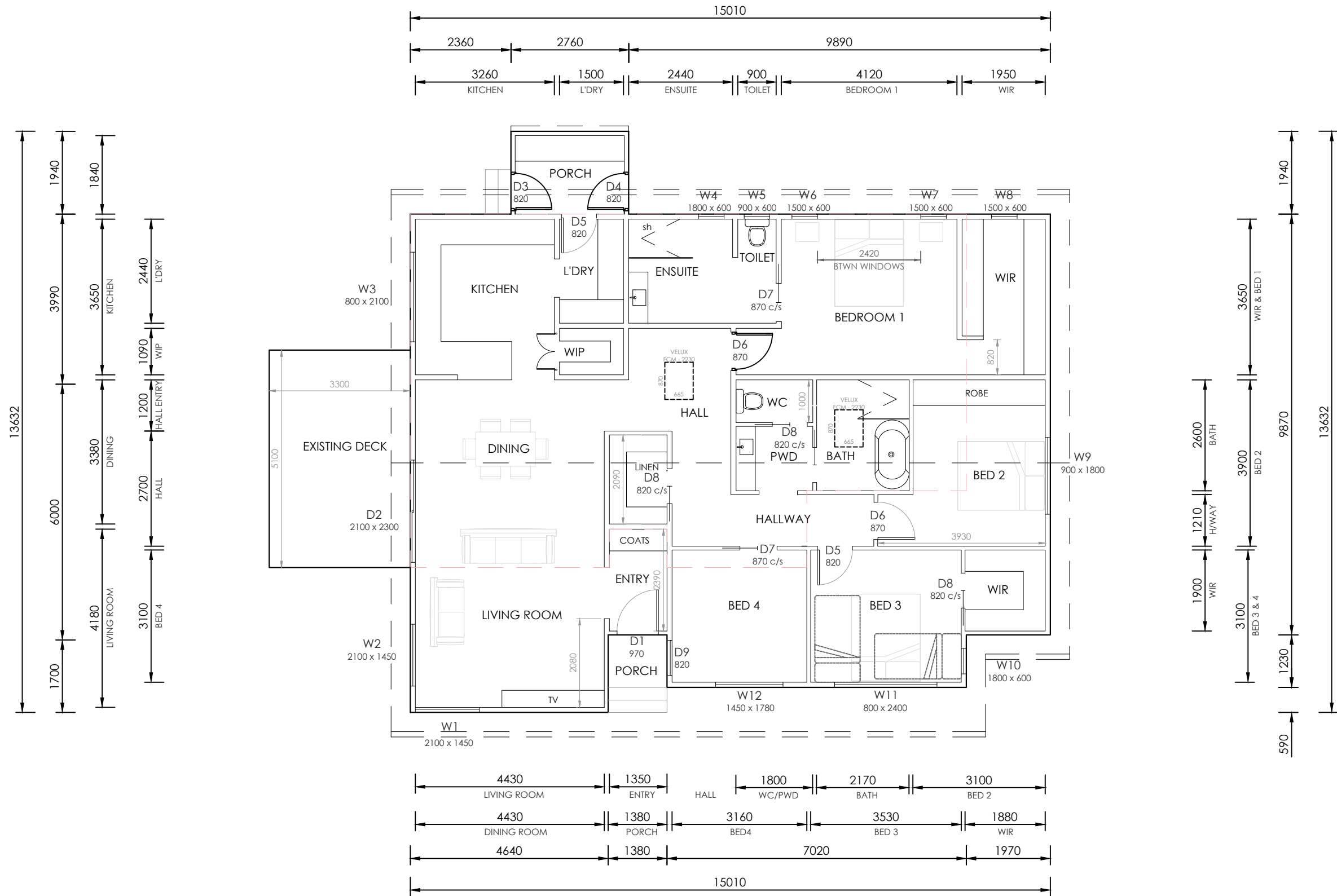
REVISIONS

REV.	DESCRIPTION	DATE
A	RFI - Development Application	28.08.25
B	RFI - Development Application 2	06.10.25

EXISTING FLOOR PLAN

SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
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PROPOSED FLOOR AREA:
 DWELLING: 170.3 m² (18.3 Sq.)
 DECK: 21.6 m²

PROPOSED FLOOR PLAN
 SCALE 1:100

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 Licence No. 539021287
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 raquel@murchisonx.com.au

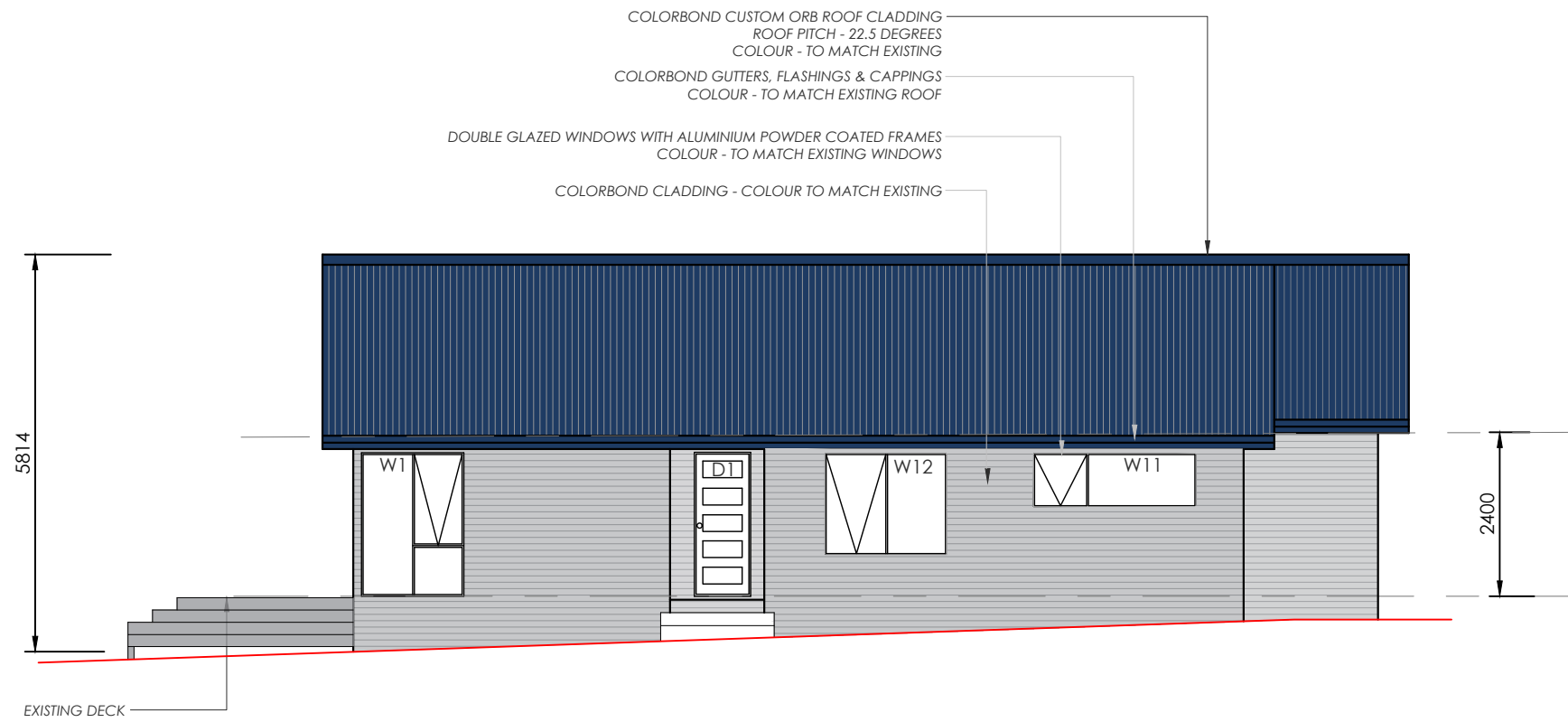
PROPOSED EXTENSION & RENOVATION
 CLIENT(s): Caleb Davies & Lacy Sushames
 PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
 PROJECT N^o: MUR - 2525

REVISIONS		
REV.	DESCRIPTION	DATE
A	RFI - Development Application	28.08.25
B	RFI - Development Application 2	06.10.25

PROPOSED FLOOR PLAN				
SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:100	28.08.25	RI	RI	A04
DEVELOPMENT APPLICATION ISSUE				
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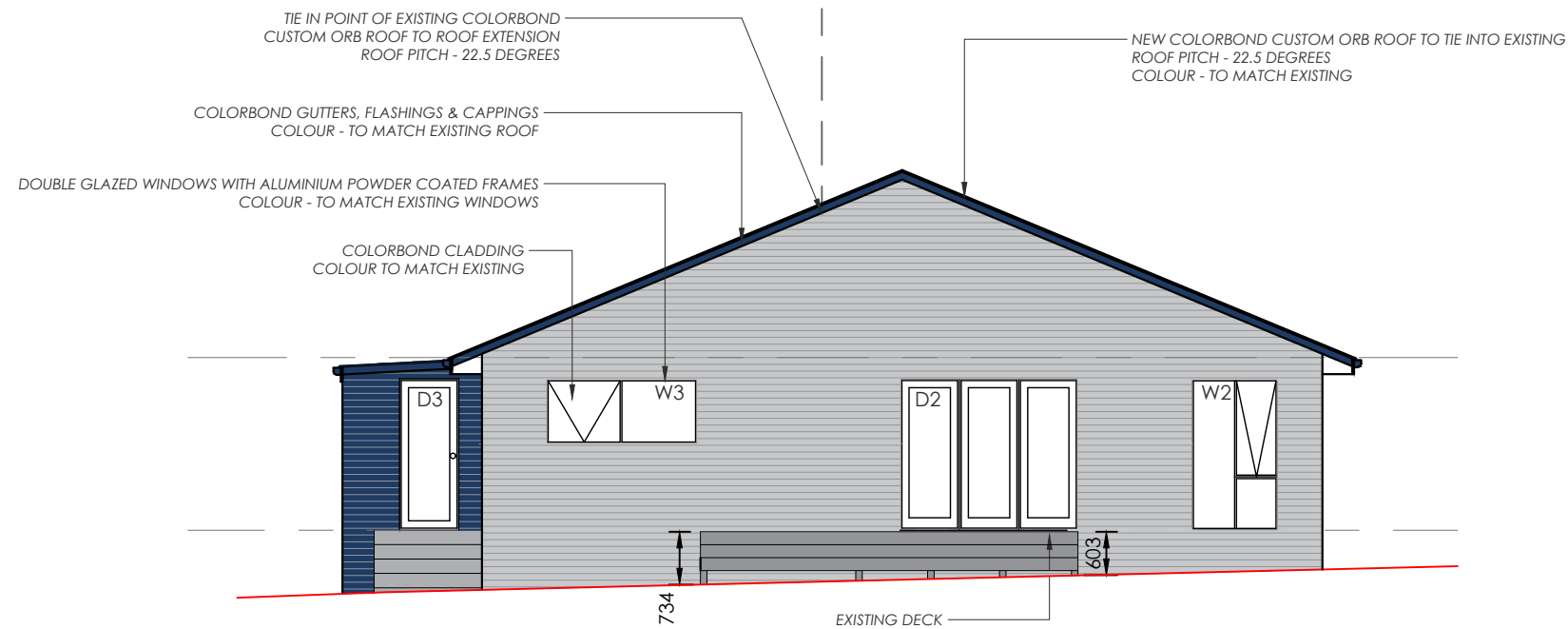
WEST ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100



Murchison Pty Ltd

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PROPOSED EXTENSION & RENOVATION

CLIENT(s): Caleb Davies & Lacy Sushames
PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
PROJECT N^o: MUR - 2525

REVISIONS

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A	RFI - Development Application	28.08.25
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ELEVATIONS 1 OF 2

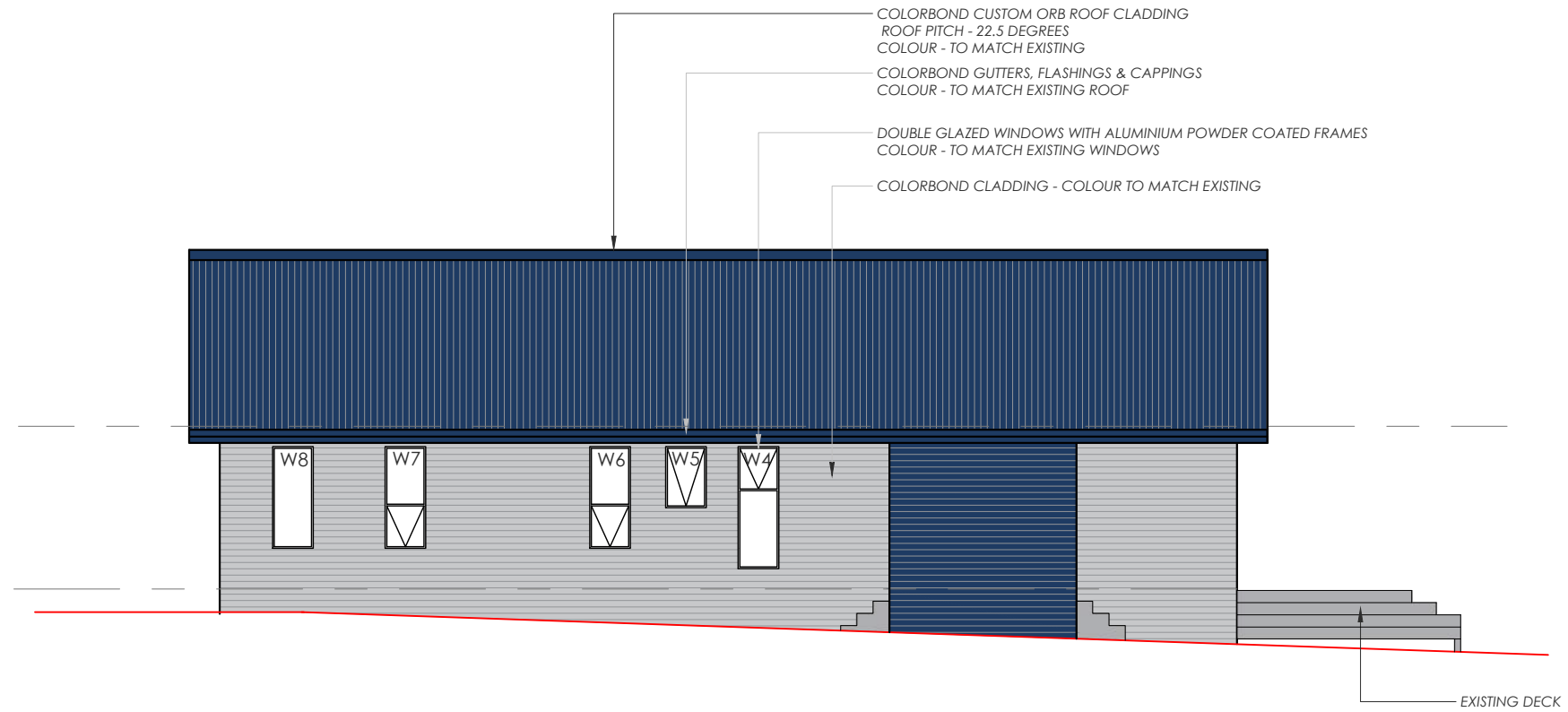
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DEVELOPMENT APPLICATION ISSUE

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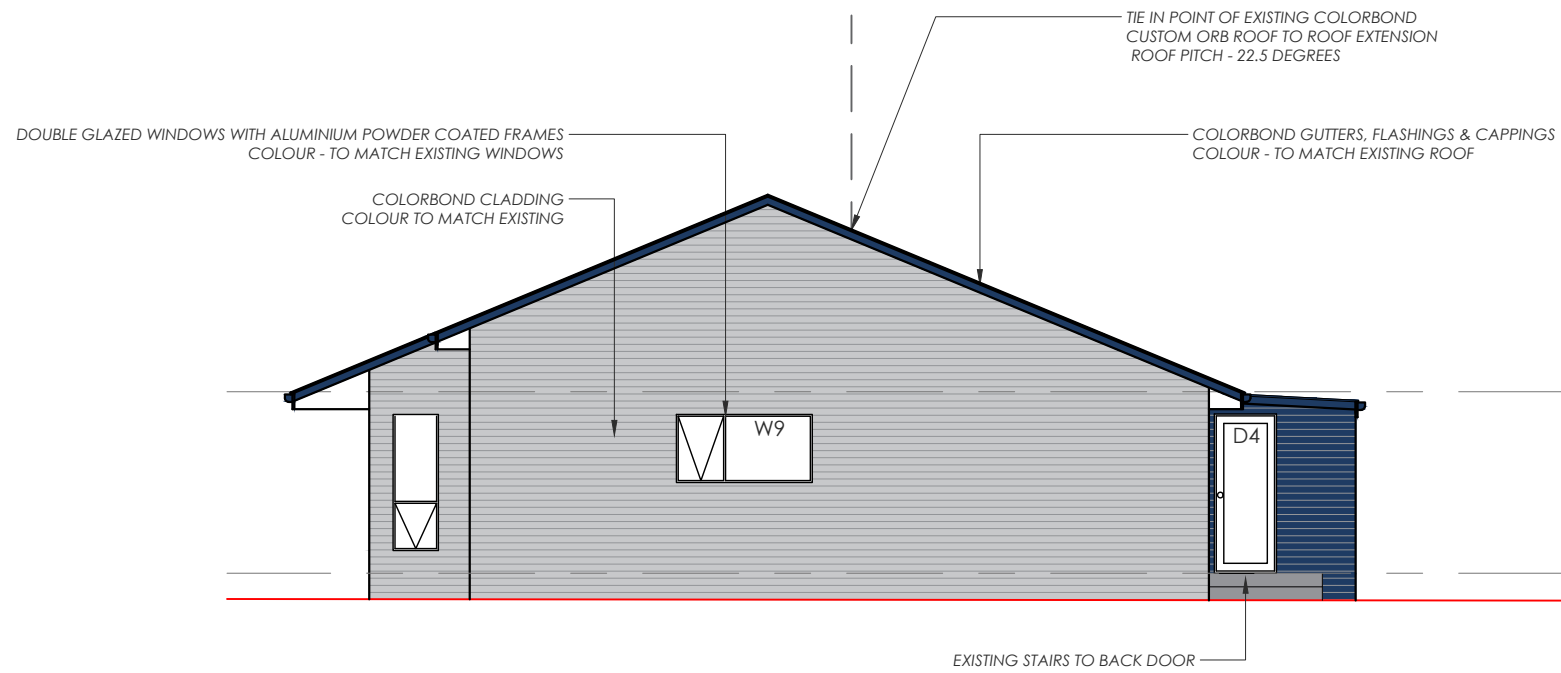
EAST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100



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 Licence No. 539021287

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 raquel@murchisonx.com.au

PROPOSED EXTENSION & RENOVATION

CLIENT(s): Caleb Davies & Lacy Sushames
 PROJECT ADDRESS: 5 HENSLOWES ROAD, ULVERSTONE
 PROJECT N^o: MUR - 2525

REVISIONS		
REV.	DESCRIPTION	DATE
A	RFI - Development Application	28.08.25
B	RFI - Development Application 2	06.10.25

ELEVATIONS 2 OF 2				
SCALE @ A3	DATE	DRAWN BY	CHECKED	SHEET N ^o .
1:100	28.08.25	RI	RI	A06
DEVELOPMENT APPLICATION ISSUE				
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P.O BOX 128
DEVONPORT, 7310

7 October 2025

RE: Correspondence Sept 5th, 2025
DA 2025083 – PROPOSED DWELLING & SHED EXTENSION
5 HENSLOWES ROAD, ULVERSTONE

Please find attached the updated drawing set of plans for Caleb Davies & Lacy Sushames – Rev B, dated 06.10.25.

Clause 8.4.2 (P1)

My clients would like to withdraw any previously proposed amendments to the existing deck, and this will now remain in its current state. Whilst the Tasmanian Planning Scheme (TPS) stipulates that corner properties are required to have a primary frontage setback of 4.5m and secondary setbacks of 3m, it is believed that the proposed extension to the dwelling can maintain compatibility with the streetscape. This is with particular reference to the width of nature strip abutting the boundary and precedence set by other properties in the area.

The proposed extension to the dwelling at 5 Henslowes Road maintains a consistent setback of 4.5m until the third truncation of the block where Henslowes Road transitions to Boon Street. At this location, as seen on drawing A02, the minimum setback is 1871mm with a further setback on the fourth truncation of 2359mm as well as 1500mm and 2386mm respectively as the property runs along Boon Street. Whilst deemed to be secondary setbacks, we request the above reduced setbacks be considered for the truncations and Boon Street boundaries for the following reasons:

- 1) The TPS states that the objectives of Clause 8.4.2 are to provide reasonable separation between dwellings and their frontage as well as consistency in scale, bulk and proportion of dwellings. Performance Criteria 1 requires dwellings to 'have a setback from a frontage that is compatible with the streetscape'. By definition, streetscape refers to the collective appearance of buildings, footpaths, gardens and landscaping which create the visual identity of a neighbourhood. The proposed extension to 5 Henslowes Road maintains compatibility of the surrounding streetscape with particular

reference to the width of the nature strip. The attached documentation indicates the approximate widths of the nature strip that abuts the property on all boundaries along Henslowes Road and Boon Street. The minimum width of nature strip is 4.1m and where the proposed reduced setback of the dwelling is 1871mm, the nature strip is at its widest. Without physical boundary markers, this reduced setback is not visually apparent and therefore, does not directly impact the appearance or streetscape within the area and maintains separation from dwelling to road frontage.

- 2) The neighbouring property on the opposing corner, 7 Henslowes Road, has also recently undergone renovations where the dwelling and an outbuilding (garage) is located within 3m of a secondary setback. It should be noted that the dwelling itself is setback 1500mm from the Boon Street boundary and the outbuilding approximately 2300mm from this same boundary. The deck at the front of the house, on the Henslowes Road frontage, also has a minimal setback with relation to the property boundary. However, similar to my clients, there is no physical boundary marker to identify where their boundary lies and as a result, they too have been able to maintain the visual quality of streetscape and separation between dwelling and the road.
- 3) There are also other properties close by that are located on corner blocks and appear to have setbacks that impact the streetscape.
 - a. 1 Maise Place (Ulverstone) – Dwelling located within 3m of a secondary setback with minimal separation between dwelling and road frontage with only footpath between.
 - b. 41 Henslowes Road – Back porch/deck located on the secondary frontage boundary as indicated on List Map.

Clause 8.4.2 (P3)

The previous response to council in regard to this clause, as stated in the correspondence dated September 5th, 2025, provided comment to the impact of the shed extension to the property at 1 Boon Street. However, in addition to this, it should be noted that the proposed extension to the house and shed will not cause any unreasonable loss of amenity to the neighbouring dwelling at 3 Henslowes Road. The proposed extension to the dwelling on the eastern elevation is only adding 1970mm to the length of the building. Due to the angle of which the dwelling is oriented on the property, the 3700mm setback that extends to a 6167mm setback on the south-east corner, and as such will not impact the property at 3 Henslowes Road in terms of loss of amenity or separation between the dwellings.

I trust that the information provided in this letter, and the further updated drawings dated October 6th, 2025, will satisfy council's requests from correspondence sent on September 5th, 2025.

Many thanks,





P.O BOX 128
DEVONPORT, 7310

30 July 2025

RE: DA 2025083 – PROPOSED DWELLING & SHED EXTENSION
5 HENSLOWES ROAD, ULVERSTONE

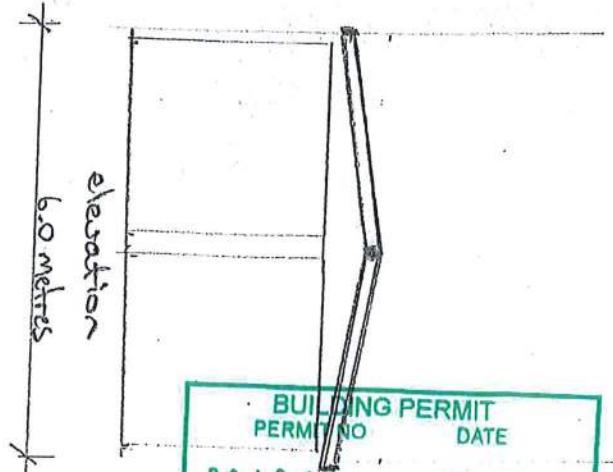
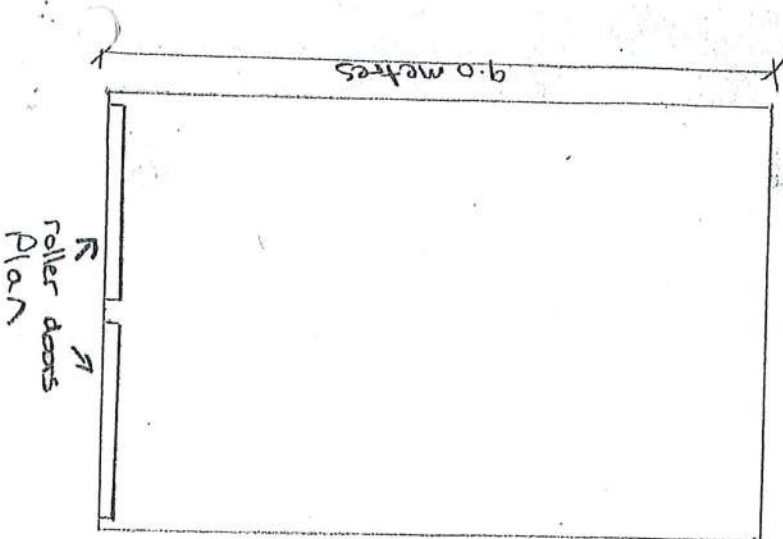
Please find attached the updated drawing set of plans for Caleb Davies & Lacy Sushames. The updated drawings have been modified to comply with the required setbacks of Clause 8.2.4 (P1) of the Tasmanian Planning Scheme which state that “A dwelling must have a setback from the frontage that is compatible with the streetscape...”. The updated proposal no longer includes a carport and as such maintains the required 4.5m setback on the Henslowes Road frontage. Further to this, secondary frontages that follow the boundary into Boon Street, maintains a minimum setback of 1.5m which is consistent with the neighbouring property on the opposing side of Boon Street (7 Henslowes Road) who have recently completed renovations that are also approximately 1.5m from their respective boundary.

In response to demonstrating compliance with Clause 8.4.2 (P3), the proposed shed extension should not cause unreasonable loss of amenity to the neighbouring property at 1 Boon Street, given that this property only has one narrow window on the northern facade that may be slightly impacted by the proposed 6m extension. The other window on the north facade of this dwelling wraps around in conjunction with a corner window that is likely to still have good access to westerly, afternoon sun.

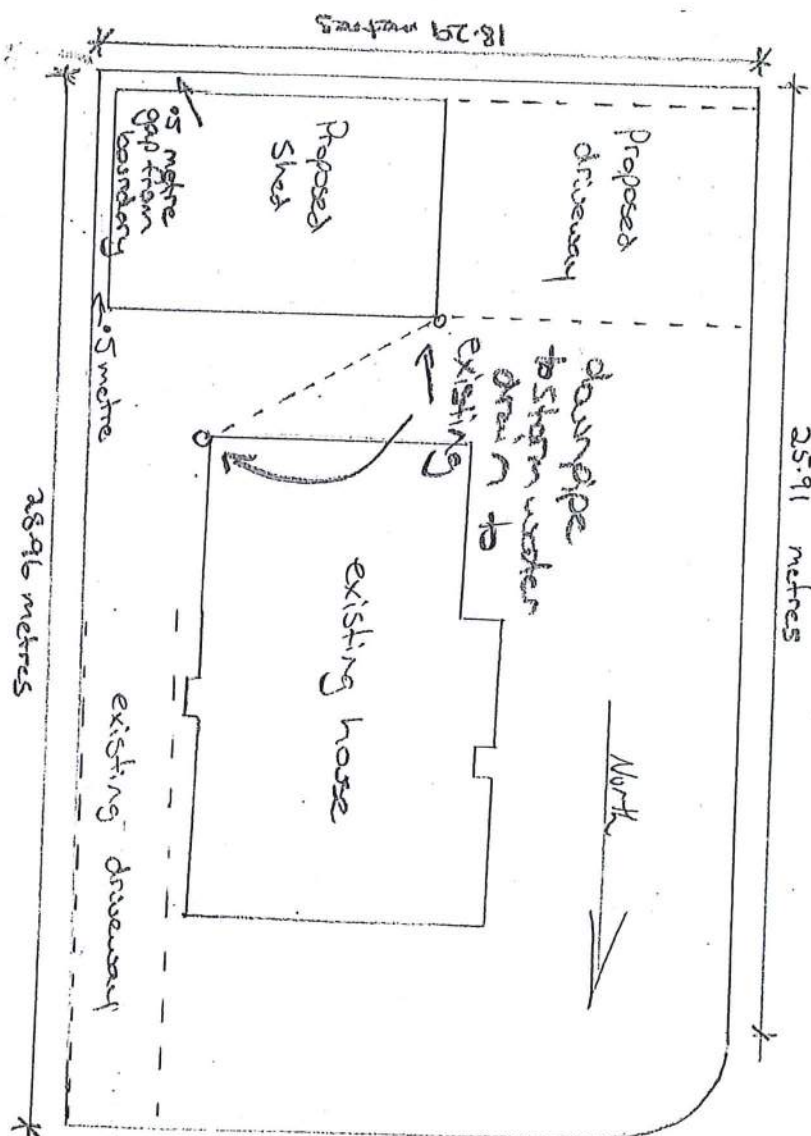
I trust that the information provided in this letter, and the updated drawings will satisfy council's requests from correspondence dated on June 5th, 2025.

Many thanks,





BUILDING PERMIT
 PERMIT NO. DATE
 204215 18 FEB 2005
 This document is relevant to the permit
 and subject to conditions thereof.
 BUILDING PERMIT AUTHORITY
 CENTRAL COAST COUNCIL



351.9 metres

elevation

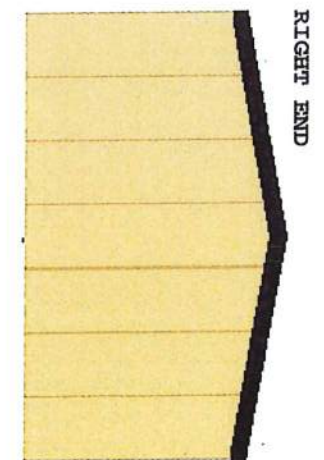
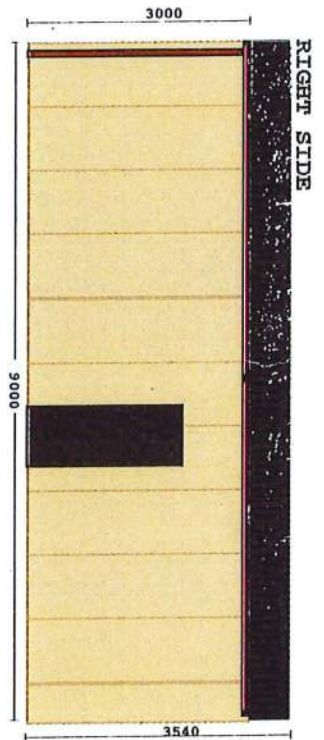
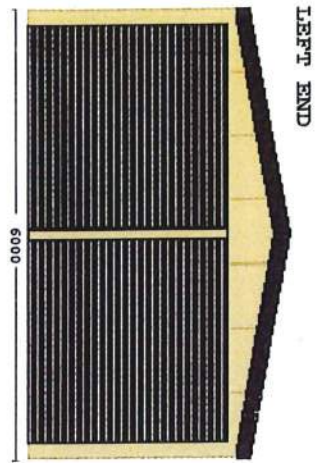
classic Cream /
 colorbond

Cottage Green / colorbond

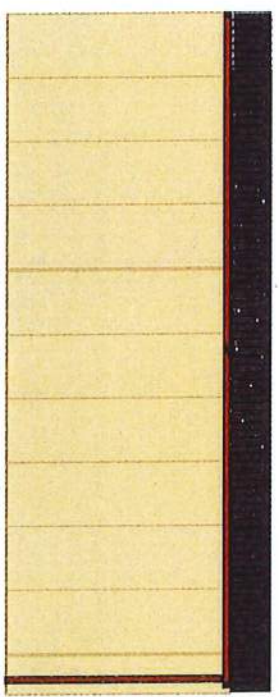
CERTIFICATE OF LIKELY COMPLIANCE
 CERTIFICATE NO. DATE
 204187 18 FEB 2005
 This document is relevant to the certificate
 and subject to conditions thereof.
 BUILDING SURVEYOR

No.5
 Herdshires Rd
 Urverstone
 Site Plan
 1:200
 Scale

CENTRAL COAST COUNCIL
 DEVELOPMENT & REGULATORY SERVICES
 Received: 08 APR 2025
 Application No:
 Doc. Id:



CERTIFICATE OF LIKELY COMPLIANCE
 CERTIFICATE NO. 204187 DATE 18 FEB 2005
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[Signature]
 BUILDING SURVEYOR



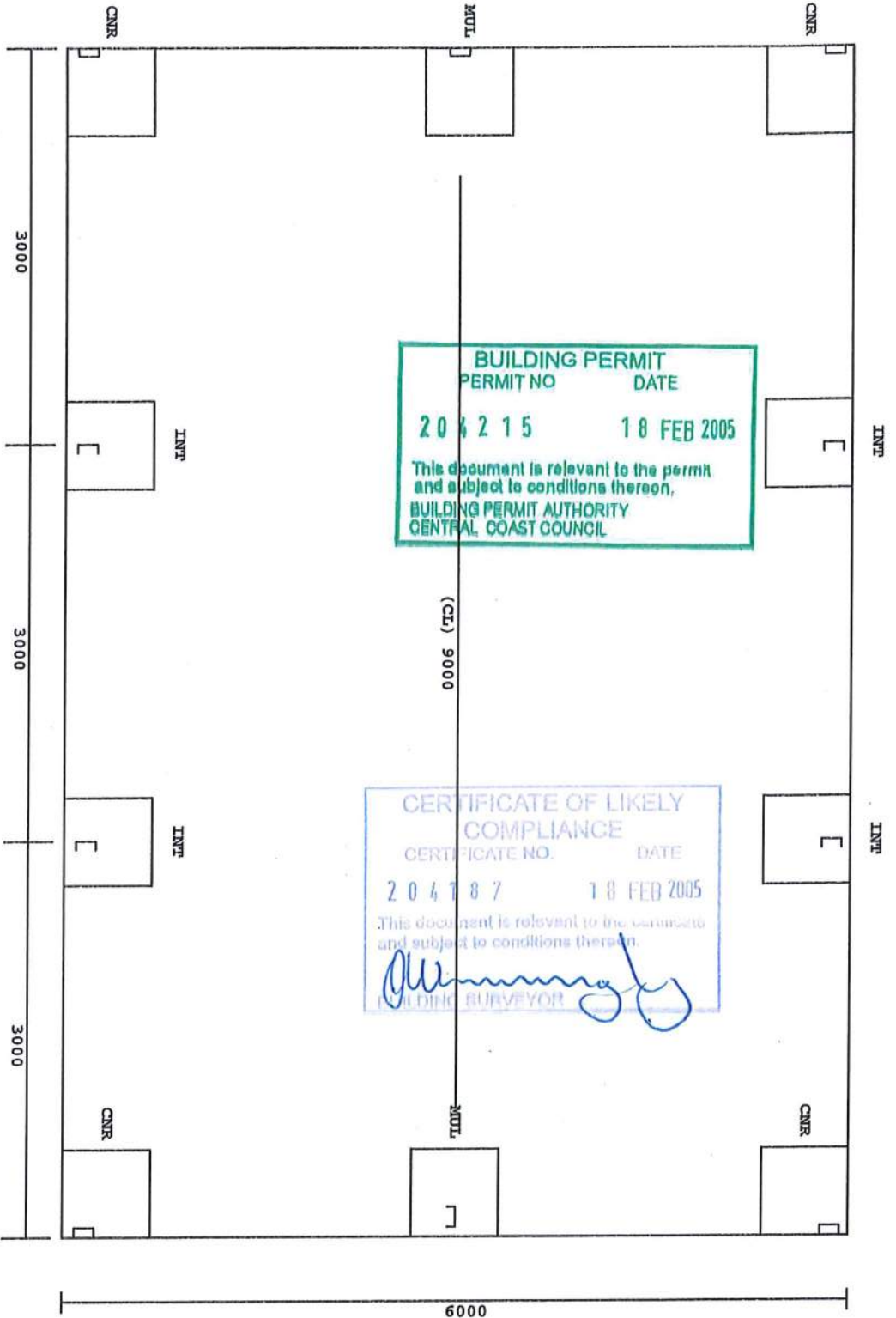
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Width:	6000
Main wall height:	3000
Roof Pitch:	11.00
Bays:	3
Apex Height:	3541
Region:	A
Terrain Category:	2.0

[Signature]
 Glen Prien
 B.E., M.B.A.
 CP. ENG (Civil, Structural)
 Project Engineer

Purchaser: SCRIMGEOUR Warrick, 5 Henslowes Road, ULVERSTONE, 7315, (Tel)

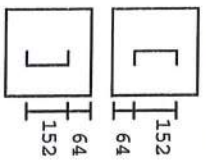
Scrimgeour Warrick

Corner 670x670x650

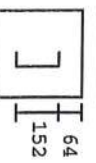
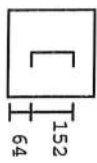


BUILDING PERMIT
 PERMIT NO 204215 DATE 18 FEB 2005
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 BUILDING PERMIT AUTHORITY
 CENTRAL COAST COUNCIL

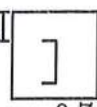
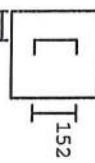
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[Signature]
 BUILDING SURVEYOR



Internal 670x670x670



Mullion 670x670x670



Mullion normal orientation

FOOTINGS NOT TO SCALE

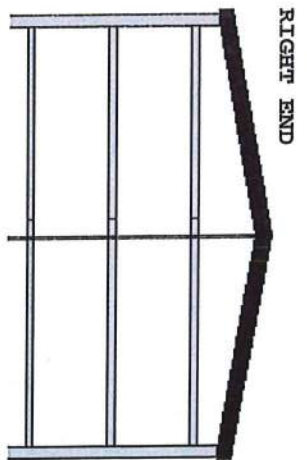
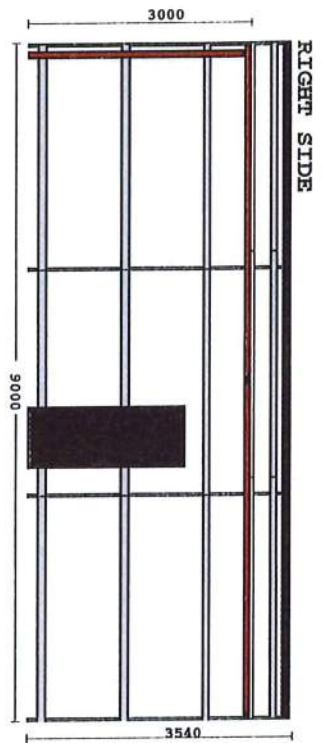
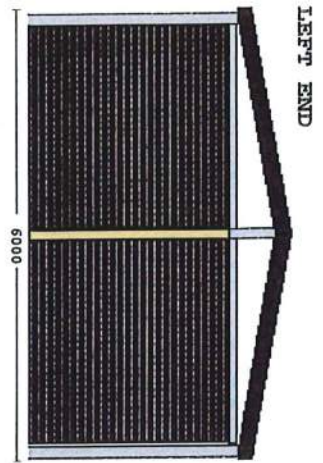
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Width:	6000
Main wall height:	3000
Roof Pitch:	11.00
Bays:	3
Apex Height:	3541
Region:	A
Terrain Category:	2.0

[Signature]
 Glen Prien
 B.E., M.B.A.
 CP. ENG (Civil, Structural)
 Project Engineer

This document is authorised for use when read in conjunction with the supplied Pit and Shery engineering drawings.

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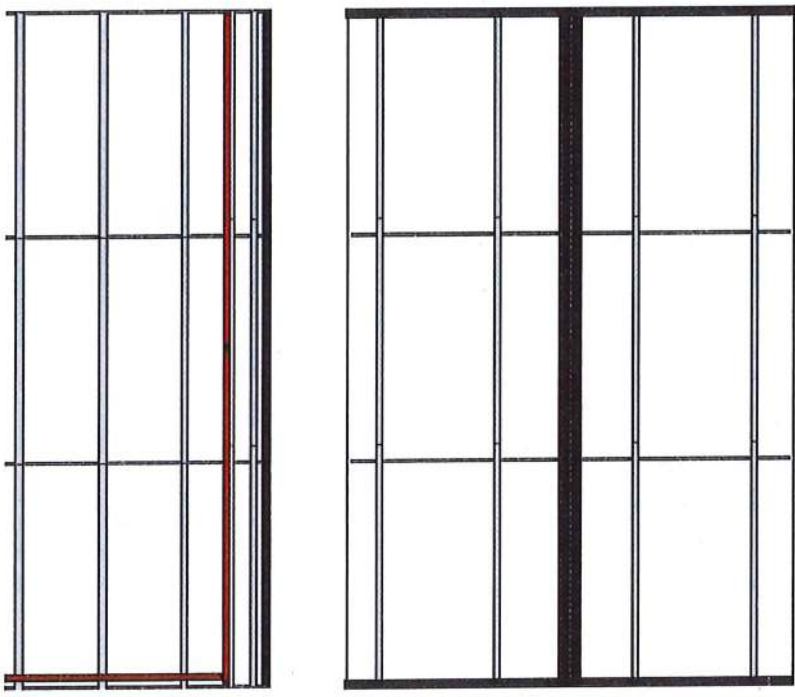
Scale (1:47.378) is approximate. All dimensions in millimetres.



BUILDING PERMIT
 PERMIT NO. DATE
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 CENTRAL COAST COUNCIL

CERTIFICATE OF LIKELY COMPLIANCE
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 204187 18 FEB 2005
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[Signature]
 BUILDING SURVEYOR

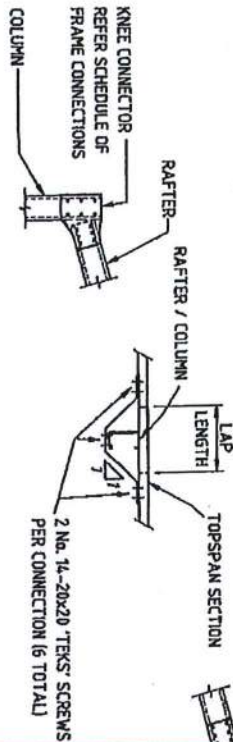
PLAN



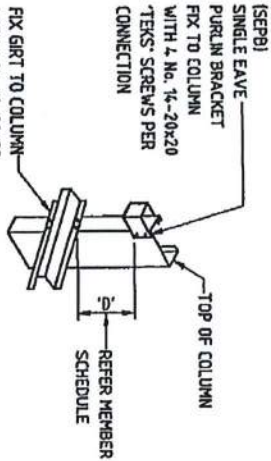
LEFT SIDE

Length:	9000
Width:	6000
Main wall height:	3000
Roof Pitch:	11.00
Bays:	3
Apex Height:	3541
Region:	A
Terrain Category:	2.0

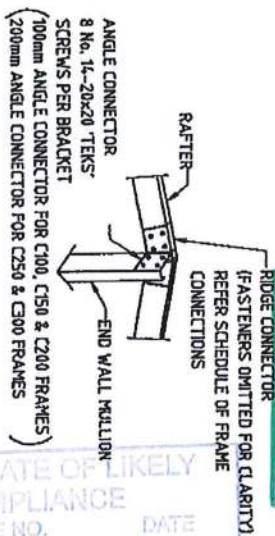
[Signature]
 Glen Prien
 B.E., M.B.A.
 CP. ENG (Civil, Structural)
 Project Engineer



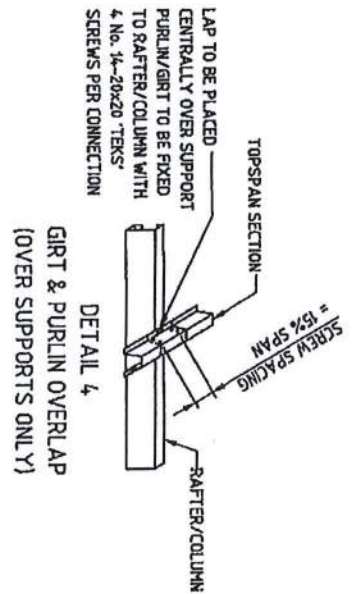
DETAIL 1
KNEE CONNECTION DETAIL
FLY BRACE TO COLUMNS
AND RAFTERS



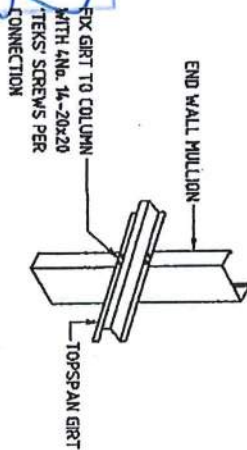
DETAIL 2
RIDGE CONNECTION DETAIL



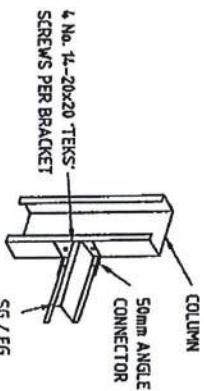
DETAIL 3
END WALL MULLION FIXING ANGLE



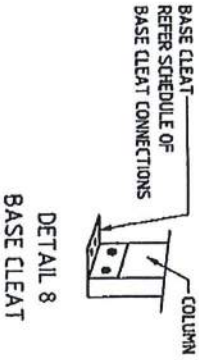
DETAIL 4
GIRT & PURLIN OVERLAP
(OVER SUPPORTS ONLY)



DETAIL 5
SINGLE EAVE PURLIN BRACKET



DETAIL 6
END WALL MULLION FIXING ANGLE



DETAIL 7
TOPSPAN ENDWALL GIRT



DETAIL 8
SG / EG TO CORNER COLUMN DETAIL

BUILDING PERMIT
PERMIT NO. 2042185 DATE 18 FEB 2005
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BUILDING PERMIT AUTHORITY
CENTRAL COAST COUNCIL

CERTIFICATE OF LIKELY COMPLIANCE
CERTIFICATE NO. 204187 DATE 18 FEB 2005
This document is relevant to the certificate and subject to conditions thereon.
[Signature]
BUILDING SUPERVISOR

PROJECT NO. 1021728		REGION A - S9	
BUILDING NO. 1021728		REGION A - S9	
<p>SIDACH NATIONAL STEEL FRAME BUILDINGS REGION 'A' TERRAIN CATEGORIES 2 & 3</p>			
<p>CONSULTING ENGINEER PITTS & SHERREY</p>			
<p>PROJECT NO. 1021728</p>			
<p>REGION A - S9</p>			
<p>SCALE IN MILLIMETERS</p>			
<p>DATE: 18 FEB 2005</p>			

