



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055051

PROPOSAL: Outbuilding, Additions & Alterations (Single Dwelling)
(Retrospective)

LOCATION: 39 Poplar Road, Risdon Vale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 10/04/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 10/04/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 10/04/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Retrospective Works - Pool/ deck, Outbuilding South, Outbuilding part demolition North

Location:

Address 39 Poplar Road, Risdon Vale, Tas 7016.....
Suburb/TownRisdon Vale..... Postcode7016.....

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of (if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Paul Woodcock

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

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Clarence City Council

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SEARCH OF TORRENS TITLE

VOLUME 55990	FOLIO 49
EDITION 8	DATE OF ISSUE 14-Jul-2023

SEARCH DATE : 26-Aug-2025

SEARCH TIME : 06.37 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 49 on Plan 55990 (formerly being P1750(W))

Derivation : Part of 435 Acres Gtd. to E.P. Wilson & Ors.,

Part of 2560 Acres Gtd. to T.G. Gregson

Prior CT 3293/31

SCHEDULE 1

E352402 TRANSFER to TRENT HANS LAIRD and RACHEL JOY LAIRD
Registered 14-Jul-2023 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E352403 MORTGAGE to Commonwealth Bank of Australia
Registered 14-Jul-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PI1750

REGISTERED NUMBER	55990 (w)
REGISTERED NUMBER	55991 (w)

(P. 1751)

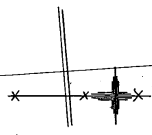
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TOWN OF LINDISFARNE

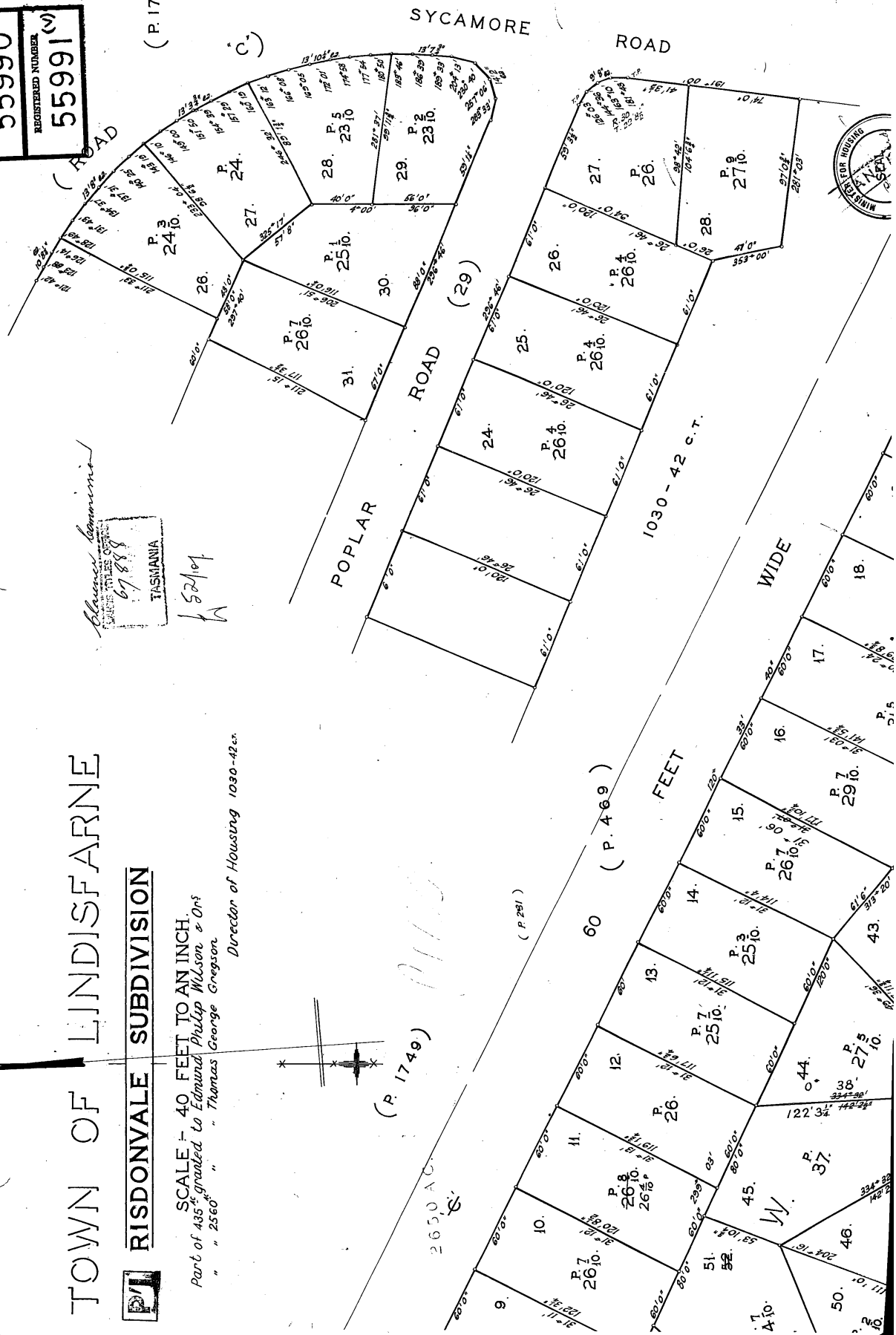
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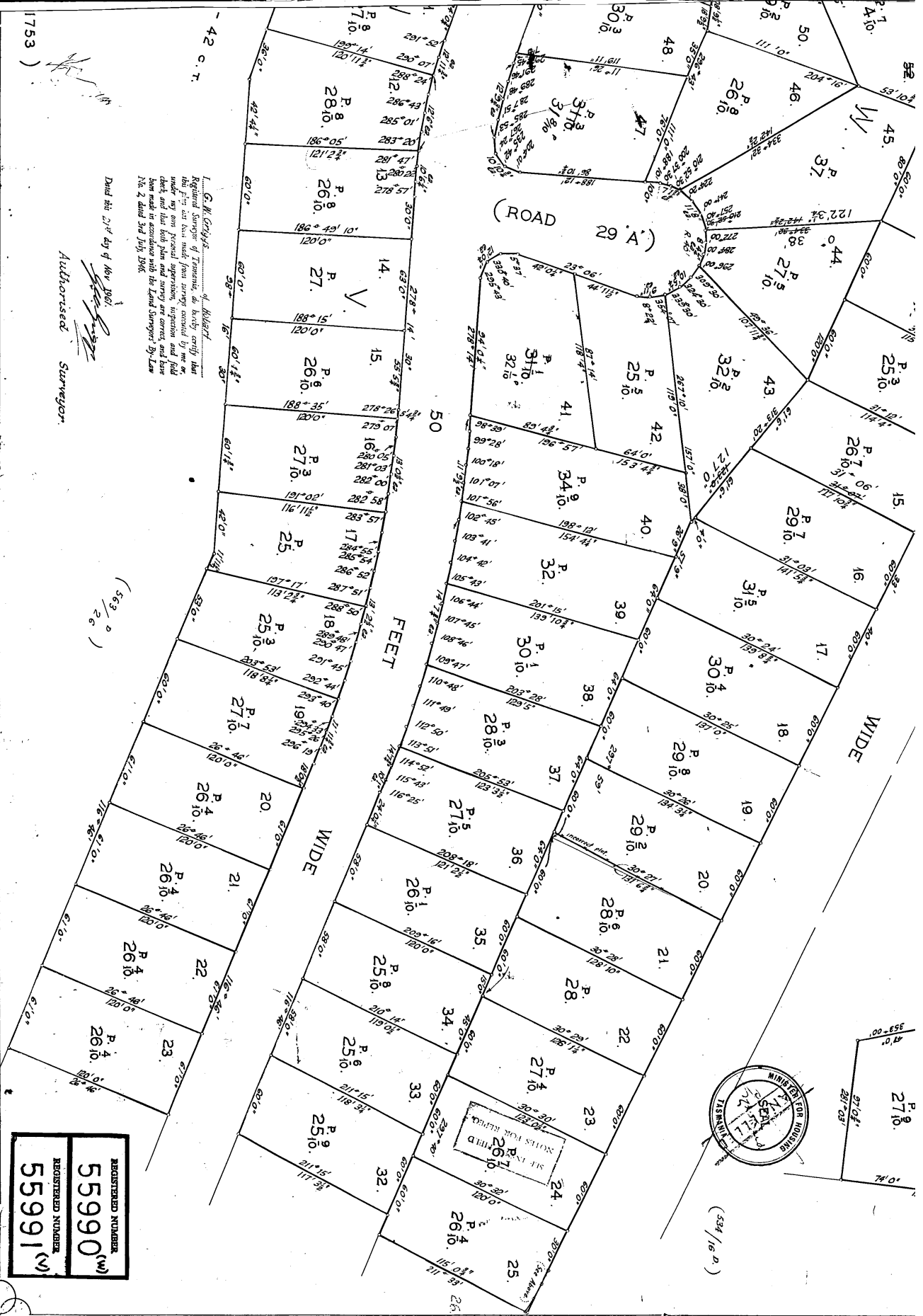
SCALE - 40 FEET TO AN INCH.
 Part of 435th granted to Edmund Philip Wilson & Ors
 " " 2560 " " Thomas George Gregson
 Director of Housing 1030-42^{er}.

Blanche Commins
 67/88
 TASMANIA
 52/107



(P. 1749)





L. G. W. GIDDY, Surveyor
 Required Survey of Townships, do hereby certify that this Plan has been made from surveys conducted by me or under my own personal supervision, inspection and field check, and that this plan and survey are correct, and have been made in accordance with the Land Surveyors Act 1980, and dated 27th May 2001.

Dated this 27th day of May 2001.
 Authorised Surveyor.

REGISTERED NUMBER
55990 (M)
 REGISTERED NUMBER
55991 (M)

20.11.2024

To whom it may concern,

**Personal
Information
Removed**

/s of **39 Poplar Road Risdon Vale TAS 7016** authorise representatives of ISLAND LIFE DESIGNERS as our agent regarding all Council and TasWater applications for this address.

I/We..... also understand and accept that while ISLAND LIFE DESIGNERS are acting as my/our agent I/We give consent for the relevant authorities to direct all invoices relating to the development directly to the property owner.

Please accept this letter authorizing representatives of ISLAND LIFE DESIGNERS to act as AGENTS and to lodge the Development, Building and Plumbing Applications and access any associated information required with the applications on our behalf.

Kind regards,

Personal Information Removed

TasWater

Please see attached TasWater Request for Additional Information

Please provide a response to the information requested

1. As it has been indicated, a DN150mm sewer main is located in the vicinity of the pool surround (deck). Section 56W of the Water and Sewerage Industry Act 2008 prohibits the construction of prescribed structures within TasWater easements and/or over or within two metres of TasWater infrastructure without consent.

a. Please confirm how the supports for the pool surround (deck) have been installed, in particular the corner adjacent to the sewer main. Deck Supports to "West" corner closest to the main sewer line is on steel stirrup supports to top of concrete driveway.

i) Has a plate been installed onto the existing concrete driveway, removing the need for a pier or footing.

- Yes refer to attached images

Reason for the Request; If a plate has been installed onto the existing concrete driveway, then no additional loads have been added to the sewer pipeline. This being the case there will be no issues from a TasWater perspective and an amendment to the original 56W Consent will not be required.

2. Please provide a concept servicing plan for sewer services which shows the following

a. The exact location and of the existing property sewer connection/inspection opening. **Refer to Site drainage plan. Sewer line not located under deck.**

Reason for the Request; To confirm that it is not located under the pool surround (deck) area.

General Residential Zone

8.4.2 SETBACKS AND BUILDING ENVELOPES FOR ALL DWELLINGS P1 and P3

Updated survey indicates shed (outbuilding) setback to be 1022mm from Poplar Rd.

P1

A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

As per the conducted survey, the Shed located 1022mm to South Street front of Poplar road. The shed does not cause any over shadowing to property No. 37 Poplar road street front until between 2pm/3pm. It has no affect on the existing dwelling or Private open space. Evidence of properties having reduced setbacks of less then the required street setbacks which have not been removed by council.

1 Poplar road – carport less then the min. setback to the street front

Evidence of another property in the same street having a class 10a less then 1900mm to the street front and less then 500mm to the side boundary

41 polar road – structures less then the min. setback to the street front

Two shipping containers encroaching less then 1.7M to street front and less then 500mm to side boundary.

P2

A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraint.

1 Poplar road – carport less then the min. setback to the street front

Evidence of another property in the same street having a class 10a less then 1900mm to the street front and less then 500mm to the side boundary

41 polar road – structures less then the min. setback to the street front

Two shipping containers encroaching less then 1.7M to street front and less then 500mm to side boundary.

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; **No, refer to Page 10 Shadow Diagrams**

(ii) overshadowing the private open space of a dwelling on an adjoining property; **No, refer to Page 10 Shadow Diagrams**

(iii) overshadowing of an adjoining vacant property; and **The shed does not cause any over shadowing to property No. 37 Poplar road street front until between 2pm/3pm. It has no affect on the existing dwelling or Private open space. Refer to page 10 shadow diagram.**

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; **The shed is setback 3923mm from the East side boundary boundary of 37 Poplar Rd much further then the shed of 37 Poplar road to the same boundary and more then the carport "500mm" to side boundary of 1 Poplar Rd.**

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and **The shed is setback 3923mm from the East side boundary boundary of 37 Poplar Rd.**

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or **No, refer to Page 10 Shadow Diagrams.**

(ii) another dwelling on the same site. **No, refer to Page 10 Shadow Diagrams.**

GENERAL INFORMATION

Land Title Reference	-	55990/49
Building Class	-	NA
Property Zone	-	NA
Wind Classification	-	NA
Soil Classification (AS 2870)	-	CLASS T.B.C
Climate Zone (NCC 3.12)	-	NA
Alpine Area (900m above AHD)	-	NA
BAL Rating (AS3959)	-	TBC
Heritage Building	-	NO
Flood Prone Area	-	NO
Coastal Ingress Area	-	NO
Coastal Erosion Area	-	NO
Corrosion Environment	-	Moderate

OTHER CONSULTANTS

Structural Engineer	-	T.B.C
Geological Report (Soil)	-	T.B.C
Energy Assessment	-	T.B.C
Waste Water Report	-	NA
Bushfire Assessment	-	TBC
Natural Value Assessment	-	TBC
Civil Engineer	-	NA
Mechanical Engineer	-	NA
Electrical Engineer	-	NA
Site Survey	-	SURVEY PLUS
Hydrologist Report	-	NA
Contaminated Site Survey	-	NA

AREA SCHEDULE *(All measurements in m2)*

Site Plan	-	767 m2
Existing Residence	-	118.38m2
Residence (Ground Floor)	-	NA
Residence (First Floor)	-	NA
Alfresco Area	-	NA
Verandah Area	-	NA
Porch (Laundry)	-	NA
Detached Office / Study	-	NA
Garage	-	NA
Decking Area	-	52.53m2
Balcony (existing)	-	NA
Residential Shed / Outbuilding	-	81.62m2

Drawing Schedule:	
Sheet number	Sheet name
01	COVER PAGE
02	SITE PLAN-EXISTING
03	SITE PLAN-PROPOSED
04	SITE DRAINAGE PLAN
05	EXISTING FLOOR PLANS
06	PROPOSED FLOOR PLANS
07	EXISTING ELEVATIONS
08	PROPOSED ELEVATIONS
09	PROPOSED SHED-PLAN & ELEVATIONS
10	SHADOW DIAGRAMS

Retrospective Additions

39 Poplar Road
Risdon Vale TAS 7016



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No. 456943879
CONTACT: nick@islandlifedesigners.com

General Notes
The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the building designer.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings.
All boundaries and contours subject to survey

notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0
Contour survey/ Sewer main location	1

stage	
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

SITE:
**39 Poplar Road
Risdon Vale TAS 7016**

DRAWING TITLE:
Cover Page

REVISION NO. 1

DRAWING NO 01

SCALE: As noted on A3 paper size


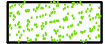
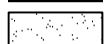
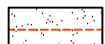


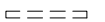

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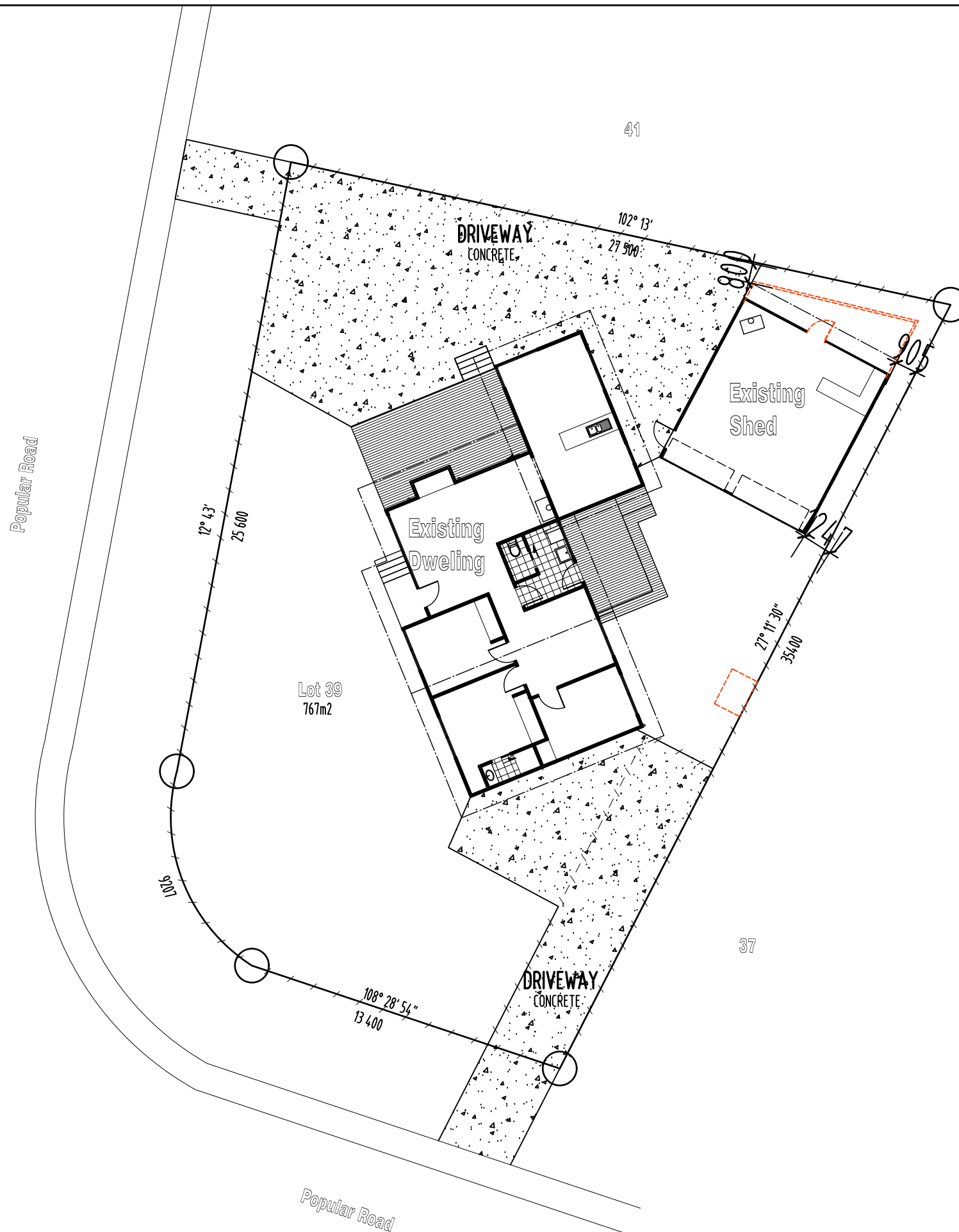
CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025



-  CONCRETE
-  PRIVATE OPEN SPACE - P.O.S.
-  EXISTING
-  DEMOLISH
-  PROPOSED
-  EXISTING FENCE
-  PRIVACY SCREENING
-  RETAINING WALL



 **Site Plan-Existing**
Scale 1:200 @A3



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stage	status
sketch design	<input type="checkbox"/>
design development	<input type="checkbox"/>
contract documentation	<input type="checkbox"/>
DA	<input type="checkbox"/>
BA	<input type="checkbox"/>
construction drawings	<input type="checkbox"/>

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

SITE:
**39 Poplar Road
Risdon Vale TAS 7016**

DRAWING TITLE:
Existing Site Plan

REVISION NO. 1

DRAWING NO 02

SCALE: As noted on A3 paper size

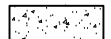
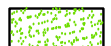

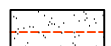

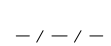
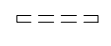
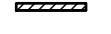
DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025



-  CONCRETE
-  PRIVATE OPEN SPACE - P.O.S.
-  EXISTING
-  DEMOLISH
-  PROPOSED
-  EXISTING FENCE
-  PRIVACY SCREENING
-  RETAINING WALL

UNDERGROUND SERVICE NOTE:

Sewer Main - 150Ø CD - Located with Tractor Cam and Lot Connection Viewed by Tractor Cam.

BENCH MARK
R/Set In Kerb
RL:42.04

1200mm high glass pool barrier

BENCH MARK
R/Set In Kerb#
RL:42.09

41

102° 13'

27 500

Sewer Manhole
Top RL:42.18
Out Inv RL:40.62

Sewer Lot Connection @ Main
NSE RL:42.25
Inv RL:40.44

Proposed Pool

Modified Dwelling

Modified Shed

existing P.O.S
24m²

Lot 39
767m²

Sewer Manhole
Top RL:42.20
In Inv RL:39.34
In Inv RL:39.52
Out Inv RL:39.27

Proposed Shed

DRIVEWAY
CONCRETE

37

BENCH MARK
R/Set In Kerb
RL:42.44

Sewer line details provided by Survey Plus
Project/ drawing No:SP252100-01
Revision: B
Date: 16.11.2025







 **Site Plan-Proposed**
Scale 1:200 @A3



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No: 456943079
CONTACT: nick@islandlifedesigners.com

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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0
Contour survey/ Sewer main location	1

stage	description
	sketch design
	design development
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

SITE:
39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE:
Proposed Site Plan

REVISION NO. 1

DRAWING NO 03

SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025



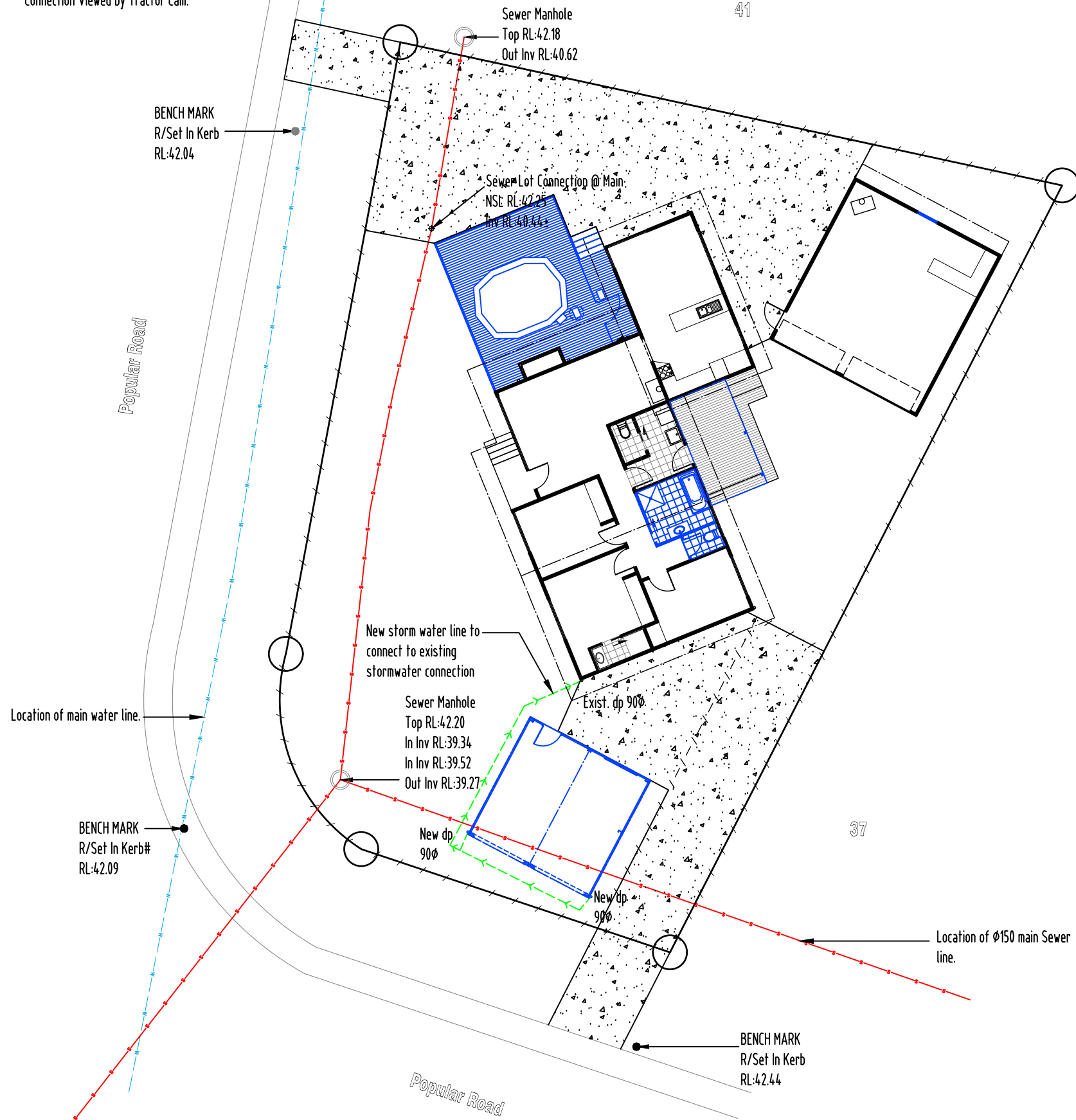
NEW PIPEWORK	
SEWER DN100 uPVC	
SUB SOIL DRAINAGE Ø90	
STORMWATER DN100 uPVC	
COLD WATER DN20	

SYMBOLS	
INSPECTION OPENING	
FLOOR WASTE GULLY	
OVERFLOW RELIEF GULLY	
ISOLATION VALVE IN BOX	
DROPPER/ RISER	
WATER TAP	

ABBREVIATIONS	
V	VENT PIPE
ID	INSPECTION OPENING
FWG	FLOOR WASTE GULLY
IOS	INSPECTION OPENING SHAFT
ORG	ORVERFLOW RELIEF GULLY
IV	ISOLATION VALVE IN BOX
D/R	DROPPER/ RISER
Bth	BATH
Shr	SHOWER
B	BASIN
S	SINK
Tr	TROUGH
WC	WATER CLOSET
FWG	FLOOR WASTE GULLY
HWC	HOT WATER CYLINDER
IV	ISOLATION VALVE
PLV	PRESSURE LIMITING VALVE
CWM	COLD WATER METER
GD	GRATED DRAIN
GP	GRATED PIT
RP	ROD POINT
IS	INSPECTION SHAFT

UNDERGROUND SERVICE NOTE:

Sewer Main - 150Ø CO - Located with Tractor Cam and Lot Connection Viewed by Tractor Cam.



NOTE:
 ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:
 - N.C.C., AS3500.2 & AS3500.3
 - WATER SERVICES ASSOCIATION OF AUSTRALIA CODES (WSAA)
 - LOCAL COUNCIL REQUIREMENTS
 - TASWATER TECHNICAL STANDARDS
 - ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS
 REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

Sewer line details provided by Survey Plus
 Project/ drawing No:SP252100-01
 Revision: B
 Date: 16.11.2025

Site Drainage Plan
 Scale 1:200 @A3

notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0
Contour survey/ Sewer main location	1

stage
<input type="checkbox"/> sketch design
<input type="checkbox"/> design development
<input type="checkbox"/> contract documentation
<input type="checkbox"/> DA
<input type="checkbox"/> BA
<input type="checkbox"/> construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
 Trent Laird

39 Poplar Road
 Risdon Vale TAS 7016

DRAWING TITLE:
 Site Drainage Plan

REVISION NO. 1

DRAWING NO 04

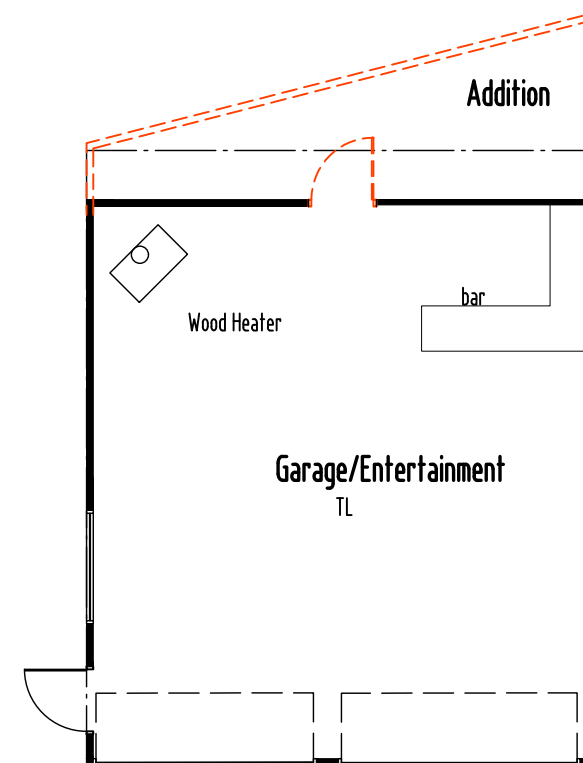
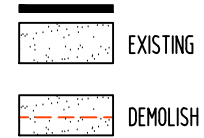
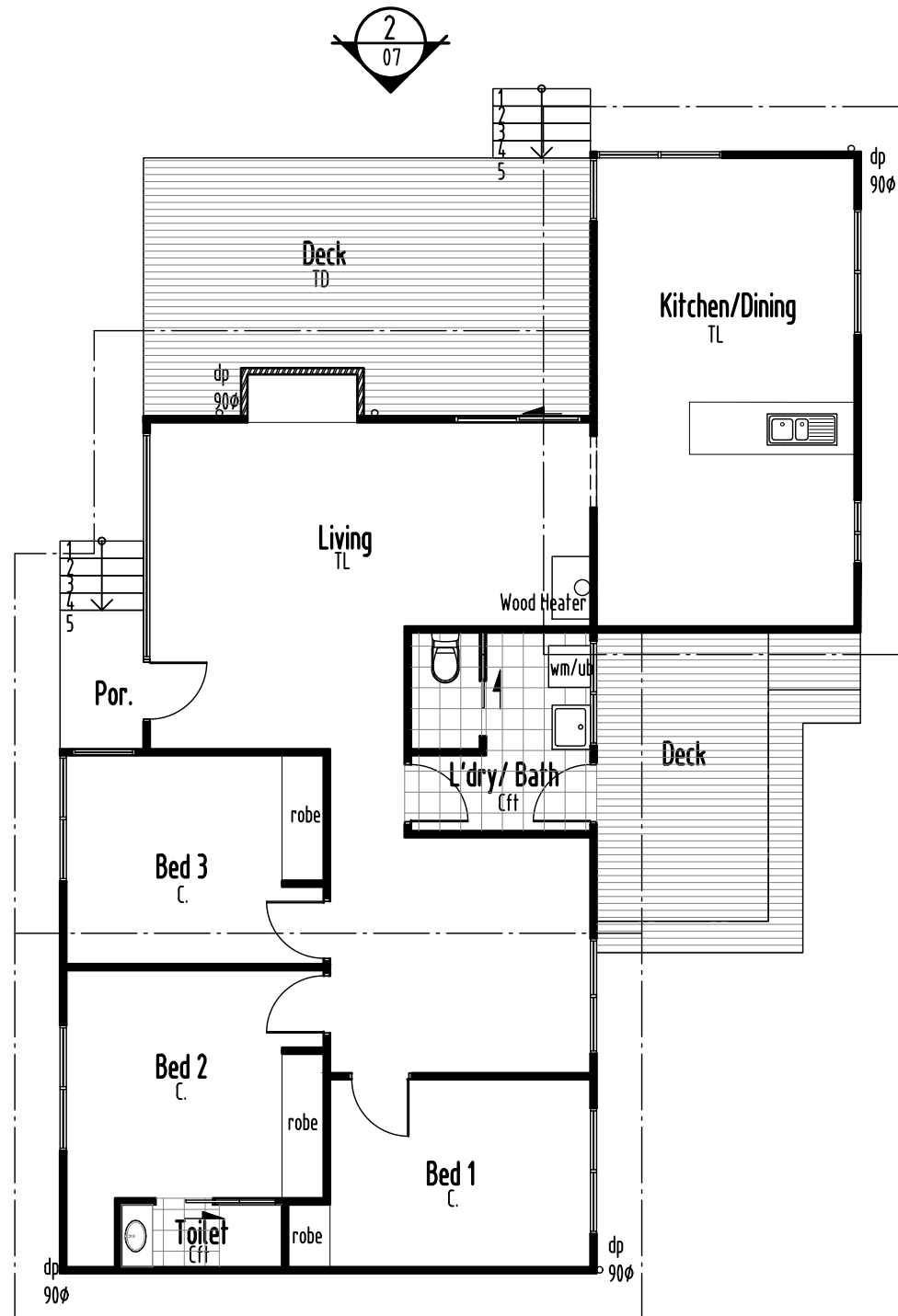
SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025



First Floor Areas:

Living:	115.98m ²
Living deck:	22.63m ²
Rear deck:	14.70m ²
Pool deck/ raised platform:	89.00m ²
spa deck:	20.00m ²
Total Floor Area:	262.31m²

Existing Floor Plan
scale: 1:100 @A3

Existing Floor Plan-Shed
scale: 1:100 @A3



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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ kitchen	0

stage	description
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE:
Floor Plans -Existing

REVISION NO. 0

DRAWING NO 05

SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

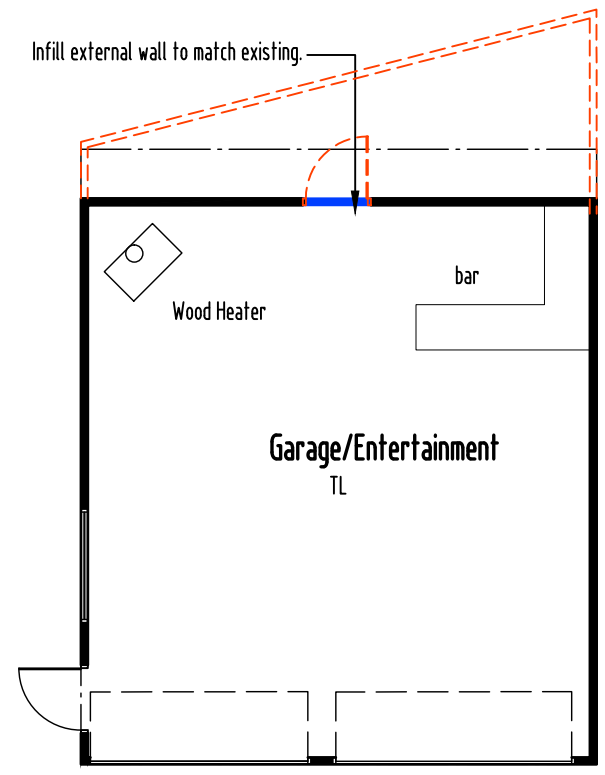
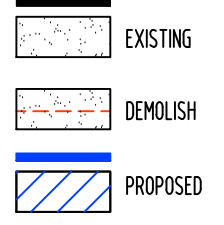
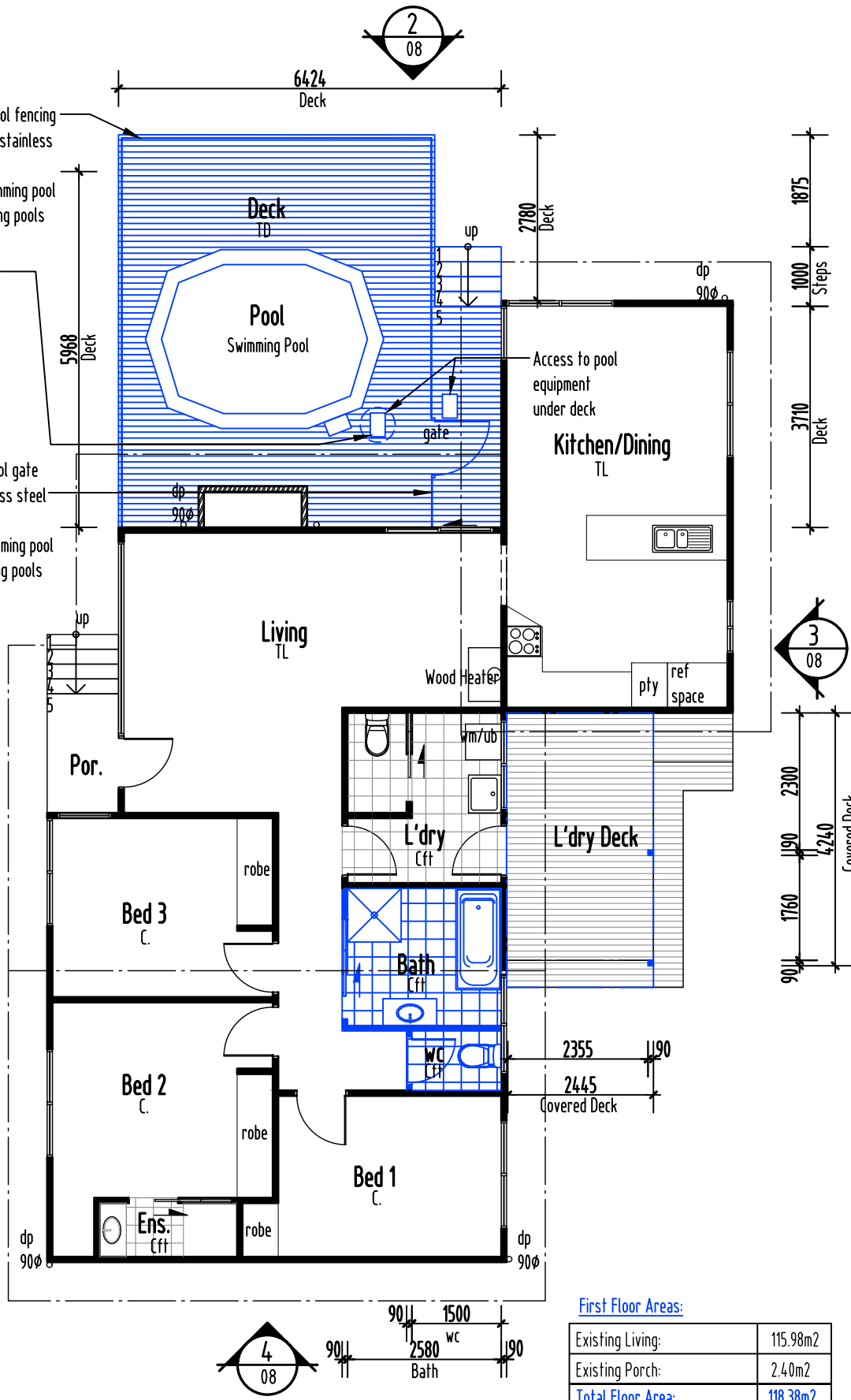
PROJECT NO. 25-008

Plot Date: 22.12.2025

1200mm high selected. glass panel pool fencing panels (safety barriers), mounted on stainless steel spigots.
Installed as per AS1926.1 - 2012 Swimming pool safety - Safety barriers for swimming pools

Pool pump: PE 75 economy pool pump
Serial No: PE75111714301
Pool filter: Filtrite Hurlcon MF21
SAND FILTER MEDIA FILTER
Serial No: MF21081830739

1200mm high selected. glass panel pool gate (safety barriers), mounted on stainless steel spigots.
Installed as per AS1926.1 - 2012 Swimming pool safety - Safety barriers for swimming pools



First Floor Areas:

Existing Living:	115.98m ²
Existing Porch:	2.40m ²
Total Floor Area:	118.38m²

Excludes Pool deck 37.83m²/ L'dry deck 14.70m²

Pool Energy Efficiency :
TAS Part H6 Energy efficiency to comply with BCA 2019 Amendment 1 Part 2.6.

Modified Floor Plan-Dwelling
scale: 1:100 @A3

Modified Floor Plan-Shed
scale: 1:100 @A3



ISLAND LIFE DESIGNERS
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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0

stage	description
	sketch design
	design development
	contract documentation
	DA
	BA
	construction drawings

PROJECT NAME :
Retrospective Additions

CLIENT :
Trent Laird

39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE :
Floor Plans-Proposed

REVISION NO. 0

DRAWING NO 06

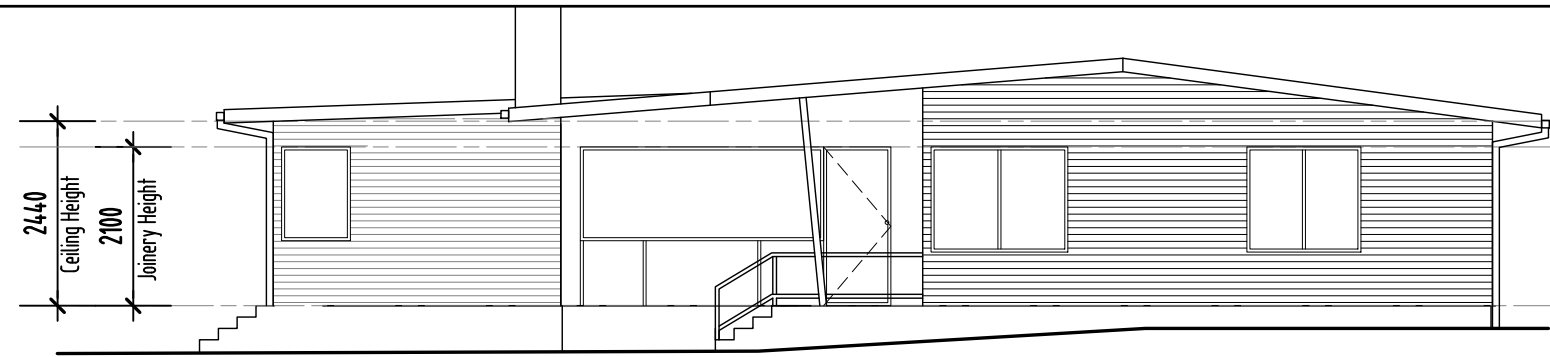
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DRAWN BY : M.S.

CHECKED BY : Nicholas Young

PROJECT NO. 25-008

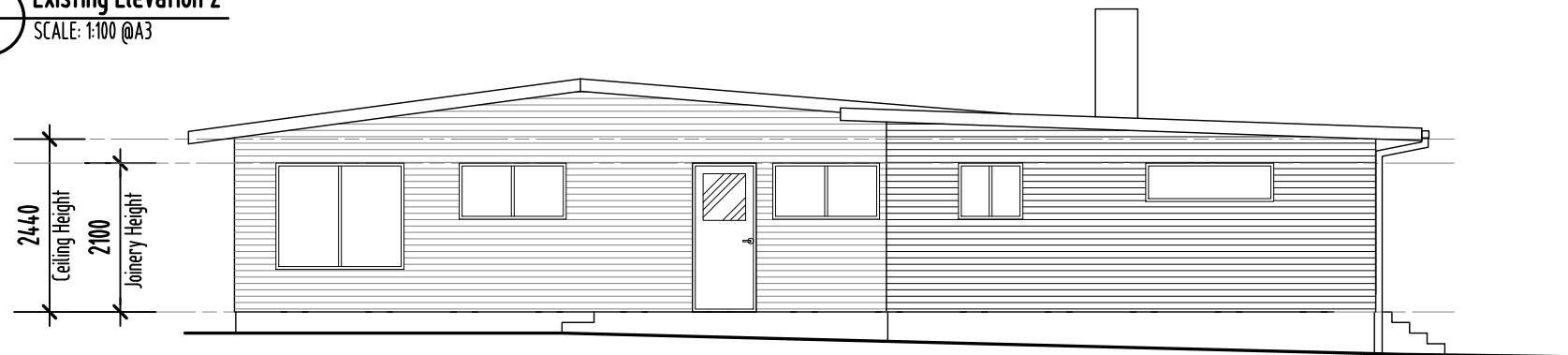
Plot Date: 22.12.2025



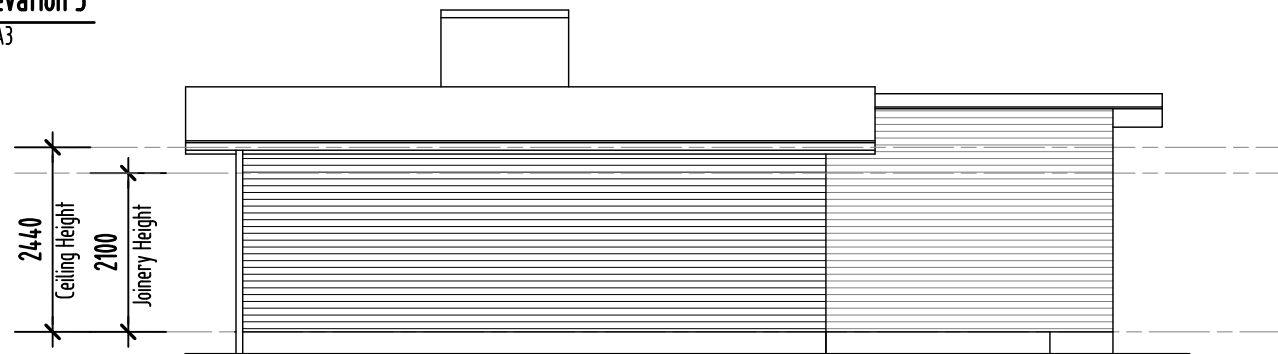
Existing Elevation 1
SCALE: 1:100 @A3



Existing Elevation 2
SCALE: 1:100 @A3



Existing Elevation 3
SCALE: 1:100 @A3



Existing Elevation 4
SCALE: 1:100 @A3



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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0

stage	description
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE:
Existing Elevations

REVISION NO. 0

DRAWING NO 07

SCALE: As noted on A3 paper size

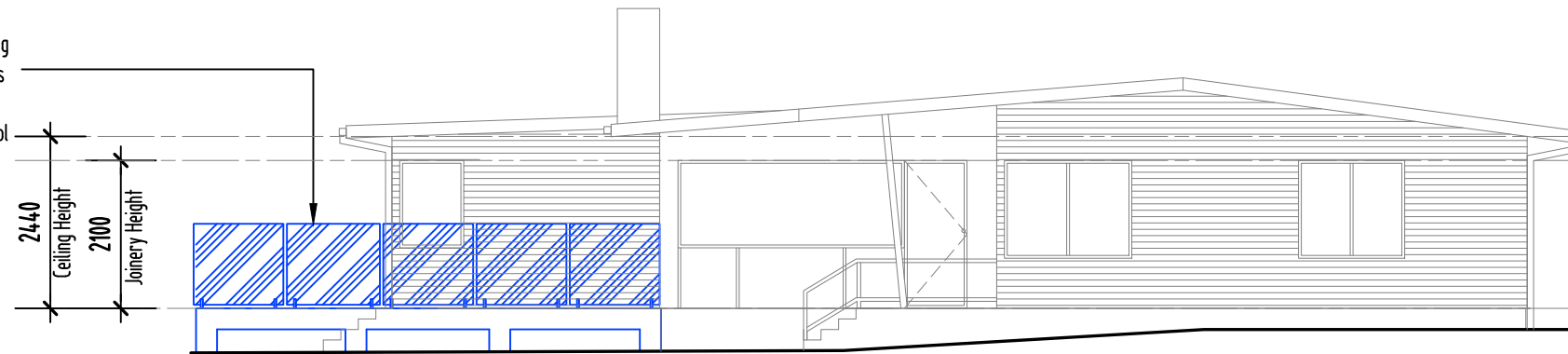
DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025

1200mm high selected. glass panel pool fencing panels (safety barriers), mounted on stainless steel spigots.
 Installed as per AS1926.1 - 2012 Swimming pool safety - Safety barriers for swimming pools



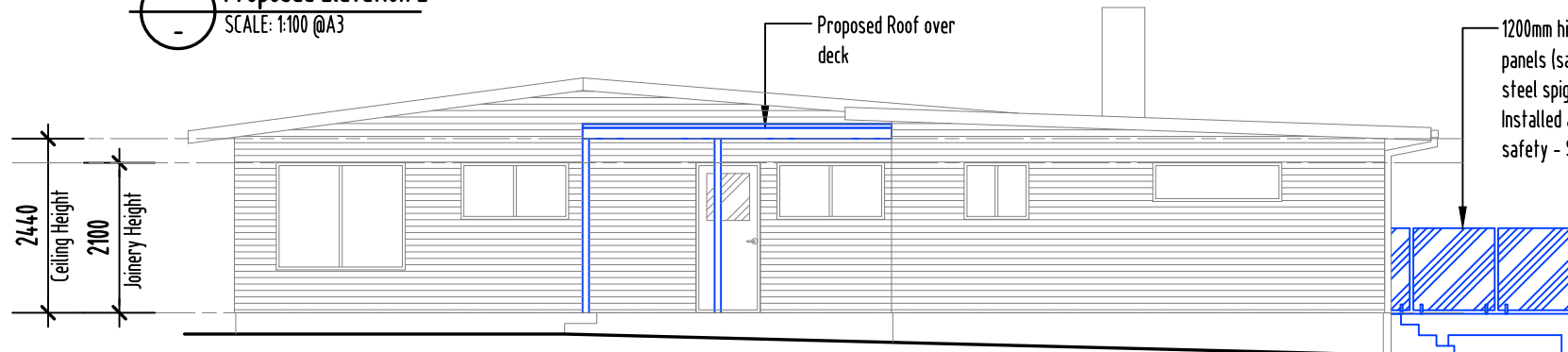
Proposed Elevation 1
 SCALE: 1:100 @A3

1200mm high selected. glass panel pool fencing panels (safety barriers), mounted on stainless steel spigots.
 Installed as per AS1926.1 - 2012 Swimming pool safety - Safety barriers for swimming pools



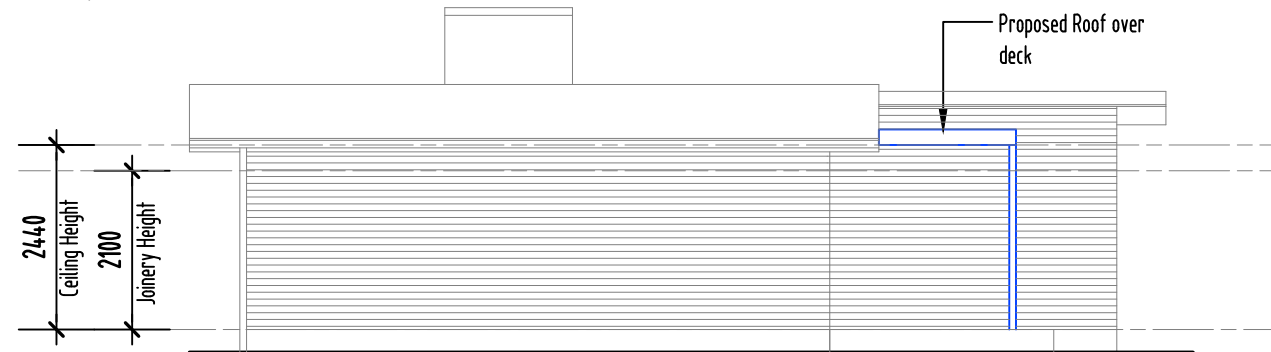
Proposed Elevation 2
 SCALE: 1:100 @A3

1200mm high selected. glass panel pool fencing panels (safety barriers), mounted on stainless steel spigots.
 Installed as per AS1926.1 - 2012 Swimming pool safety - Safety barriers for swimming pools



Proposed Elevation 3
 SCALE: 1:100 @A3

Proposed Roof over deck



Proposed Elevation 4
 SCALE: 1:100 @A3



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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0

stage	description
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

39 Poplar Road
 Risdon Vale TAS 7016

DRAWING TITLE:
Proposed Elevations

REVISION NO. 0

DRAWING NO 08

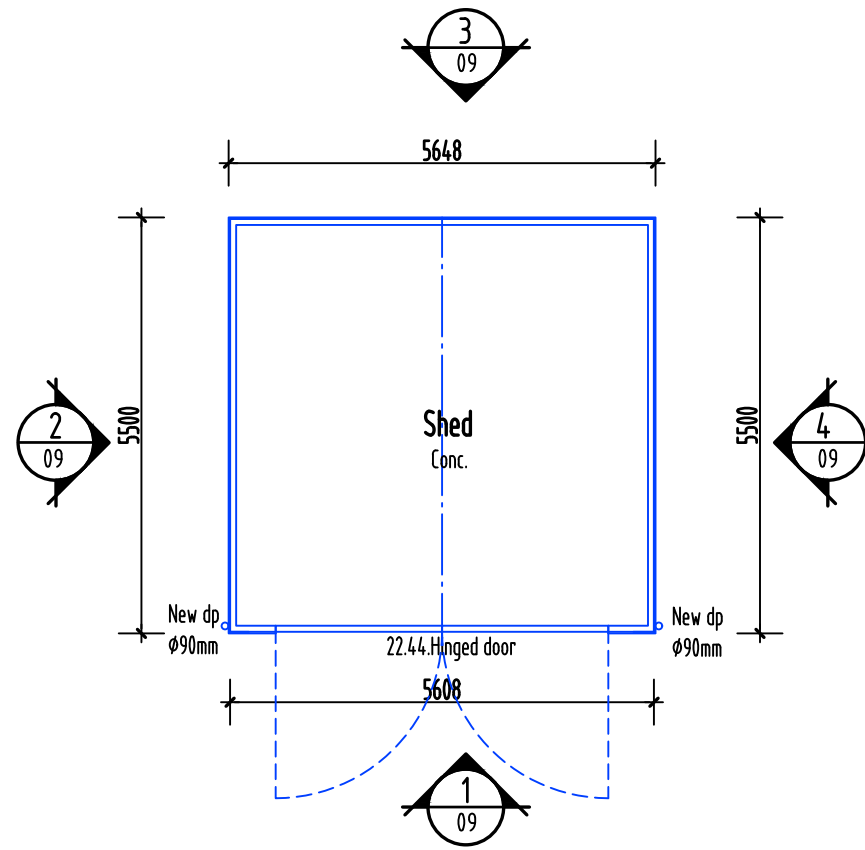
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DRAWN BY: M.S.

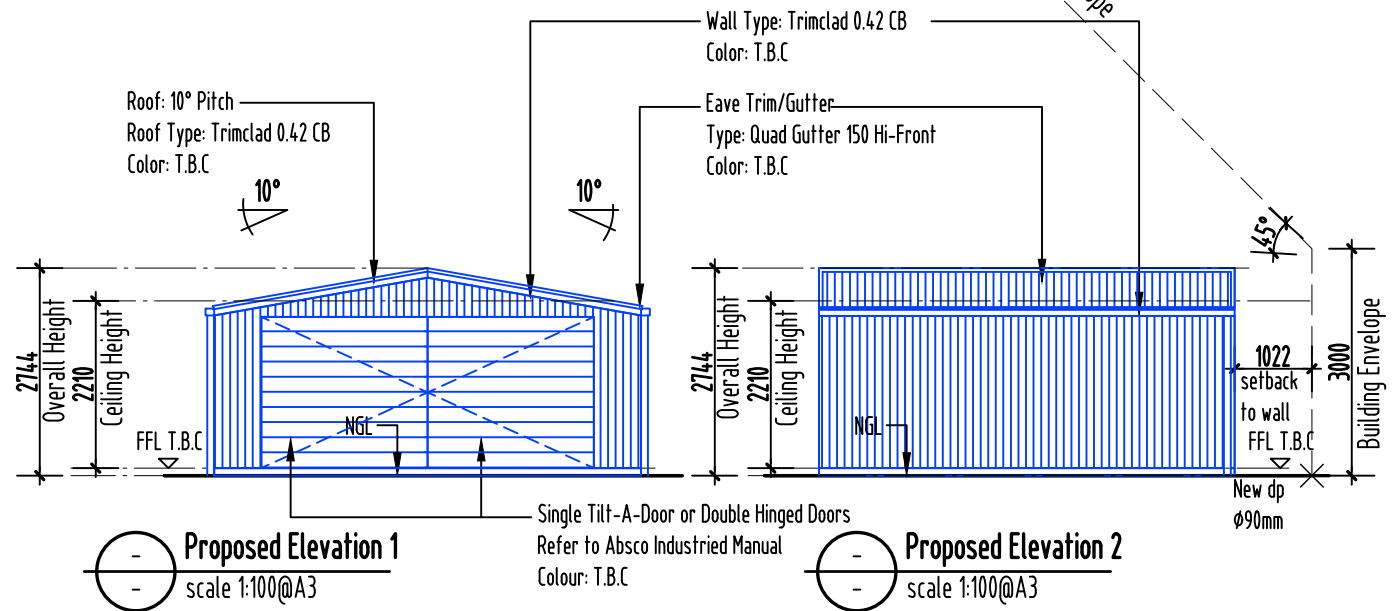
CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025

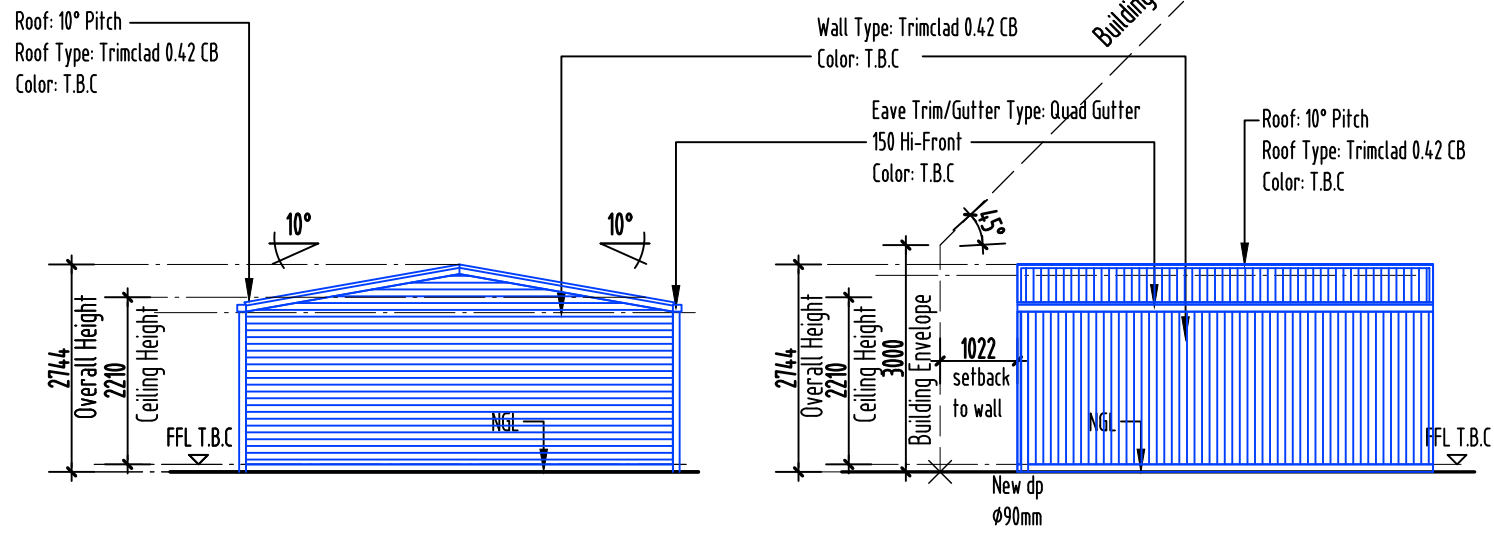


Proposed Floor Plan-Shed
scale 1:100@A3



Proposed Elevation 1
scale 1:100@A3

Proposed Elevation 2
scale 1:100@A3



Proposed Elevation 3
scale 1:100@A3

Proposed Elevation 4
scale 1:100@A3



ISLAND LIFE DESIGNERS
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notes	revision	stage
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0	sketch design
		design development
		contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE:
Proposed Shed-Plan & Elevations

REVISION NO. 0

DRAWING NO 09

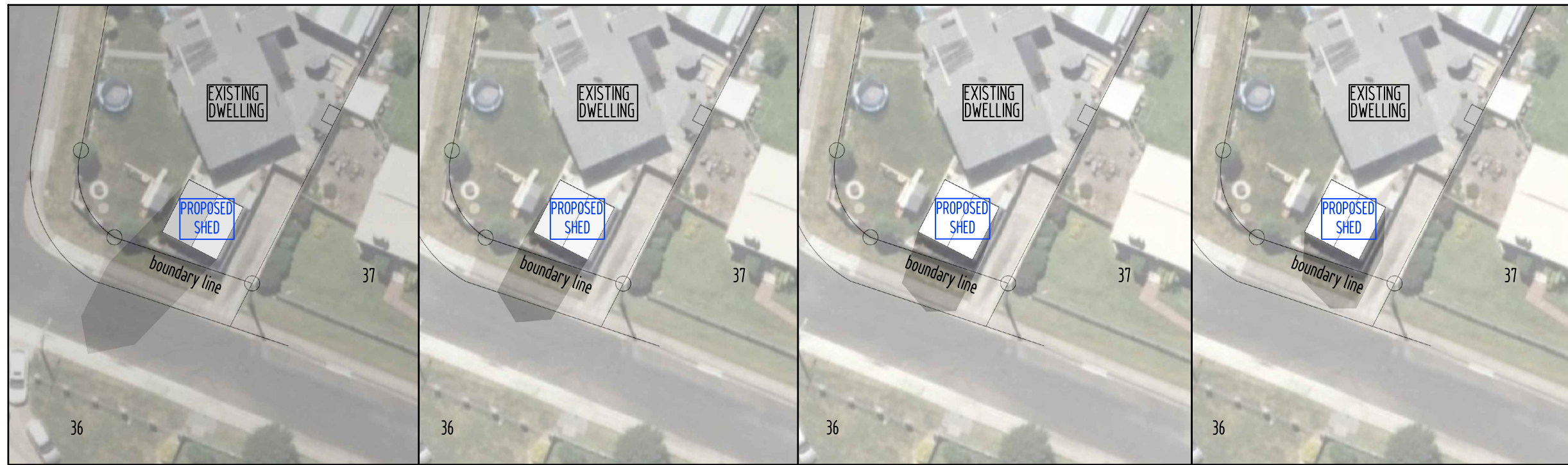
SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025

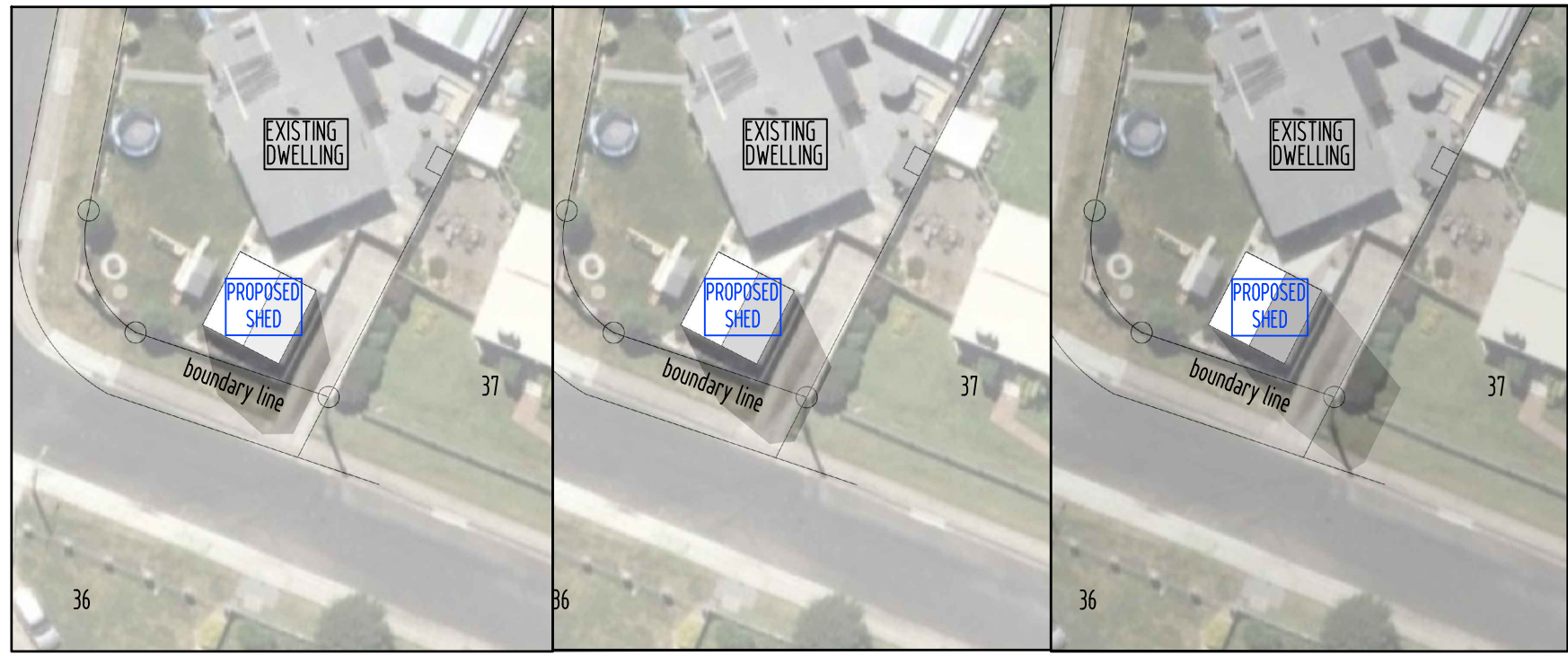


☉ SUN SHADOW DIAGRAM 21st JUNE-9am
☉ SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-10am
☉ SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-11am
☉ SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-12am
☉ SCALE NTS



☉ SUN SHADOW DIAGRAM 21st JUNE-1pm
☉ SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-2pm
☉ SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-3pm
☉ SCALE NTS



ISLAND LIFE DESIGNERS
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notes	revision
Retrospective Additions Shed/ swimming pool/ New Ensuite/ adjustments to internal bathroom/ Laundry/ Kitchen	0

stage	description
<input type="checkbox"/>	sketch design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Retrospective Additions

CLIENT:
Trent Laird

39 Poplar Road
Risdon Vale TAS 7016

DRAWING TITLE:
Shadow Diagrams

REVISION NO. 0

DRAWING NO 10

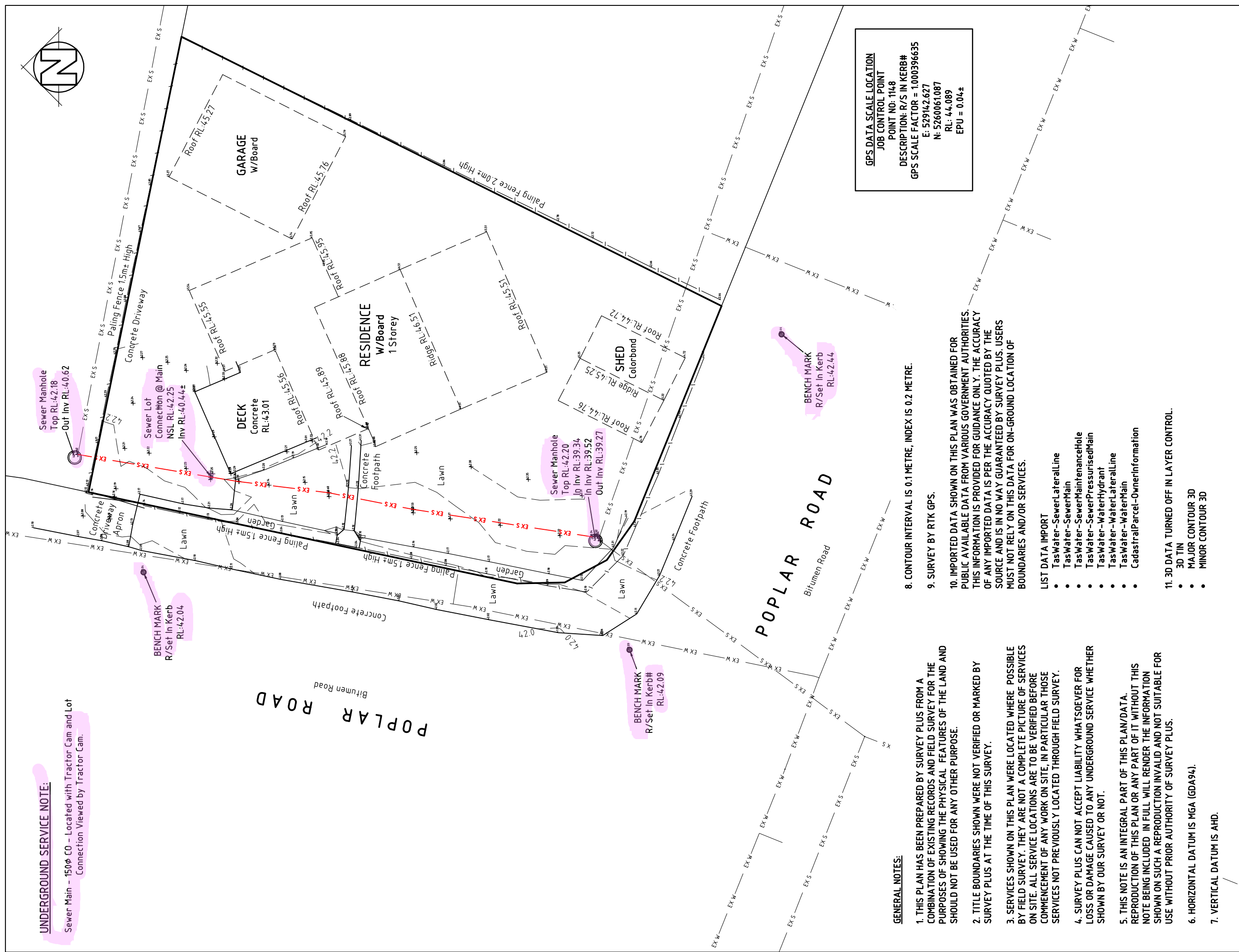
SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-008

Plot Date: 22.12.2025



Address: 8 Amy Street, Moonah, Tasmania, 7009
Phone: 6273 9831
Fax: 6273 8316
Email: admin@surveyplustas.com.au
Mai: PO Box 299, Moonah, Tas, 7009

SURVEY PLUS

Project: DETAIL, CONTOUR & FEATURE SURVEY
 39 POPLAR ROAD, RISDON VALE

Drawing: SITE PLAN
 C.T. 55990/49

Drafted by: JLD
Approved By: JLD
Date: 16-11-2025
Scale: 1:200@A3
Project/Drawing No: SP252100-01
Revision: B







