



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055271

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 1 Gunning Street, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 06 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 06 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 06 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Minor building works, remedial facade & roof replacements. New covered deck

Location: 1 Gunning Street, Richmond, 7025

Personal Information Removed

Estimated cost of development: \$200,000



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Yes with Rachael Mansfield via. Email

Current use of site:

Single dwelling

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature:

**Personal
Information
Removed**

Date: 01/08/2025

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.





Letter of authorisation

Project name: Minor Building Works

Project description: Remedial works at an existing dwelling, removal of ex. outbuildings

Project address: 1 Gunning Street, Richmond



of 1 Gunning Street, Richmond (Title ref: 225839/1), appoint S. Group to act as lawful agent to apply for any required certificates, permits and documents to make the necessary submissions to the proper authorities as required under the Building Act 2016 for all matters relating to this development.

Telephone number:

Mobile number:

Email address:

0412 249 927

kennygriffin1961@gmail.com

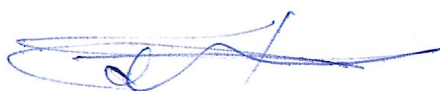
sherylhyland20@gmail.com



Owners Signature

01-08-25

Date



01-08-25

SEARCH OF TORRENS TITLE

VOLUME 225839	FOLIO 1
EDITION 5	DATE OF ISSUE 09-Aug-2025

SEARCH DATE : 25-Aug-2025

SEARCH TIME : 02.58 PM

DESCRIPTION OF LAND

Town of RICHMOND
 Lot 1 on Plan [225839](#)
 Derivation : Part of 1ac 38ps Gtd to J Devitt
 Prior CT [2873/89](#)

SCHEDULE 1

[N271174](#) TRANSFER to KENNETH JOHN GRIFFIN and SHERYL MAY
 HYLAND Registered 09-Aug-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book
Vol. Fol.
2873 89

Cert. of Title Vol 976 Fol. 27

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

T.E. Hutchinson

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF RICHMOND
TWO ROODS TEN PERCHES AND EIGHT TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

RONALD WILLIAM BUTTERWORTH of Richmond, Council Clerk and
CHRISSE DEBORAH BUTTERWORTH his wife

SECOND SCHEDULE (continued overleaf)

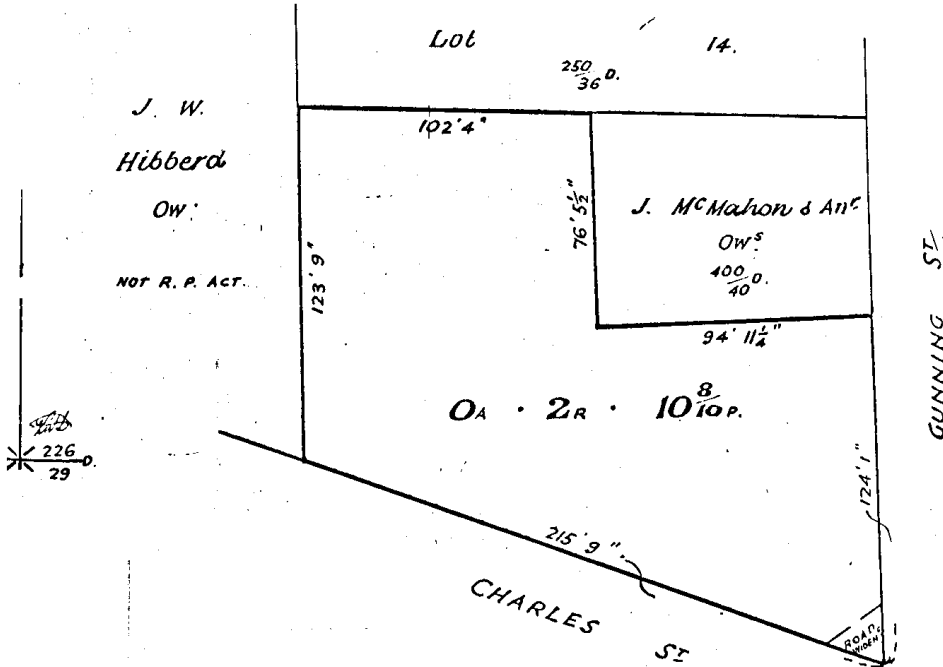
MORTGAGE NO. A265397 to The Commercial Bank of Australia Limited
Registered 18th May, 1967 at 12.2p.m.
(Sgd.) T.E. HUTCHINSON
Recorder of Titles.

Acting Recorder of Titles.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER

225839



part of 1Ac. 38ps. Gtd. to J.Devitt. Meas. are in ft. and ins. 226/29D

FIRST Edition. Registered

Derived from C.T. Vol. 976 Fol. 27 - Transfer A265395 J.W. Hibberd.



1st August 2025.

Re: Regarding a Planning application lodgement for remedial works for an existing dwelling at 1 Gunning Street, Richmond.

This piece of property is zoned *General Residential*, subject to the *Local Historical Heritage Code*, *Safeguarding of Airports Code* and *Parking and Sustainable Transport Code*. It is understood that this type of development is permitted development and this letter outlines and addresses the relevant / performance criteria for this development.

Overview:

Proposed are remedial works to an existing dwelling, demolition to existing outbuildings and the addition of a covered patio to the rear of the dwelling. The proposal is not seen to affect the scale of the existing dwelling or surrounding streetscape. Both the existing and proposed materials, finishes, scale and architectural styles that are associated within Richmond's historical built environment are not present within the property or considered to be affected within the proposal.

C6.7 Development Standards for Local Heritage Precincts and Local Historic Landscape Precincts

C6.7.1 Demolition within a local heritage precinct

Acceptable Solutions – A1

Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings must:

- (a) *not be on a local heritage place;*

Complies, the proposed works are not sited upon a local heritage place.



(b) *not be visible from any road or public open space; and*

Does not comply, the works are visible from surrounding roads and public open space.

(c) *not involve a value, feature or characteristic specifically part of a precinct listed in the relevant Local Provisions Schedule.*

Complies, the proposed works will not alter or diminish the Richmond Township Precinct's capacity to showcase and conserve its local, historical, and cultural heritage. The precinct represents some of the finest examples of early colonial townships in Australia, demonstrated through its collection of well-kept historic buildings and their associations with the colonial penal system, associated construction methods and scale of building.

The proposed remedial works are to be conducted on a single storey timber framed dwelling that is clad in toxic asbestos cement sheeting. This dwelling does not feature any of the characteristics (through materials, style, construction, and contribution to streetscape) that define Richmond's rich historic built environment standards.

Performance Criteria – P1

Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings, must not cause an unacceptable impact on the local historic heritage significance of the local heritage precinct as identified in the relevant Local Provisions Schedule, having regard to:

(a) *the physical condition of the building, works, structure or trees;*

Complies, the proposal looks to remove and replace the existing dwellings cladding, window framing, roof sheeting and flashings. Additionally, the dwellings existing covered entry and conjoined outbuildings are proposed to be demolished. All elements described the proposal are not foreseen to cause any impact towards the surrounding built environment with consideration to the Richmond Local Heritage Precinct's development standards.



(b) *the extent and rate of deterioration of the building, works, structure or trees;*

Complies, as shown in **Figures 1,2 and 3** below the building elements proposed for demolition are in a deteriorated condition and have not been maintained to a suitable standard. Without remedial building works, their continued deteriorating presence is likely to have a greater negative impact on the historical streetscape values.



Figure 1. The dwellings existing asbestos cement sheeting cladding has failed due to both the lack appropriate material type, finish and installation detailing, it is proposed to be removed for a suitable cladding system. Water damage, snapped sheeting, open wall penetrations, smashed cement sheeting and leaky exterior trim work can be seen around the exterior of the dwelling. Additionally, the existing roof sheets display signs of large rust outbreaks around sheeting overlaps and edges.



Figure 2. A small lean-to structure sits underneath the existing eaves at the dwelling's entry; its lack of reinforced structure and waterproofing neglect runs risks of damaging both the main dwelling and occupant. This structure is not believed to be of the original dwelling's construction



Figure 3. The conjoined outbuildings were once used as a shed and carport, both structures are finished with a range of adhoc materials which are currently falling apart. Both structures have fallen into disrepair.



(c) *the safety of the building, works, structure or trees;*

Complies, for specifically the dwelling as described in the C6.7.1 P1(b) above, these elements can pose a serious concern for the structural integrity of the existing dwelling over time. Properly protecting the structural timber studwork, and removal of dangerous structures either attached or not to the existing dwelling is seen as an appropriate move to further the lifespan of the structure.

(d) *the streetscape in which the building, works, structure or trees is located;*

Complies, this proposal does not affect the scale of the existing dwelling and streetscape. Both the existing and proposed materials and construction styles (such as the Colonial Georgian style) that are associated with Richmond's historical built environment are not present within the site. Additionally, the scale of the dwelling is not seen to be negatively affected by the removal of the detached outbuildings and attached lean-to.

(e) *the special or unique contribution that the building, works, structure or trees makes to the streetscape or townscape values of the local heritage precinct identified in the relevant Local Provisions Schedule;*

Complies, the entire structure cannot be seen to contribute in a special or unique way to the towns existing streetscape. Two elements that may hold a unique value to the streetscape have been maintained. These elements are proposed to be kept as-is as to maintain any potential contribution to the cultural and historical values of the streetscape, these elements are the corner verandah and converted shopfront façade.

(f) *any options to reduce or mitigate deterioration;*

Complies, the elements proposed for demolition are not considered to demonstrate any particular style, construction method, period, or material that would contribute to the Richmond Local Heritage Precinct's development standards. In addition, as the existing cladding contains toxic materials, it would be inappropriate to attempt retention or deterioration management solely for the sake of preservation.



- (g) *whether demolition is a reasonable option to secure the long-term future of a building, works or structure; and*

Complies, the removal and demolition of the building elements described in the proposal and this letter are appropriate steps to take when considering extending the life of the existing dwelling.

- (h) *any economic considerations.*

Does not relate.

C6.7.3 Building and works, excluding demolition

Acceptable Solutions – A1

Within a local heritage precinct or local historic landscape precinct, building and works, excluding demolition, must:

- (a) *not be on a local heritage place;*

Complies, the proposed works are not sited upon a local heritage place.

- (b) *not be visible from any road or public open space; and*

Does not comply, the works are visible from surrounding roads

- (c) *not involve a value, feature or characteristic specifically part of a local heritage precinct or local historic landscape precinct listed in the relevant Local Provisions Schedule.*

Complies, the proposed works do not seek to diminish the values, features and characteristics described within the Richmond Township Precinct's development standards. All cladding systems and materials have been selected to avoid any chance of misunderstanding with that of the surrounding built environment.



Performance Criteria – P1.1

Within a local heritage precinct, design and siting of buildings and works, excluding demolition, must be compatible with the local heritage precinct, except if a local heritage place of an architectural style different from that characterising the precinct, having regard to:

(a) *the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule;*

Complies, there are no materials existing or present that could be considered to be of any historic heritage value to the Richmond Township Precinct development standards schedule.

(c) *the character and appearance of the surrounding area;*

Complies, the exterior materials have been selected with consideration to the existing construction style and building elements that exist with the surrounding area. The selection of Linea weatherboard and painted roof sheeting was considered with the precedent of 2, 4 & 5 Gunning Street in mind. These dwellings are similar timber framed dwellings that feature similar weatherboard cladding and coloured roof sheeting to that which is proposed.

(d) *the height and bulk of other buildings in the surrounding area;*

Complies, there is considered to be a reduction and bulk on the property with the removal of the existing lean-to and outbuildings.

(e) *the setbacks of other buildings in the surrounding area; and*

Complies, there is no change to existing setbacks

(f) *any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.*

Complies, the relevant design criteria in regard to scale, material type and streetscape has been addressed through the consideration of alike properties within the surrounding area. As there has been little to no change to the siting or scaling of the dwelling (except for a low-lying covered patio), there are no foreseen changes to important views.



Performance Criteria – P1.2

Within a local heritage precinct, extensions to existing buildings must be compatible with the local heritage precinct, having regard to:

- (a) *the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule;*

Complies, the proposed patio extension does not seek to replicate or mimic the significant existing built environment that is specified within the Richmond Township Precinct Schedule.

- (b) *the character and appearance of the surrounding area;*

Complies, the character and appearance of the covered patio is taken from surrounding precedent. The simple post and beam structure of the pergola's currently sited within the 1 and 3 Gunning Street residences were used as precedent for the proposed covered patio within the scheme.

- (c) *the height and bulk of other buildings in the surrounding area;*

Complies, as the construction type and height is similar to the aforementioned properties within the surrounding area.

- (d) *the setbacks of other buildings in the surrounding area; and*

Complies.

- (e) *any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.*

Complies.



Performance Criteria – P1.3

Within a local historic landscape precinct, design and siting of buildings and works, excluding demolition, must be compatible with the local historic landscape precinct, having regard to:

- (a) *the landscape values identified in the statement of local historic heritage significance for the local historic landscape precinct, as identified in the relevant Local Provisions Schedule; and*

Complies, the property is not sited within a local historic landscape precinct.

- (b) *any relevant design criteria or conservation policies for the local historic landscape precinct, as identified in the relevant Local Provisions Schedule.*

Complies, the property is not sited within a local historic landscape precinct.

Acceptable Solutions – A2

Within a local heritage precinct, new front fences and gates must be designed and constructed to match the existing original fences on the site.

Complies, the proposal does not feature any modifications or additions to the existing fencing on the property.

I trust that contents of this letter and the attached documentation have satisfactorily addressed the planning requirements for the proposal at 1 Gunning Street, Richmond. If there are any further questions or queries on the above, please do not hesitate to contact S. Group directly.

Yours Sincerely, Jarrod Cunningham.

Minor building works 1 GUNNING STREET, RICHMOND

DRAWING SCHEDULE:

Sheet No:	Drawing:	Rev:	Revision Date:
A001	Cover	A	1/8/2025
A101	Site Plan	A	1/8/2025
A201	Existing & Demolition Plan	A	1/8/2025
A202	Proposed Floor Plan	A	1/8/2025
A203	Ex/Demo Roof Plan	A	1/8/2025
A204	Roof Plan	A	1/8/2025
A301	Ex/Demo Elevation Sheet 1	A	1/8/2025
A302	Ex/Demo Elevation Sheet 2	A	1/8/2025
A303	Proposed Elevation Sheet 1	A	1/8/2025
A304	Proposed Elevation Sheet 2	A	1/8/2025
A501	Section Sheet 1	A	1/8/2025

GENERAL INFORMATION:

Accredited Architect:	Sam Haberle	
Accreditation Number:	CC5618 U	
Land Title Reference Number:	C.T. 225839/1	(Certificate volume and folio)
Soil classification:	(Refer Eng.)	Site classification to AS 2870-2011 (Reference report author)
Wind Classification:	tbc	Site classification to AS 4055-2006 (Reference report author)
Climate Zone:	7	(www.abcb.gov.au map)
Alpine Area:	N/A	<300m AHD (NCC section H7D3)
Bushfire-prone Area BAL Rating:	N/A	As determined by registered Bushfire Assessor
Corrosion environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC section H1D6 Framing. Cladding and fixings to manufacturer's recommendations
Other Known site hazards:	N/A	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors
Planning code overlays :	Local Historical Heritage Code, Safeguarding of Airports Code, Parking & Sustainable Transport Code	
Site Area:	2297m²	
Total Floor Area:	232m²	
Total Deck Area:	16.65m²	
Total Carport Area:	21.6m²	

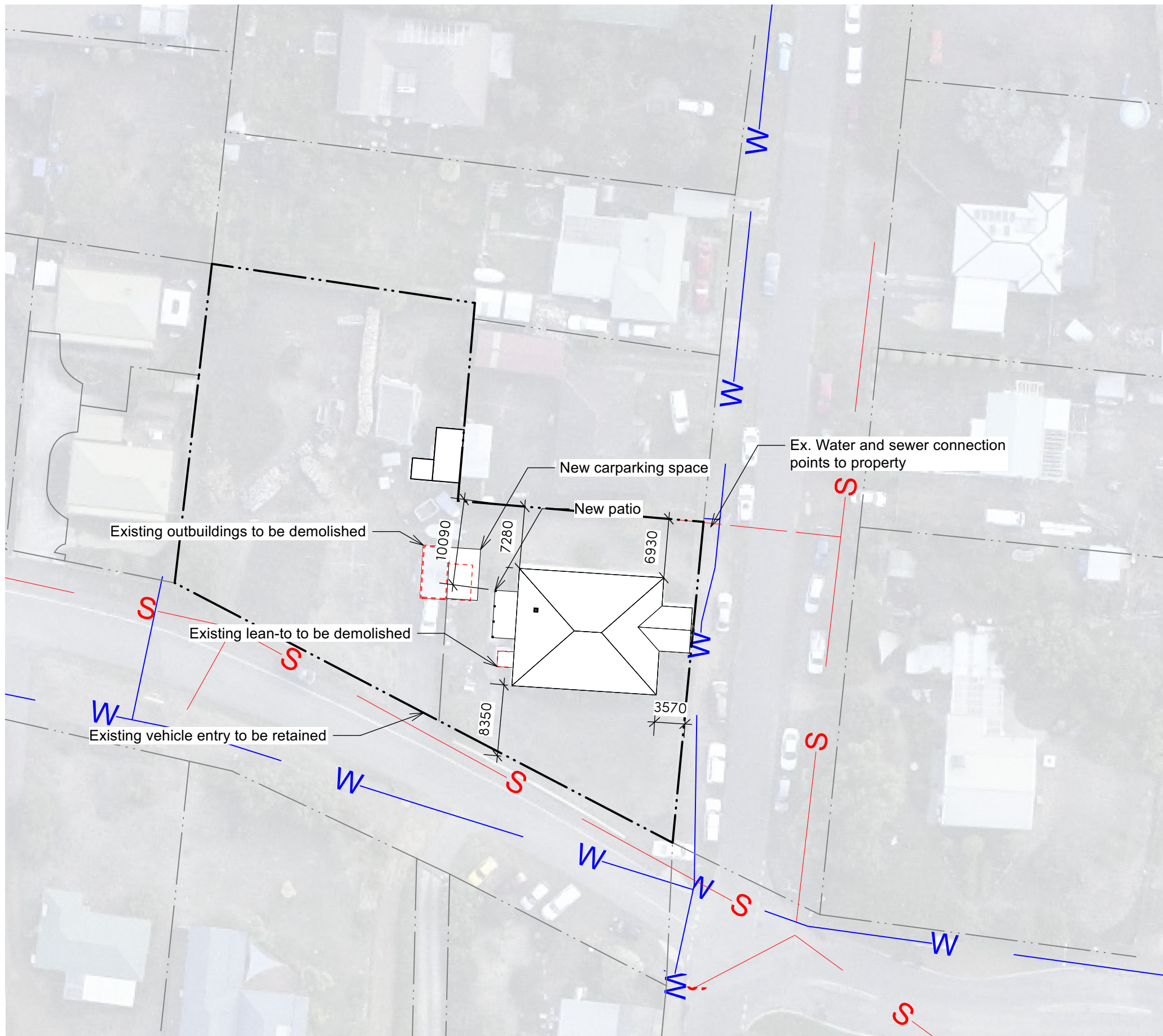


S. Group
 73-75 St John St, Launceston.
 6/100 Elizabeth St, Hobart
 PO Box 1271, Launceston TAS 7250
 p 03 6311 1403 e info@sgroup.com.au
 abn 33 625 566 618 sgroup.com.au

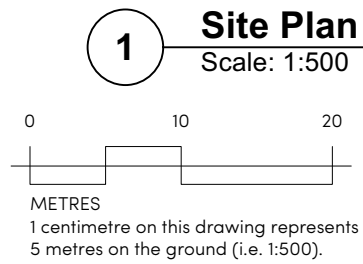
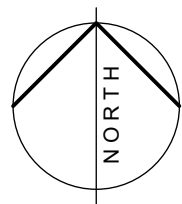


REVISION A	DATE	DESCRIPTION	DA
	1/8/2025		

ADDRESS	1 Gunning Street, Richmond	do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS	ISSUE Planning
CLIENT	Griffen	SCALE @ ISO A3	DWG # A001-A
DWG	Cover	DRAWN	PROJECT# J009393
		CHKD	



WARNING
 BEWARE OF UNDERGROUND SERVICES. LOCATE ALL EXISTING SERVICES PRIOR TO CONSTRUCTION. THE LOCATION SHOWN ON PLANS ARE INDICATIVE ONLY AND PRECISE LOCATION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN ON PLAN.



create.wonder.

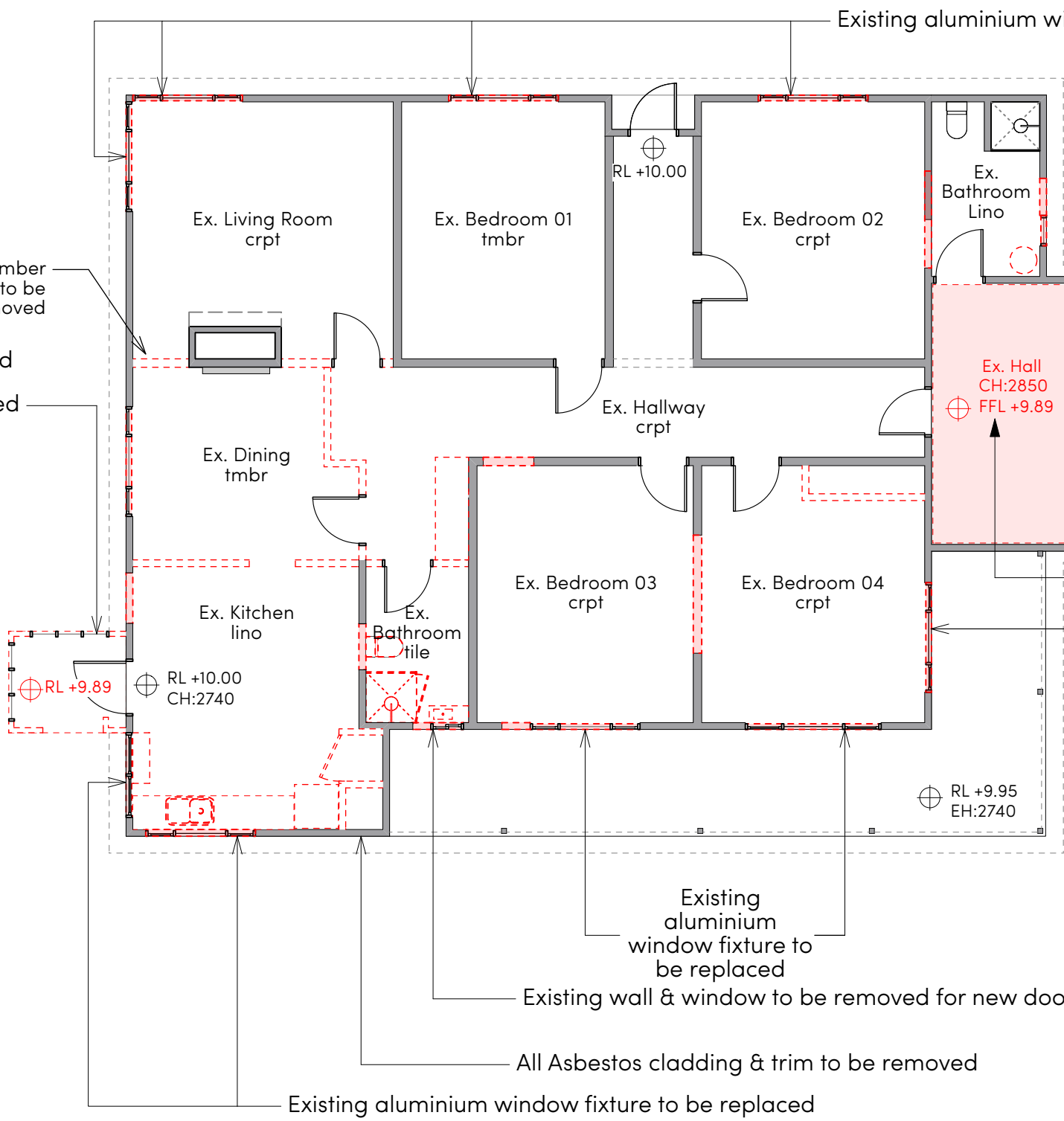
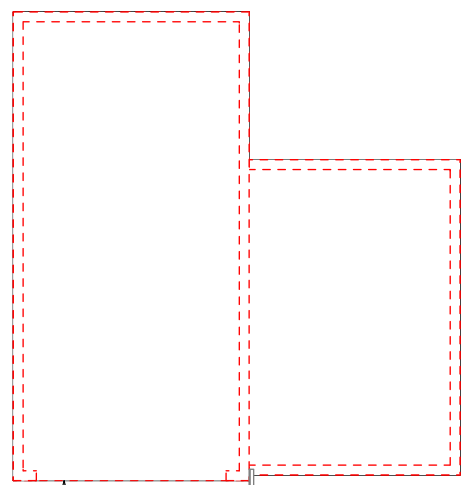
S. Group
 73-75 St John St, Launceston.
 6/100 Elizabeth St, Hobart
 PO Box 1271, Launceston TAS 7250
 p 03 6311 1403 e info@sgroup.com.au
 abn 33 625 566 618 sgroup.com.au



REVISION A	DATE 1/8/2025	DESCRIPTION DA	
ADDRESS	1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT	Griffin		ISSUE Planning
DWG	Site Plan		DWG # A101-A
CHKD			PROJECT# J009393

S. Group 73 - 75 St John st, Launceston | 6/100 Elizabeth st, Hobart | 552 Victoria st, North Melbourne, Melbourne
 © Copyright 2023 T: 03 63 111 403 E: info@sgroup.com.au sgroup.com.au

MARK	DESCRIPTION
	EXISTING WALLS TO BE RETAINED.
	EXISTING WALLS TO BE DEMOLISHED.



DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 15 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

ASBESTOS NOTES

IMPORTANT:

IDENTIFY ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM'S) AT THE SITE.

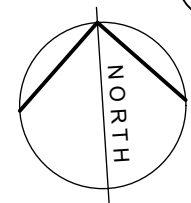
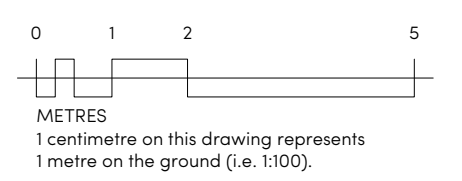
IF IN PLACE, REFER TO THE ASBESTOS REGISTER FOR DETAILS.

IF NOT IN PLACE, A THOROUGH INSPECTION IS TO BE UNDERTAKEN BY A SUITABLY 'COMPETENT' PERSON & RECORDED IN DETAIL IN AN ASBESTOS REGISTER.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY QUALIFIED PERSONNEL ONLY IN ACCORDANCE WITH RELEVANT STANDARDS / CODES OF PRACTICE (PREFERABLY 'CLASS A' ASBESTOS REMOVAL LICENCE HOLDERS ONLY), WITH A THOROUGH 'ASBESTOS MANAGEMENT PLAN' IN PLACE.

FURTHERMORE, IF MORE THAN 10 sqm. OF ASBESTOS IS TO BE REMOVED A VISUAL CLEARANCE CERTIFICATE FORM No: AR4 IS TO BE COMPLETED & SUBMITTED TO THE BUILDING SURVEYOR. RECORDS OF CORRECT DISPOSAL ARE TO BE SUBMITTED TO THE BUILDING SURVEYOR FOR ANY ASBESTOS REMOVED.

1 Existing Floor Plan
Scale: 1:100



WARNING
BEWARE OF UNDERGROUND SERVICES. LOCATE ALL EXISTING SERVICES PRIOR TO CONSTRUCTION. THE LOCATION SHOWN ON PLANS ARE INDICATIVE ONLY AND PRECISE LOCATION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN ON PLAN.






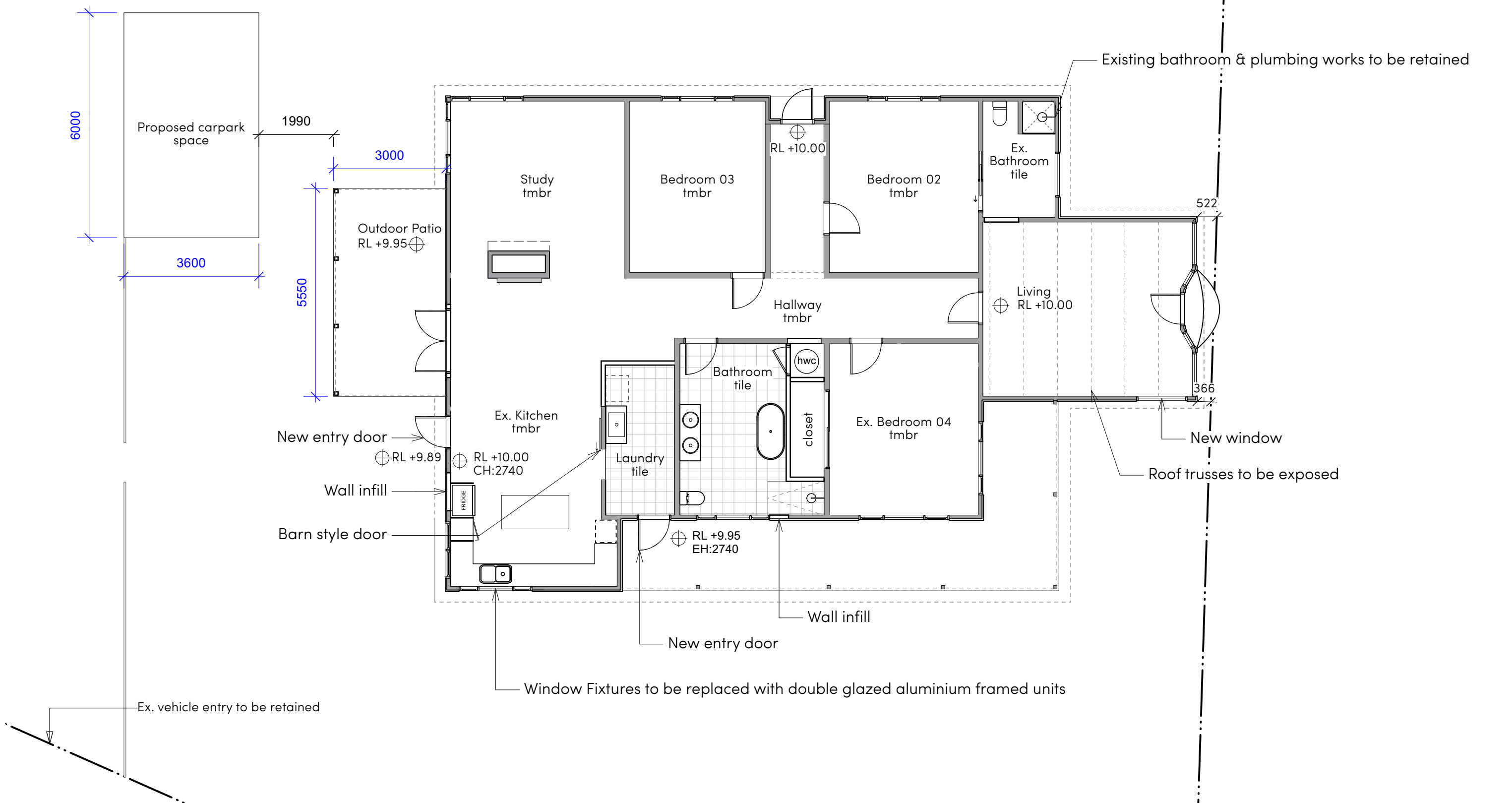
create.wonder.

S. Group
73-75 St John St, Launceston.
6/100 Elizabeth St, Hobart
PO Box 1271, Launceston TAS 7250
p 03 6311 1403 e info@sgroup.com.au
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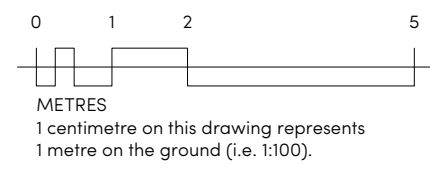
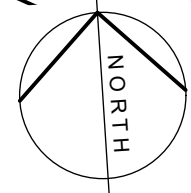


REVISION A	DATE	1/8/2025	DESCRIPTION	DA
ADDRESS		1 Gunning Street, Richmond		
CLIENT	Griffin			
DWG	Existing & Demolition Plan			
do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS		ISSUE	Planning	
SCALE @ ISO A3	1:1	DWG #	A201-A	
CHKD	PROJECT# J009393			

WALL LEGEND	
	EXISTING WALLS TO REMAIN UNALTERED.
	NEW TIMBER STUD WALLS - INTERNAL
	NEW EXTERNAL CLAD WALLS - LINEA WEATHERBOARD.



1 Proposed Floor Plan
Scale: 1:100

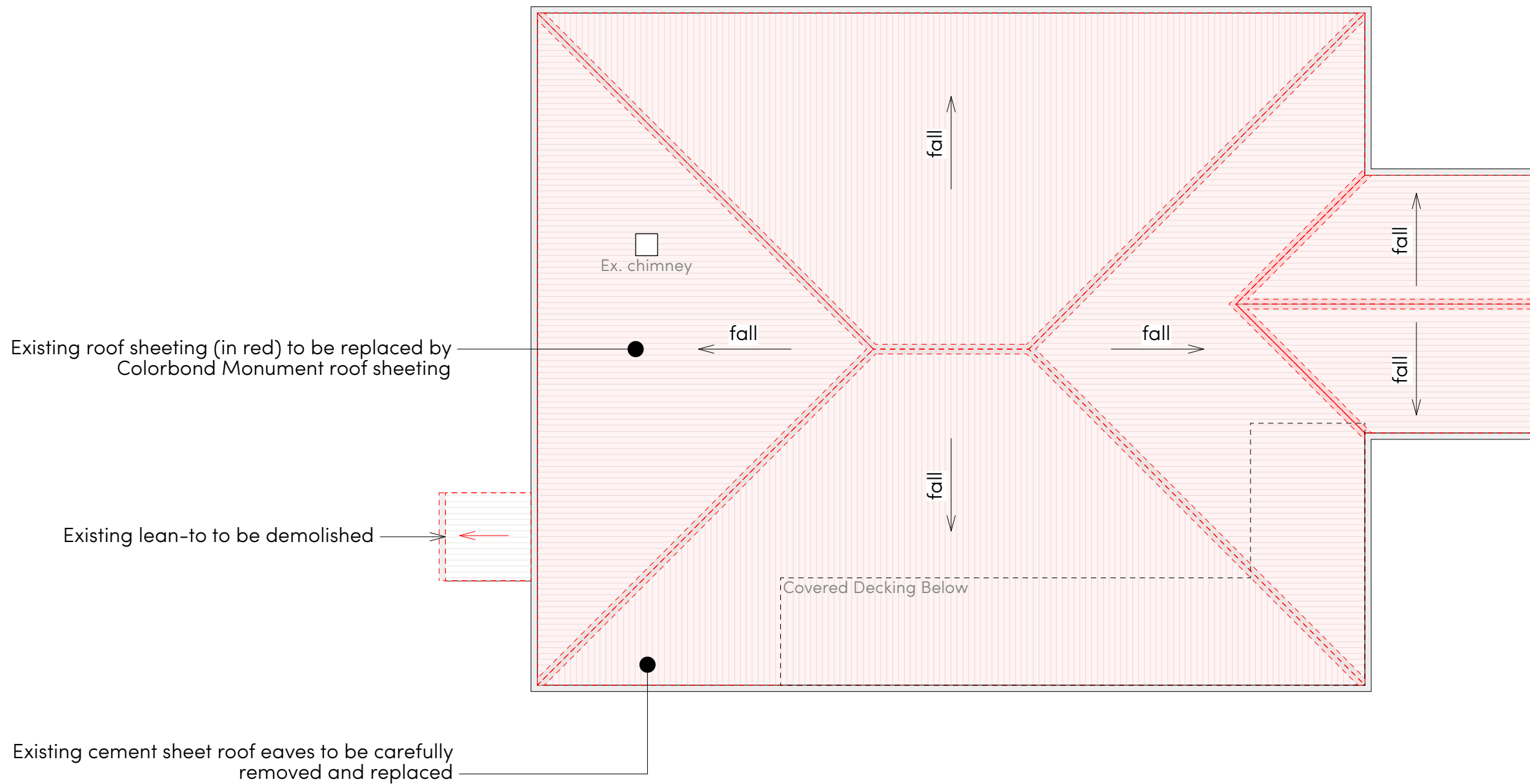


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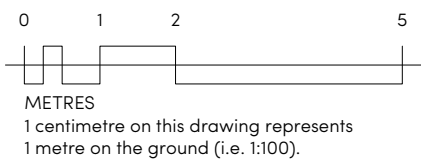
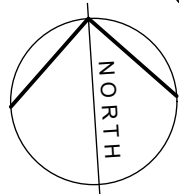
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REVISION A	DATE	1/8/2025	DESCRIPTION	DA
ADDRESS 1 Gunning Street, Richmond				
CLIENT Griffin				
DWG Proposed Floor Plan				
do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS				ISSUE Planning
SCALE @ ISO A3 1:1				DWG # A202-A
CHKD				PROJECT# J009393



1 Ex/Demo Roof Plan
Scale: 1:100



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REVISION A	DATE 1/8/2025	DESCRIPTION DA	do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS		ISSUE Planning
ADDRESS 1 Gunning Street, Richmond			SCALE @ ISO A3 1:1		DWG # A203-A
CLIENT Griffin			DRAWN		PROJECT# J009393
DWG Ex/Demo Roof Plan			CHKD		

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ROOF LEGEND:

Roof sheeting: CUSTOM ORB @ (0.48mm BMT).
 Finish: Colorbond Monument.
 Side Laps: 1 clip / 2 fasteners.
 Fixing to timber: 10-12 x 35mm, type 17, wafer head.

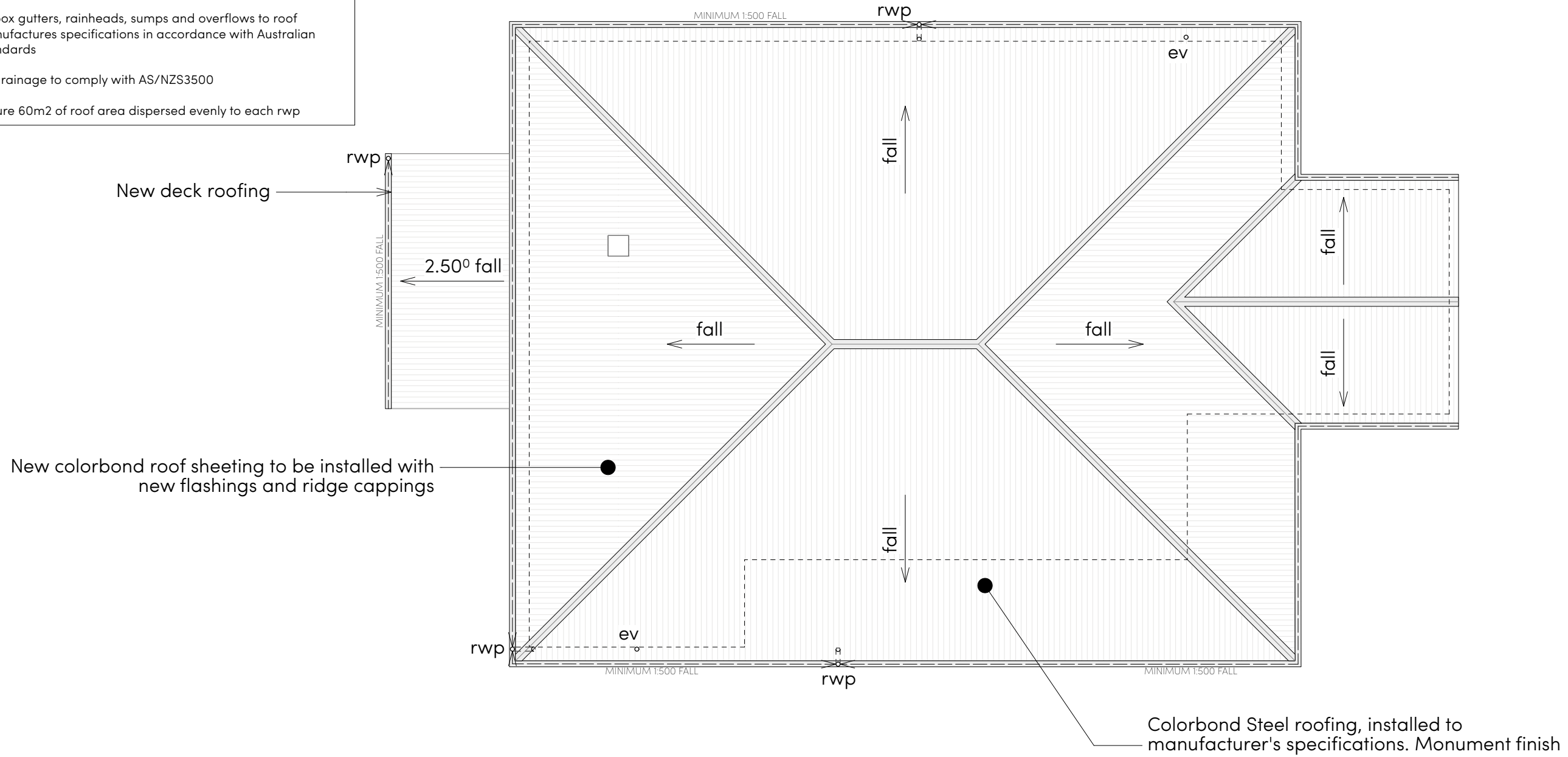
COLORBOND FINISH TO SHEET ROOFS (uno) AS SELECTED BY OWNER. TO MANUFACTURERS SPECIFICATIONS.

NOTES:
 EV: 50Ø effluent vent with dektite as req
 rwp: 90Ø rain water pipe, ZINCALUME® finish

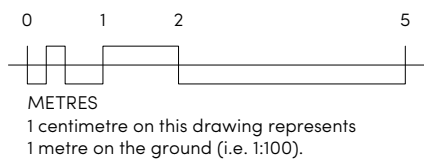
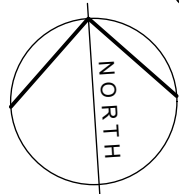
all box gutters, rainheads, sumps and overflows to roof manufactures specifications in accordance with Australian Standards

all drainage to comply with AS/NZS3500

Ensure 60m2 of roof area dispersed evenly to each rwp



1 Roof Plan
 Scale: 1:100



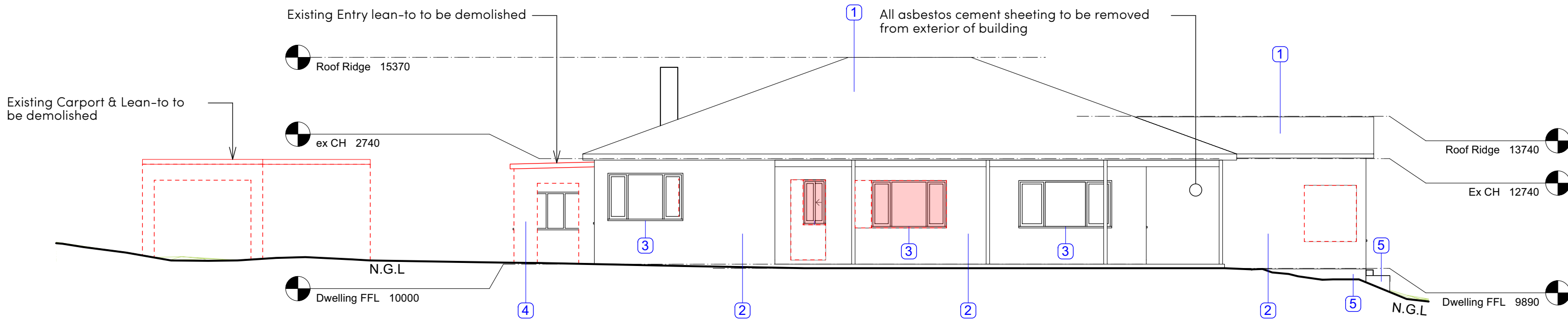
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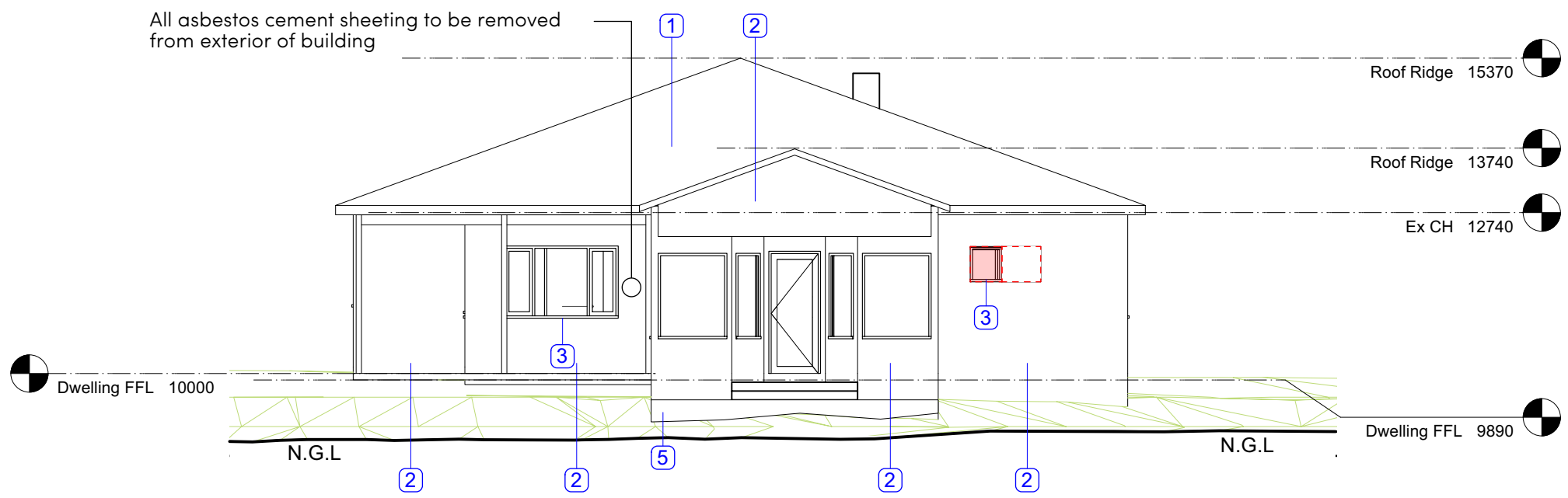


REVISION A	DATE 1/8/2025	DESCRIPTION DA	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS		ISSUE
ADDRESS 1 Gunning Street, Richmond					Planning
CLIENT Griffin			SCALE @ ISO A3 1:1	DWG # A204-A	
DWG Roof Plan			DRAWN		PROJECT# J009393
CHKD					

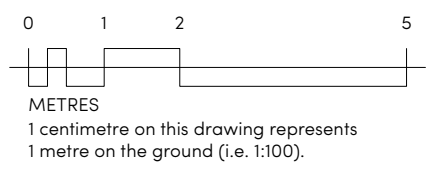
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EX01 Elevation 01
Scale: 1:100



EX02 Elevation 02
Scale: 1:100



EXTERNAL FINISHES & COLOURS SCHEDULE:

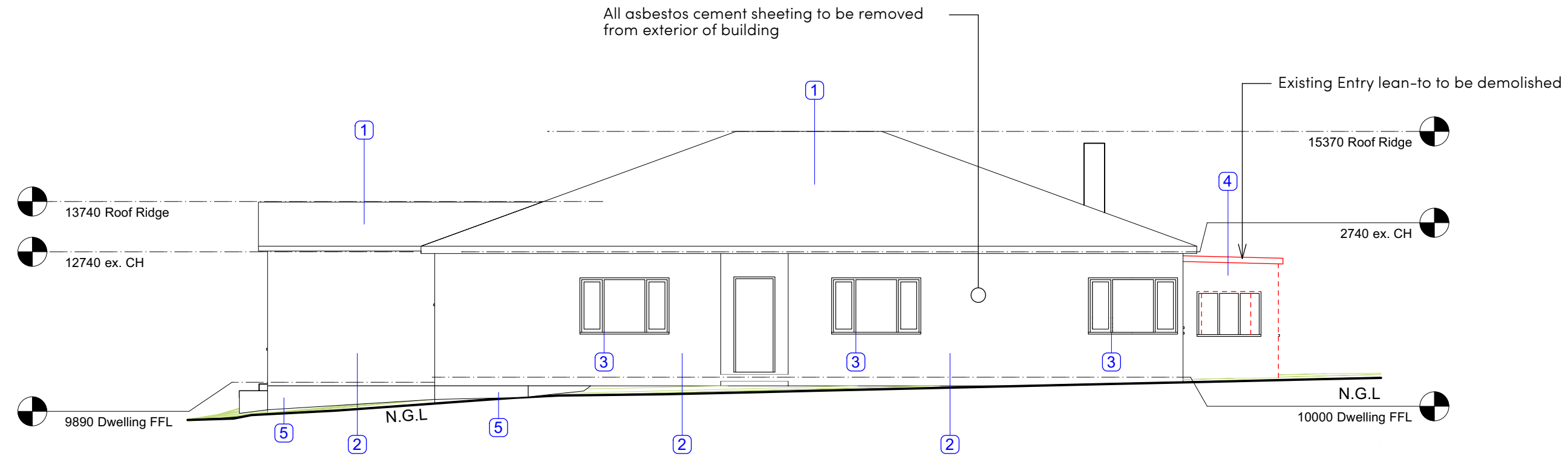
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2	Cladding Type: Colour:	Ex. Asbestos Cement Board Unfinished	5	Floor Type: Finish:	Ex. Concrete Exposed
3	Window type: Colour:	Aluminium Window Framing Unfinished			



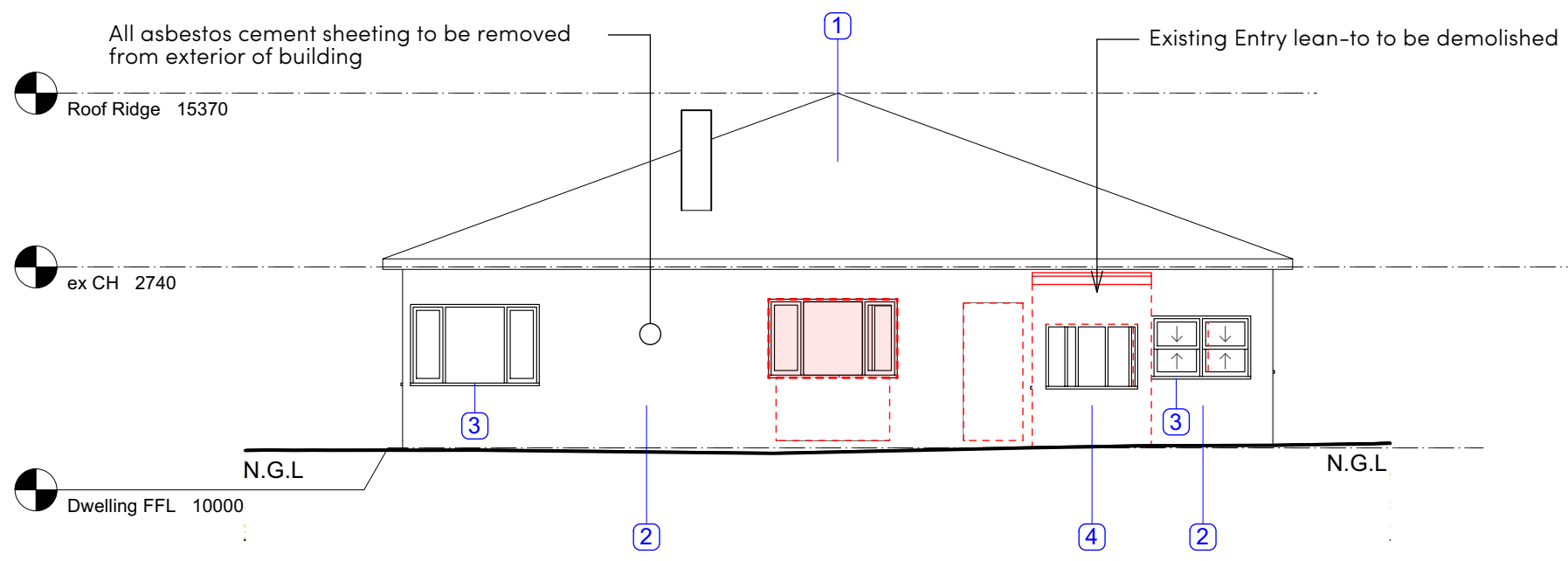
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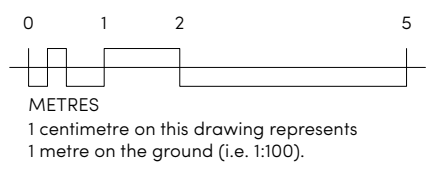
REVISION A	DATE 1/8/2025	DESCRIPTION DA	
ADDRESS	1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT	Griffin		ISSUE Planning
DWG	Ex/Demo Elevation Sheet 1		DWG # A301-A
CHKD			PROJECT# J009393



EX03 Elevation 03
Scale: 1:100



EX04 Elevation 04
Scale: 1:100



EXTERNAL FINISHES & COLOURS SCHEDULE:

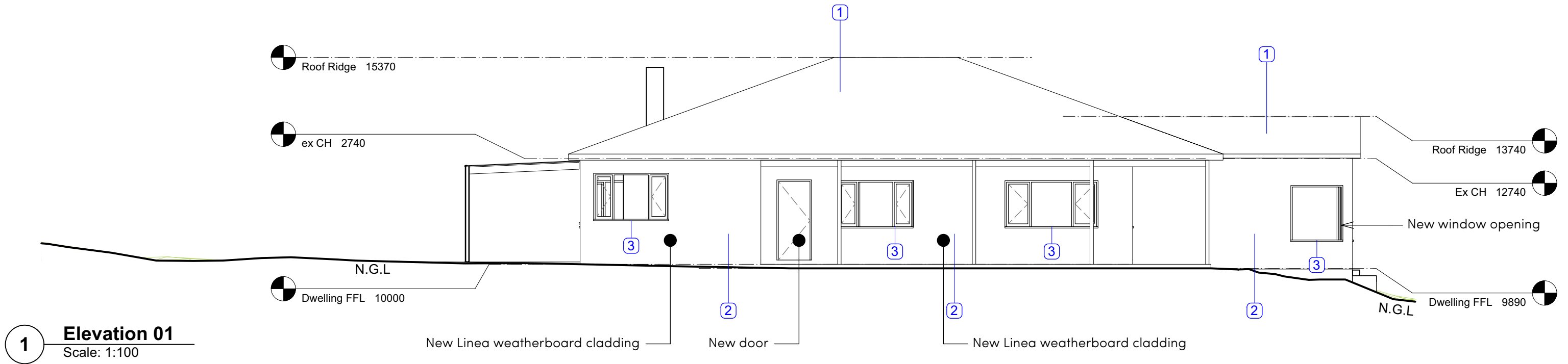
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2	Cladding Type: Colour:	Ex. Asbestos Cement Board Unfinished	5	Floor Type: Finish:	Ex. Concrete Exposed
3	Window type: Colour:	Aluminium Window Framing Unfinished			



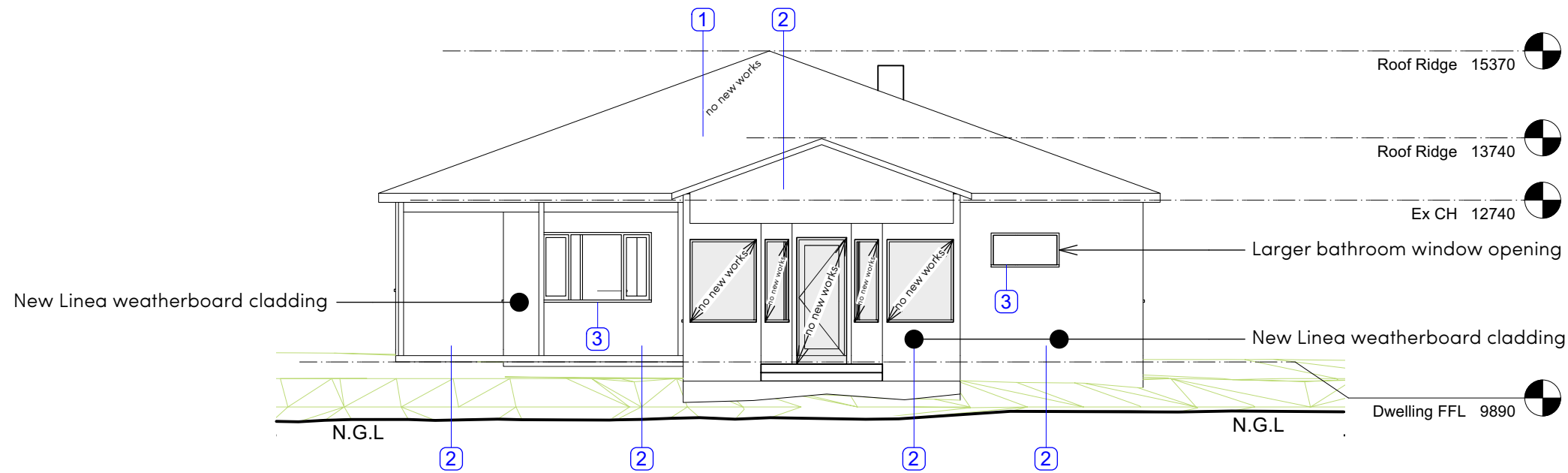
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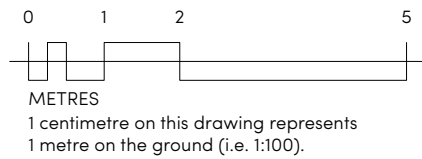
REVISION A	DATE 1/8/2025	DESCRIPTION DA	
ADDRESS	1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT	Griffin		ISSUE Planning
DWG	Ex/Demo Elevation Sheet 2		DWG # A302-A
CHKD			PROJECT# J009393



1 Elevation 01
Scale: 1:100



2 Elevation 02
Scale: 1:100



EXTERNAL FINISHES & COLOURS SCHEDULE:

- 1** Roof Type: Colorbond Corrugated Sheeting
Colour: Monument
- 2** Cladding Type: Linea Weatherboard or eq.
Colour: White
- 3** Window Type: Aluminium Framing
Colour: Pearl White

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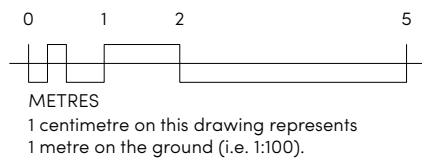
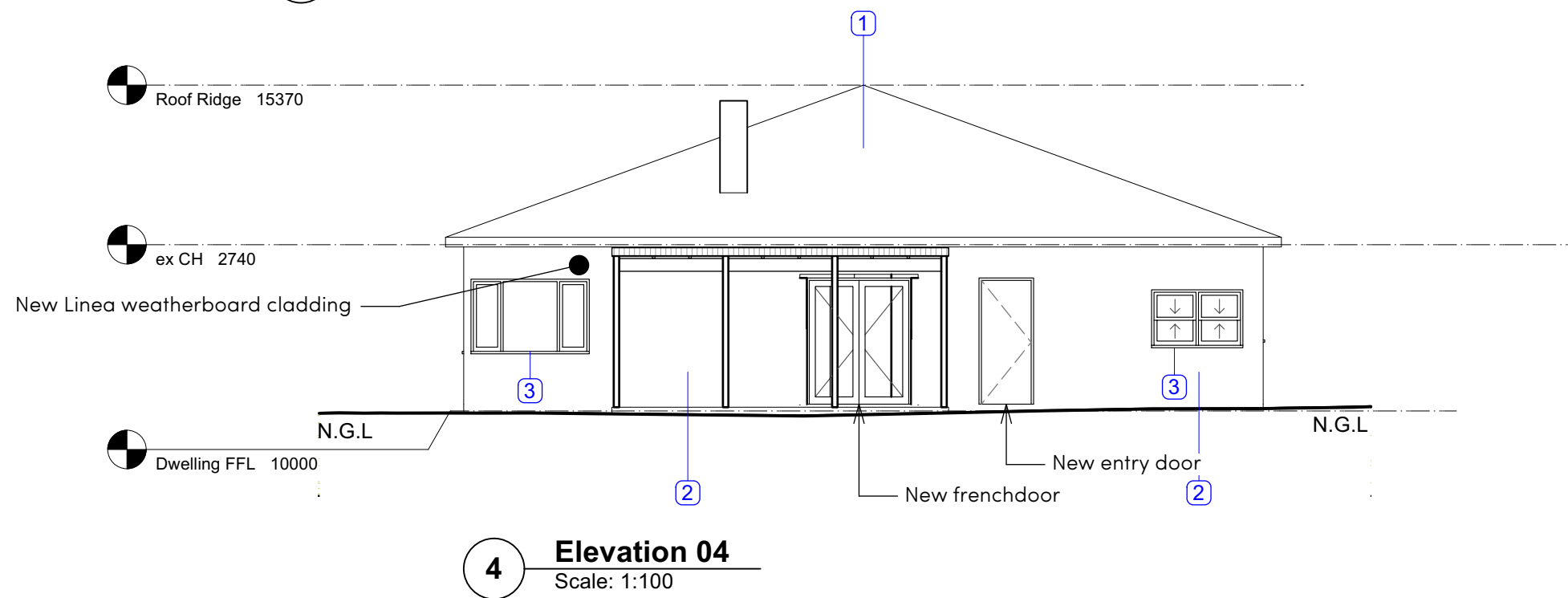
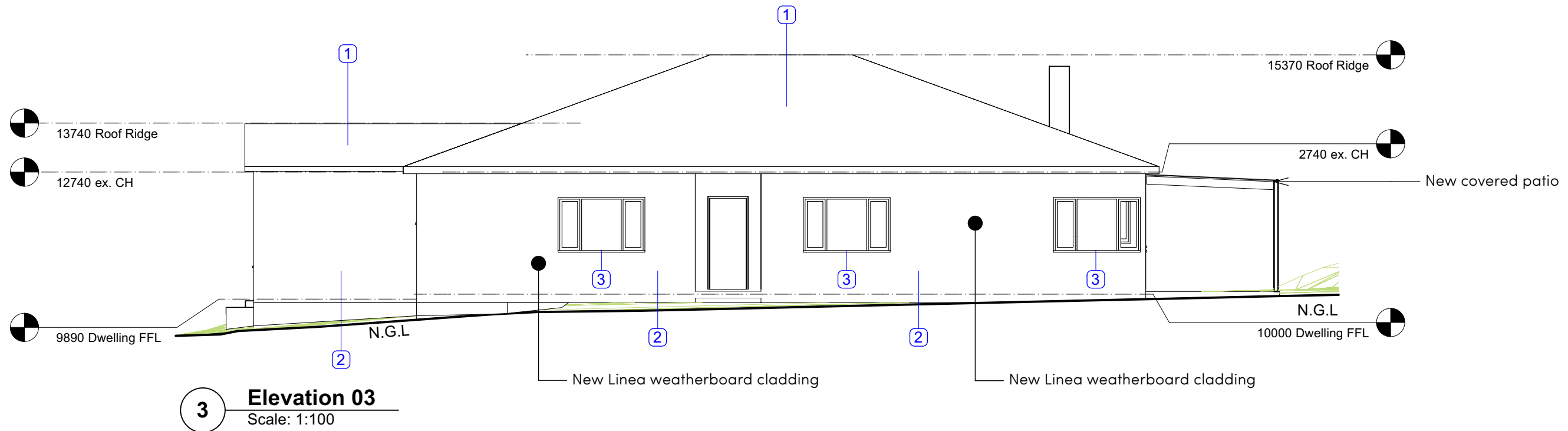
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REVISION A	DATE	1/8/2025	DESCRIPTION	DA
ADDRESS		1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT		Griffin		ISSUE Planning
DWG		Proposed Elevation Sheet 1		DWG # A303-A
CHKD				PROJECT# J009393

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EXTERNAL FINISHES & COLOURS SCHEDULE:

- 1** Roof Type: Colorbond Corrugated Sheeting
Colour: Monument
- 2** Cladding Type: Linea Weatherboard or eq.
Colour: White
- 3** Window Type: Aluminium Framing
Colour: Pearl White

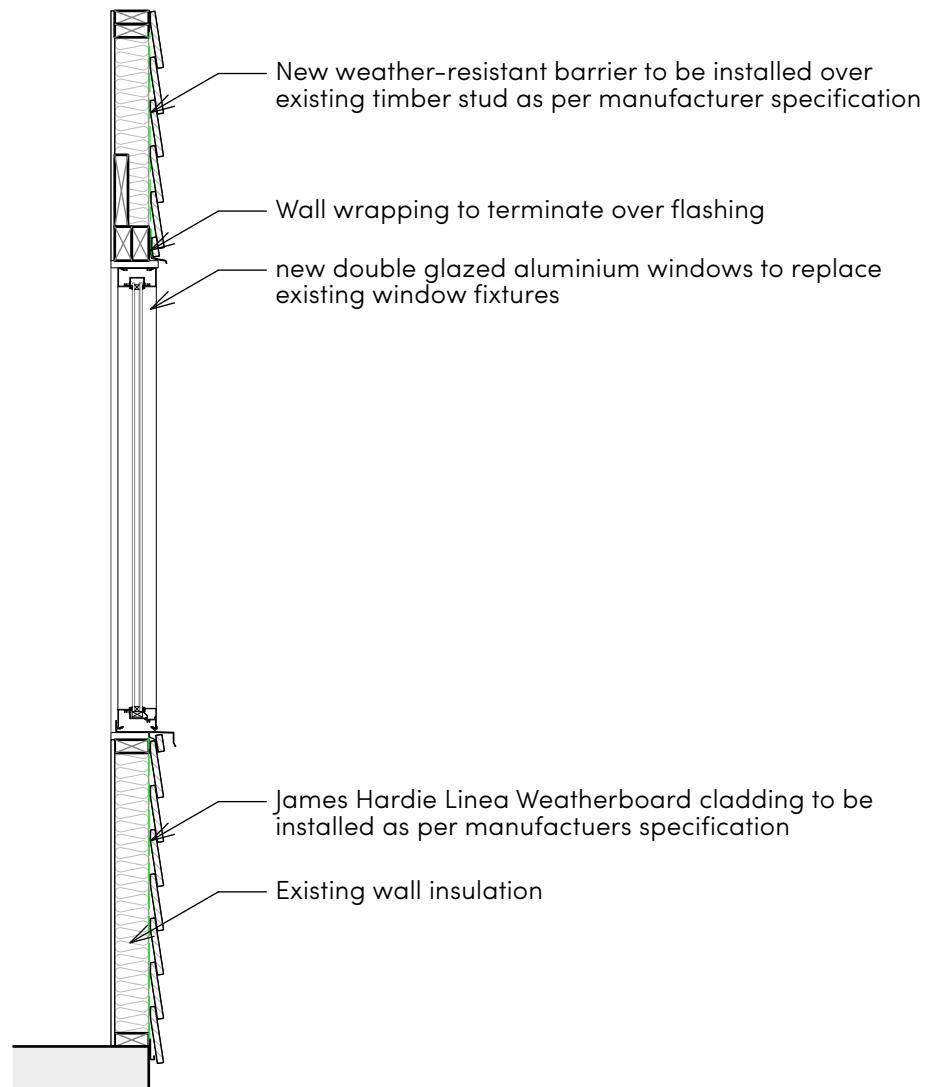
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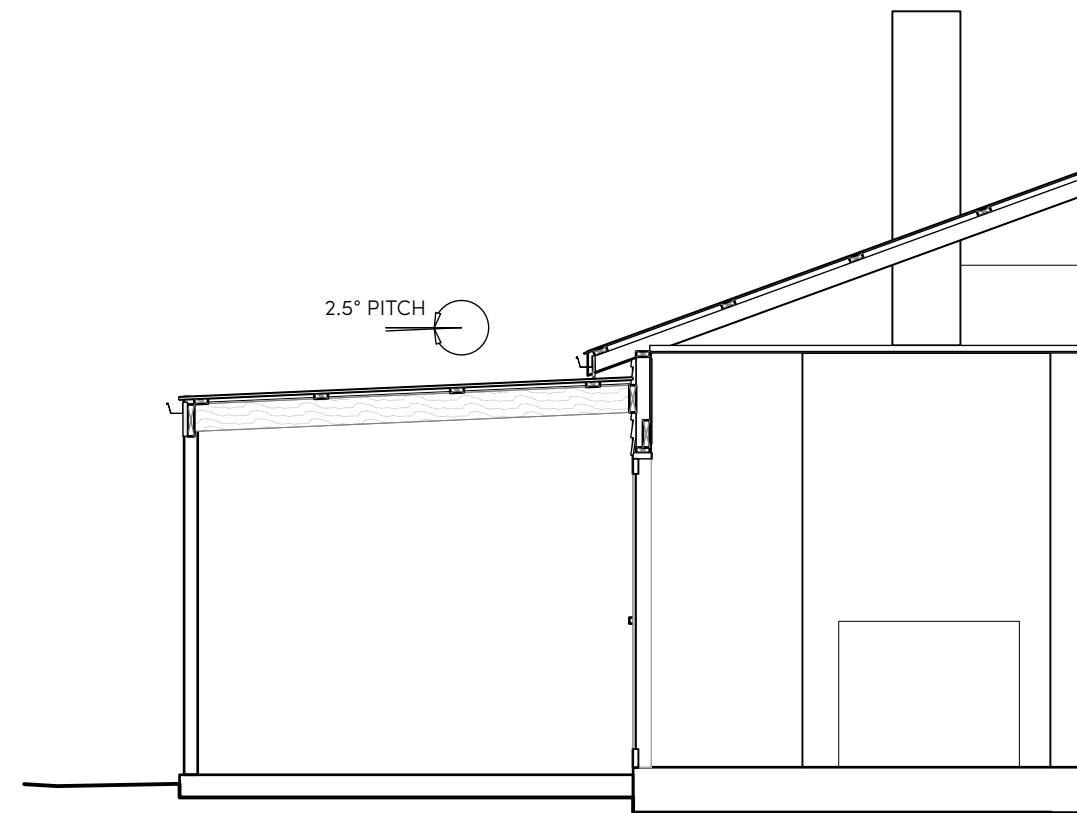
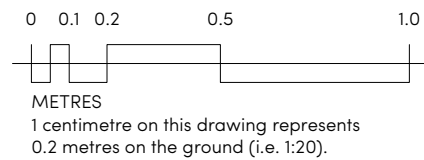


REVISION A	DATE	1/8/2025	DESCRIPTION	DA
ADDRESS		1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT		Griffin		ISSUE Planning
DWG		Proposed Elevation Sheet 2		DWG # A304-A
CHKD				PROJECT# J009393

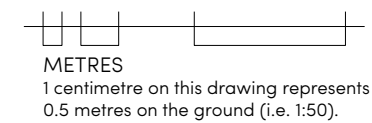
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1 Proposed external wall works
Scale: 1:20



2 Covered deck roof
Scale: 1:50



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ADDRESS		1 Gunning Street, Richmond		do not scale off plans all dimensions in millimetres confirm all dimensions on site at work to relevant NCC and AS
CLIENT		Griffin		ISSUE Planning
DWG		Section Sheet 1		DWG # A501-A
CHKD				PROJECT# J009393

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