



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/055521

PROPOSAL: Dwelling

LOCATION: 13 Bindara Road, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: New Dwelling, vehicular driveway and associated site works

Location: 13 Bindara Road, Tranmere Tasmania 7018

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Site is currently vacant

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 181629	FOLIO 93
EDITION 6	DATE OF ISSUE 14-Jun-2025

SEARCH DATE : 29-Jul-2025

SEARCH TIME : 12.31 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 93 on Sealed Plan [181629](#)

Derivation : Part of 49A-0R-20P Gtd. to Archibald Logan Wise

Prior CT [178089/102](#)

SCHEDULE 1

[N256721](#) TRANSFER to JONATHAN ALAN NIEWERTH and HAYLEY RACHAEL NIEWERTH Registered 14-Jun-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP181629](#) EASEMENTS in Schedule of Easements

[SP181629](#) FENCING PROVISION in Schedule of Easements

[SP147152](#), [SP170742](#), [SP171960](#), [SP173669](#), [SP173546](#), [SP175593](#) &

[SP178089](#) FENCING PROVISION in Schedule of Easements

[A722658](#) FENCING PROVISION in Transfer

[E266278](#) AGREEMENT pursuant to Section 78 of the Land Use

Planning and Approvals Act 1993 Registered

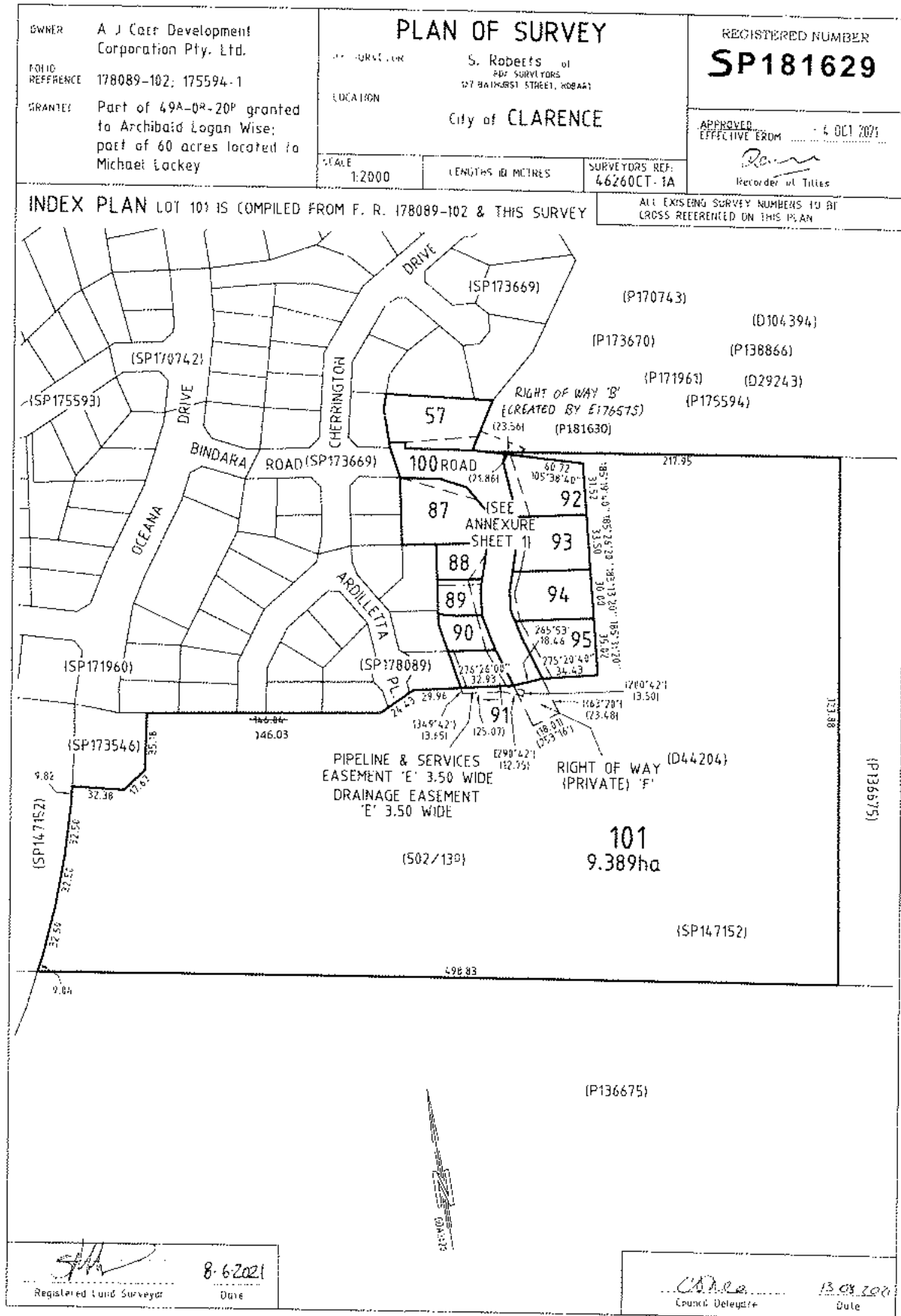
04-Oct-2021 at noon

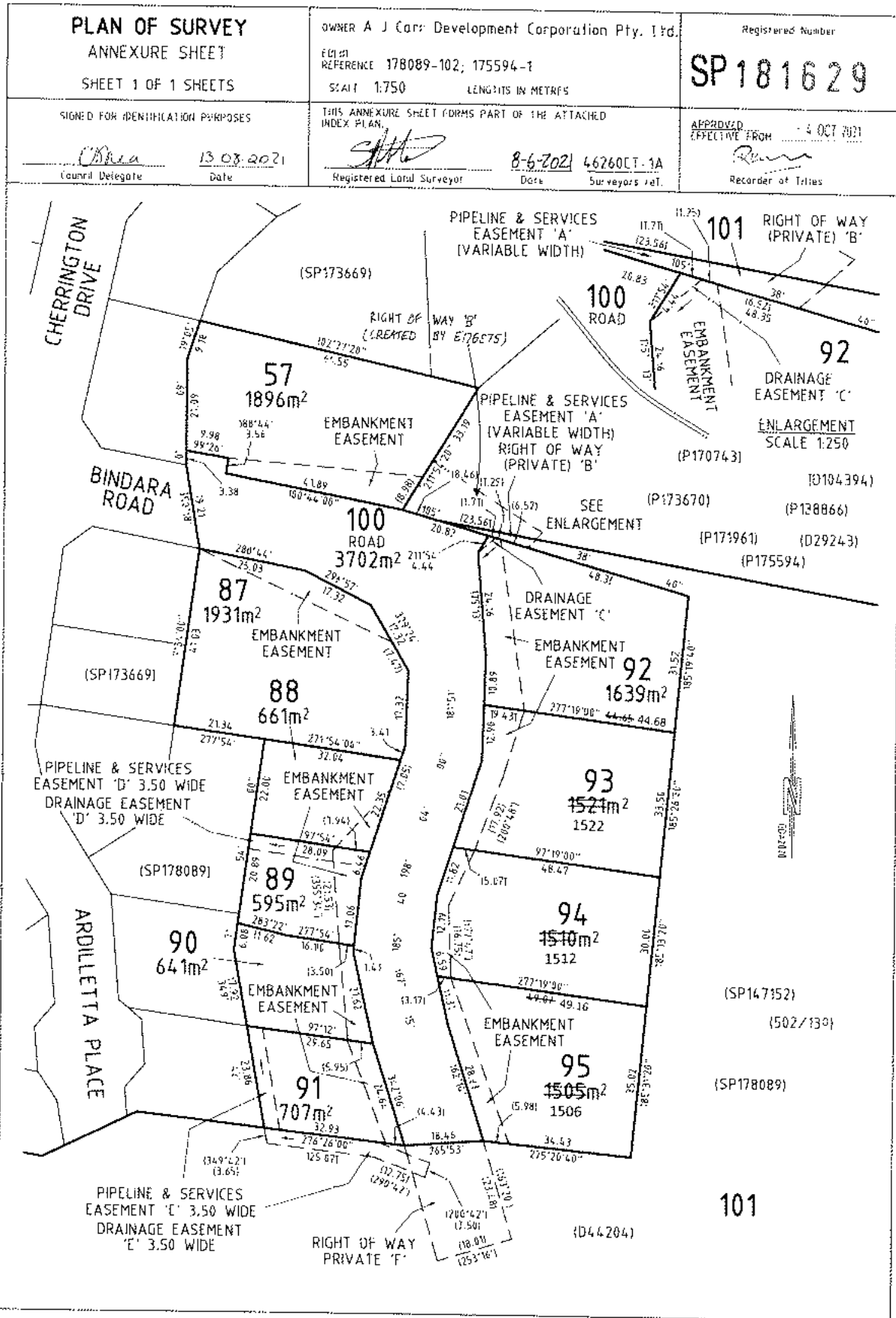
[E399531](#) MORTGAGE to Pepper Finance Corporation Limited

Registered 14-Jun-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 181629

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Pipeline and Services Easements

Lot 89 on the Plan is subject to a pipeline and services easement (as hereinafter defined) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Ltd (its successors and assigns) ("TasWater") over that part of Lot 89 marked PIPELINE & SERVICES EASEMENT 'D' 3.50 WIDE on the Plan ("the Easement Land").

Lot 91 on the Plan is subject to a pipeline and services easement (as hereinafter defined) in gross in favour of TasWater over that part of Lot 91 marked PIPELINE & SERVICES EASEMENT 'E' 3.50 WIDE on the Plan ("the Easement Land").

Lot 101 on the Plan is subject to a pipeline and services easement (as hereinafter defined) in gross in favour of TasWater over those parts of Lot 101 marked PIPELINE & SERVICES EASEMENT 'A' (VARIABLE WIDTH) and PIPELINE & SERVICES EASEMENT 'E' 3.50 WIDE on the Plan ("the Easement Land").

Drainage Easements

Lot 89 on the Plan is subject to a right of drainage for the Clarence City Council over that part of Lot 89 marked DRAINAGE EASEMENT 'D' 3.50 WIDE on the Plan.


Lot 91 on the Plan is subject to a right of drainage for the Clarence City Council over that part of Lot 91 marked DRAINAGE EASEMENT 'E' 3.50 WIDE on the Plan.

Lot 92 on the Plan is subject to a right of drainage for the Clarence City Council over that part of Lot 92 marked DRAINAGE EASEMENT 'C' on the Plan.

Lot 101 on the Plan is subject to a right of drainage for the Clarence City Council over that part of Lot 101 marked DRAINAGE EASEMENT 'E' 3.50 WIDE on the Plan.

Rights of Carriageway

Lot 92 on the Plan is together with a right of carriageway over that part of Lot 101 marked RIGHT OF WAY (PRIVATE) 'B' on the Plan.


(USE ANNEXURE PAGES FOR CONTINUATION) *AD Barwick*

SUBDIVIDER: A J Carr Development Corp Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: Volume 178089 Folio 102 & Volume 175594 Folio 1	DATE: <u>13.08.2021</u>
SOLICITOR & REFERENCE: Simmons Wolfhagen – CFB: 211969	<u>50-2010/63</u> REF NO. <i>AD Barwick</i> Council Delegate <i>Clare Shea</i>
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181629</p>
<p>SUBDIVIDER: A J Carr Development Corp Pty Ltd</p> <p>FOLIO REFERENCE: Volume 178089 Folio 102 & Volume 175594 Folio 1</p>	

Lot 101 on the Plan is subject to a right of carriage way (appurtenant to Lot 92 on the Plan) over that part of Lot 101 marked RIGHT OF WAY (PRIVATE) 'B' on the Plan.

Lot 101 on the Plan is subject to a right of carriage way for the Clarence City Council over that part of Lot 101 marked RIGHT OF WAY (PRIVATE) 'F' on the Plan.

Embankment Easement

Lots 57, 87, 88, 89, 90, 91, 92, 93, 94 and 95 on the Plan are each subject to an embankment easement (as hereinafter defined) for the Clarence City Council over such portion of the EMBANKMENT EASEMENT shown passing through such Lot.

INTERPRETATION

"embankment easement" means the full and free right and liberty for the Clarence City Council to enter upon the land to carry out any works from time to time that may be necessary to construct, retain and maintain earthworks and drainage associated with a local highway (as defined by the Local Government (Highways) Act 1982), but not precluding the servient tenement, subject to the approval of the Clarence City Council, from constructing or erecting any structure on the land as required to provide access to any part of, or to maintain the stability of the servient lots.

"pipeline and services easement" is defined as follows:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriage way for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.




NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181629</p>
<p>SUBDIVIDER: A J Carr Development Corp Pty Ltd</p> <p>FOLIO REFERENCE: Volume 178089 Folio 102 & Volume 175594 Folio 1</p>	

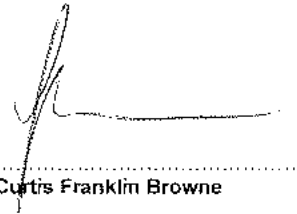
"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or maintaining that activity; and
- (h) where the context permits, any part of the Infrastructure.

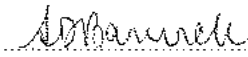
FENCING PROVISION

In respect of the Lots on the Plan, the vendor A J Carr Development Corporation Pty Ltd ACN 609 415 554 shall not be required to fence.

Signed by A J Carr Development Corporation Pty Ltd ACN 609 415 554)
 by its attorney **Curtis Franklin Browne** under Power of Attorney No. PA125549)
 who hereby certifies that he has received no notice of revocation of the Power)
 of Attorney)



.....
Curtis Franklin Browne

Witness Signature: 

Witness Name:

Witness Address: **Susan Donna Barwick**
 Legal Secretary
 Simmons Wolfhagen

Occupation: **Level 4, 99 Bathurst Street**
 Hobart TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. 02

Clarence City Council
October 2nd 2025

Attention: Planning Dept

Response to Invalid Application / Request for Further Information for planning application (PDPLANPMTD-2025/055521) at 13 Bindara Road, Tranmere - New dwelling, vehicular driveway and associated site works

Dear Planner,

We are writing in response to notification of invalid application / "request for further information" issued 18th September 2025 regarding the proposed residential development at 13 Bindara Road, Tranmere 7018.

Regarding one of the items queried in the RFI, please see our response below:

"Low Density Residential Zone –

10.4.3 Setback - Amended plans to address performance criteria P2, including shadow diagrams"

Please find the existing and proposed shadow diagrams attached for your review - RFI 12 – 15 inclusive.

As per RFI14 & 15, the 2-storey dwelling casts minor shadows onto the site at 15 Bindara Road. The percentage of shadow cast at each time in March and June has been calculated to highlight that there is a minimal loss of amenity to the adjacent site, which is currently vacant.

However, on June 21st at 9am, there is a significant shadow cast where approx. 70% of the site is shaded.

To ensure this is not caused by the proposed development, IDW put together existing shadow diagrams (RFI 12 & 13), which present both 13 and 15 Bindara Road as vacant sites, but included the existing 1.8m high timber fence (no transparency) between 9 and 13 Bindara, and also includes a proposed new 1.6m high fence to the eastern and southern site boundaries, and a 1.2m high fence to the western of 13 Bindara Road. We are proposing that all new fences mentioned above are to have 30% transparency. Although these are not existing, IDW think it is justified to show them given fencing 1.8m high or below with 30% transparency does not require planning approval and it is very likely that all occupied sites will install perimeter fencing.

As per the RFI13, where no dwelling is present (but with the fencing installed) you will notice that nearly the exact same amount of shadow is cast by the fence alone. The existing fence between 9 and 13 Bindara Road, with no transparency at all, shades the entire site subject to this application. Therefore, we conclude that this is a particularly impactful hour of shading for all sites on the street / within the subdivision, and is not caused by the proposed dwelling.

It is intended to install contemporary timber fencing similar to the ones pictured below, with steel posts and timber uprights.



As per the architectural plans submitted, the proposed dwelling has a minimum setback of approx. 6200mm from the northern site boundary, and approx. 10.8m setback from the eastern site boundary. Therefore, both of those setbacks comply with Section 10.4.3 Setbacks (A2)

We hope the above satisfies your request for further information regarding setbacks, but please do not hesitate to contact us should you have any further queries on the matter.

Please note that we will follow up with additional documentation, responding to the RFIs regarding Parking and Sustainable Transport Code C2.6.1 and C2.6.2 as soon as we receive finalised designs/documents from the civil engineer.

In the meantime, please do not hesitate to contact me should anything else arise.

Kind regards

Emma O Neill

IDW Architecture + Interiors
03 6234 5644
emma@idwarchitecture.com.au
<https://www.idwarchitecture.com.au/>

DRAWING INDEX

Request for Further Information:

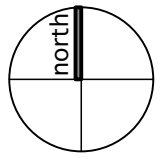
dwg no:	dwg title:	scale:	rev:	date:	by:
RFI01	Title Page	N/A @ A3	None	11/9/25	EON
RFI02	Site Location Plan	1:500 @ A3	None	1/10/25	EON
RFI03	Proposed Site Layout Plan	1:200 @ A3	None	1/10/25	EON
RFI04	Proposed Ground Floor Plan	1:100 @ A3	None	1/10/25	EON
RFI05	Proposed First Floor Plan	1:100 @ A3	None	1/10/25	EON
RFI06	Proposed Roof Plan	1:100 @ A3	None	1/10/25	EON
RFI07	Proposed Elevations 01	1:100 @ A3	None	1/10/25	EON
RFI08	Proposed Elevations 02	1:100 @ A3	None	1/10/25	EON
RFI09	3D Images 01	N/A @ A3	None	1/10/25	EON
RFI10	3D Images 02	N/A @ A3	None	1/10/25	EON
RFI11	3D Images 03	N/A @ A3	None	1/10/25	EON
RFI12	Existing Shadow Diagrams (March 21st)	1:500 @ A3	None	1/10/25	EON
RFI13	Existing Shadow Diagrams (June 21st)	1:500 @ A3	None	1/10/25	EON
RFI14	Proposed Shadow Diagrams (March 21st)	1:500 @ A3	None	1/10/25	EON
RFI15	Proposed Shadow Diagrams (June 21st)	1:500 @ A3	None	1/10/25	EON

PROJECT DETAILS	
SITE INFORMATION	
TOTAL SITE AREA:	1522.0 m ²
DWELLING AREA FOOTPRINT:	263.5 m ²
SITE COVERAGE:	17.3 %
HOUSE FLOOR AREA:	268.0 m ²
GARAGE/STORE/WORKSHOP FLOOR AREA:	70.0 m ²
TOTAL FLOOR AREA: (EXCLUDES DECKS)	338.5 m²
DECK AREA:	64.8 m ²
PAVED AREA:	47.0 m ²
TOTAL SITE COVERAGE (EX. DRIVEWAY):	22.7m² (%)
Title Reference	Vol. - 181629
	Folio - 93
Wind Classification	N3
Soil Classification	Class M
Climate Zone	7
Corrosion Enviroment	-
BAL	-

New Dwelling 2501

J & H Niewerth
13 Bindara Road
Tranmere

idw.
architecture + interiors
ACC NO. CC980Y



NOT FOR CONSTRUCTION

DO NOT SCALE OFF DRAWINGS

Drawings are to be read in conjunction with all associated specifications, consultants' drawings, geotechnical report and any other written instructions

All works are to comply with the Building Code of Australia, relevant Australian Standards, local and any other relevant authority regulations and by-laws

Contractors are to verify all dimensions on site prior to commencing any work or producing shop drawings

All dimensions are in millimetres unless otherwise noted

Report all discrepancies to IDW

© Drawings are protected by the laws of copyright and may not be copied or reproduced without written permission

Rev
NO. DATE NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
Site Location Plan

Dwg No.
RFI02

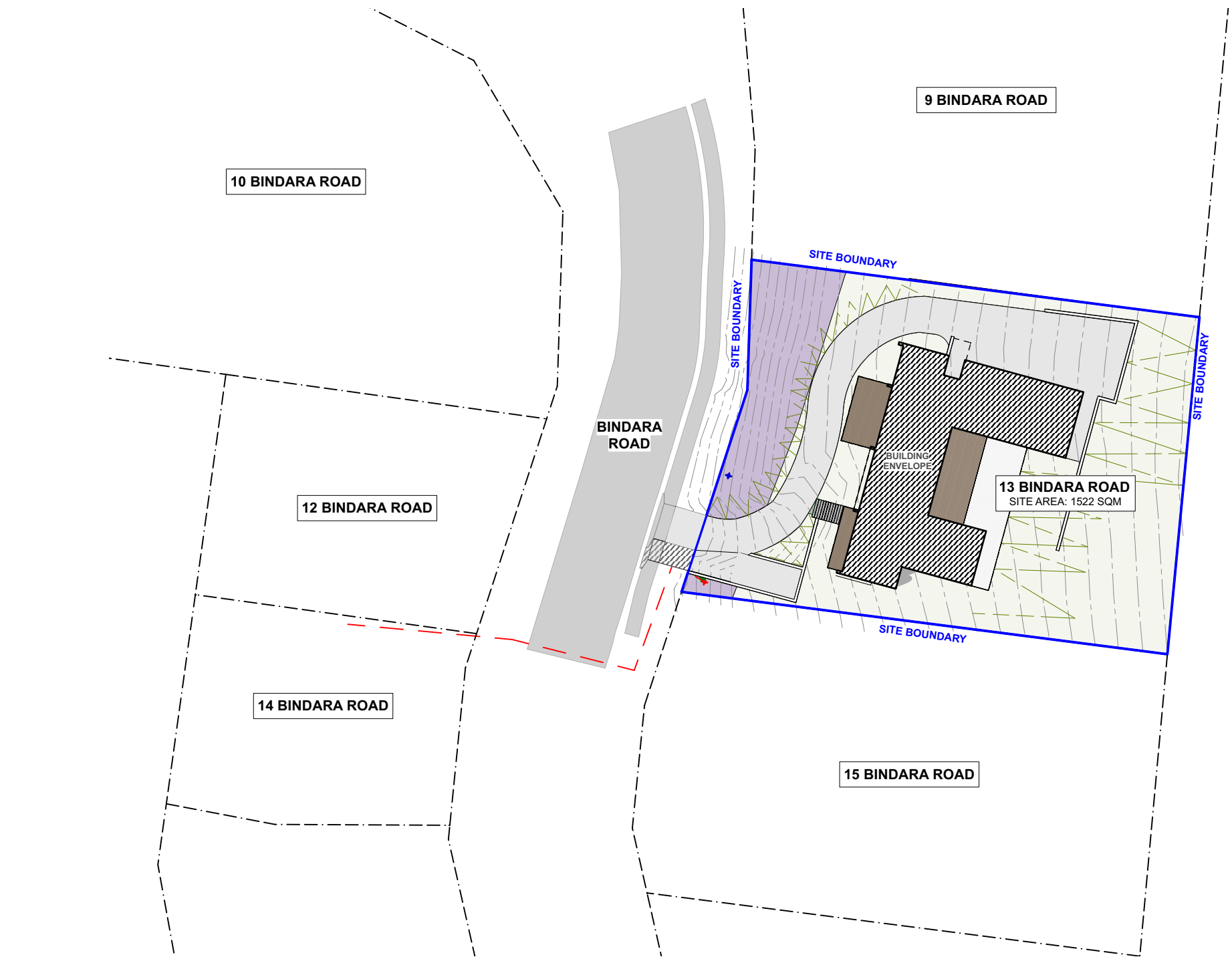
Scale
1:500 @ A3

Date
1/10/25

Rev	Drawn	Checked
	EON	AW

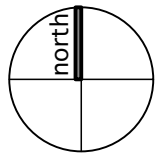
Status	Job No.
RFI	2501

idw.
architecture + interiors
4/147 Liverpool St Hobart TAS 7000
T (03) 6234 5644
E info@idwarchitecture.com.au
W idwarchitecture.com.au
Acc No CC980Y



SITE LOCATION PLAN
Scale: 1:500

- SITE BOUNDARY
- ADJACENT SITE BOUNDARY
- DWELLING BUILDING ENVELOPE
- EMBANKMENT EASEMENT



NOT FOR CONSTRUCTION

DO NOT SCALE OFF DRAWINGS

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Rev	NO.	DATE	NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
Proposed Site Layout Plan

Dwg No.
RFI03

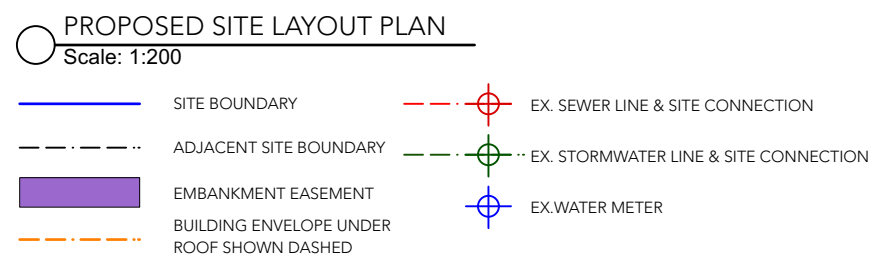
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Date
1/10/25

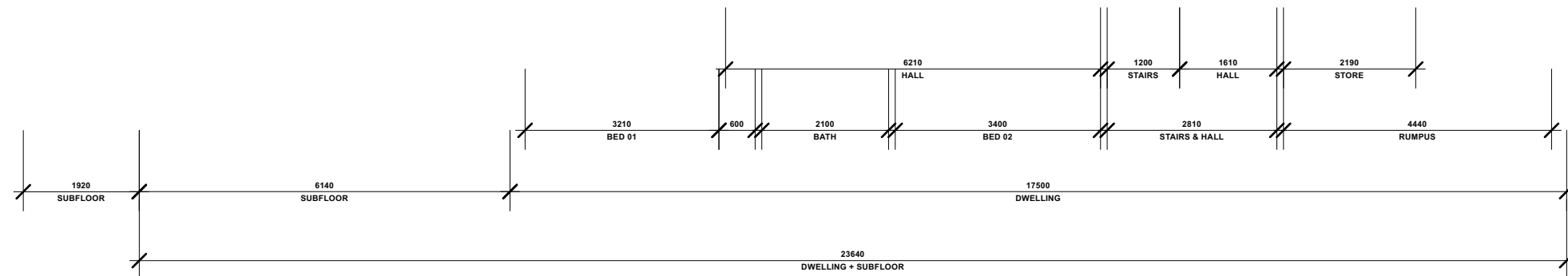
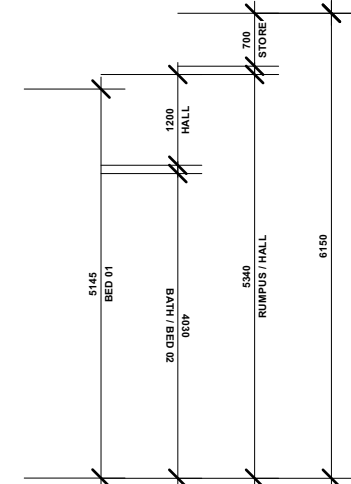
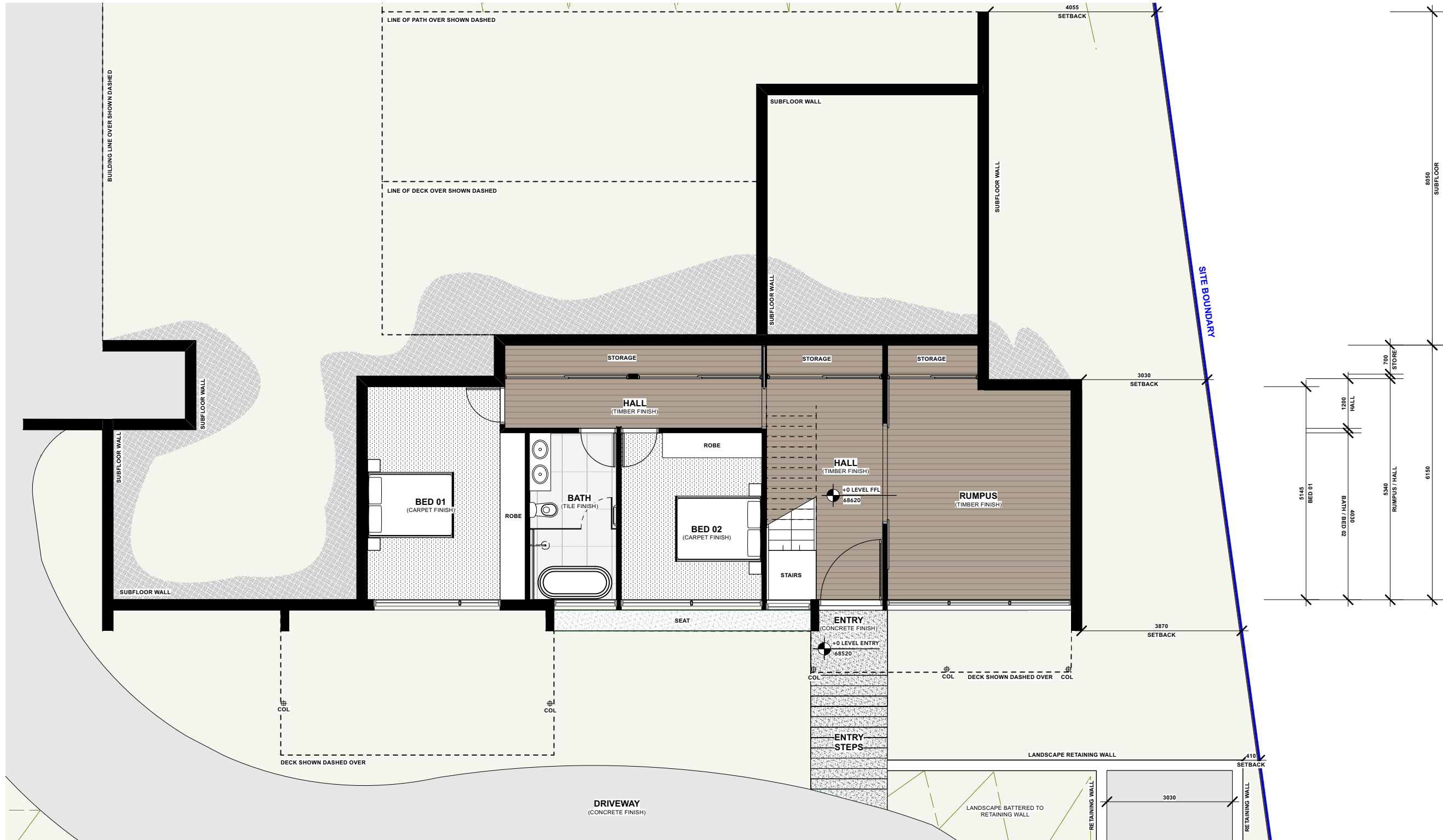
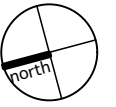
Rev	Drawn	Checked
	EON	AW

Status	Job No.
RFI	2501

idw.
architecture + interiors
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T (03) 6234 5644
E info@idwarchitecture.com.au
W idwarchitecture.com.au
Acc No CC980Y



NOTES
NOTE 01 - SETBACKS SHOWN ARE FROM BUILDING ENVELOPES TO SITE BOUNDARIES



DO NOT SCALE OFF DRAWINGS

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Report all discrepancies to IDW

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Rev	NO.	DATE	NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
Proposed Ground Floor Plan

Dwg No.
RFI04

Scale
1:100 @A3

Date
1/10/25

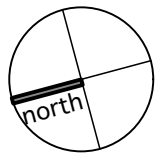
Rev	Drawn	Checked
	EON	AW

Status	Job No.
RFI	2501

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W idwarchitecture.com.au
Acc No CC980Y

PROPOSED LOWER LEVEL FLOOR PLAN
Scale: 1:100

LOWER LEVEL FLOOR AREA: 100 SQM



DO NOT SCALE OFF DRAWINGS

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Rev	NO.	DATE	NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
Proposed First Floor Plan

Dwg No.
RFI05

Scale
1:100 @ A3

Date
1/10/25

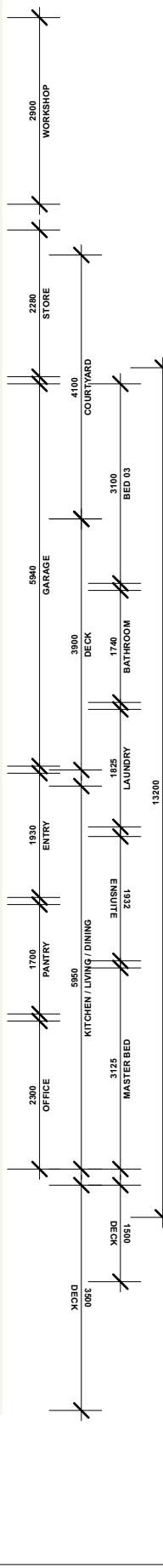
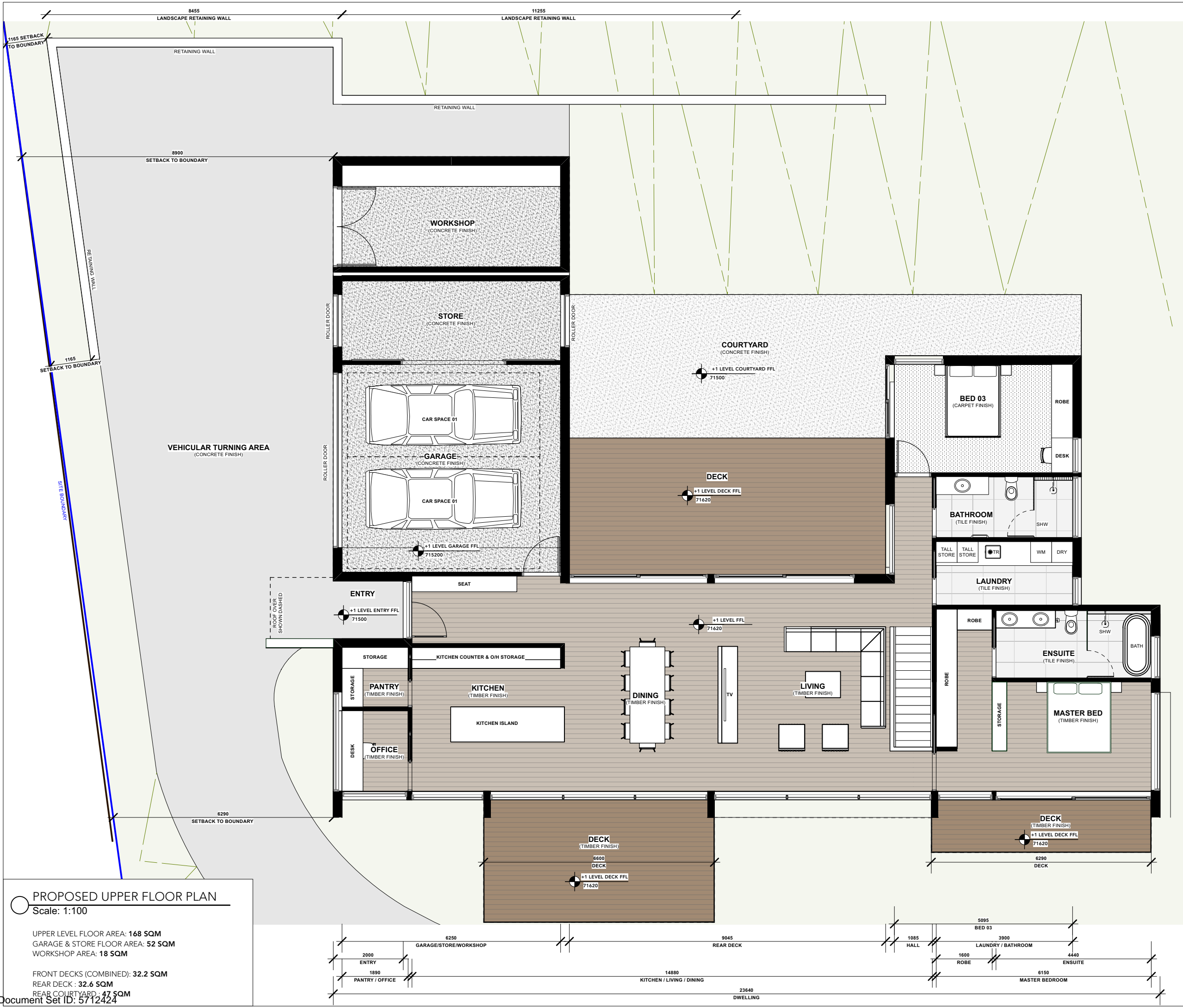
Rev	Drawn	Checked
	EON	AW

Status
RFI

Job No.
2501

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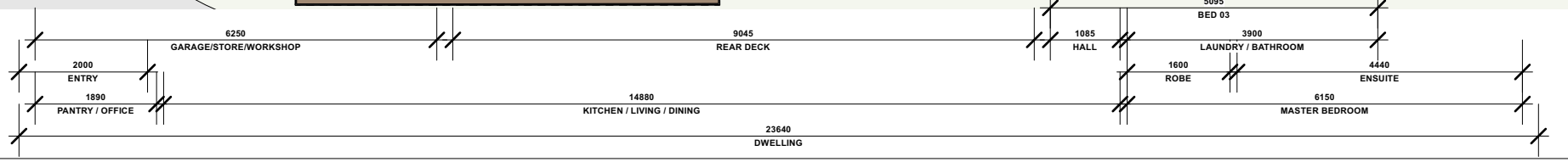


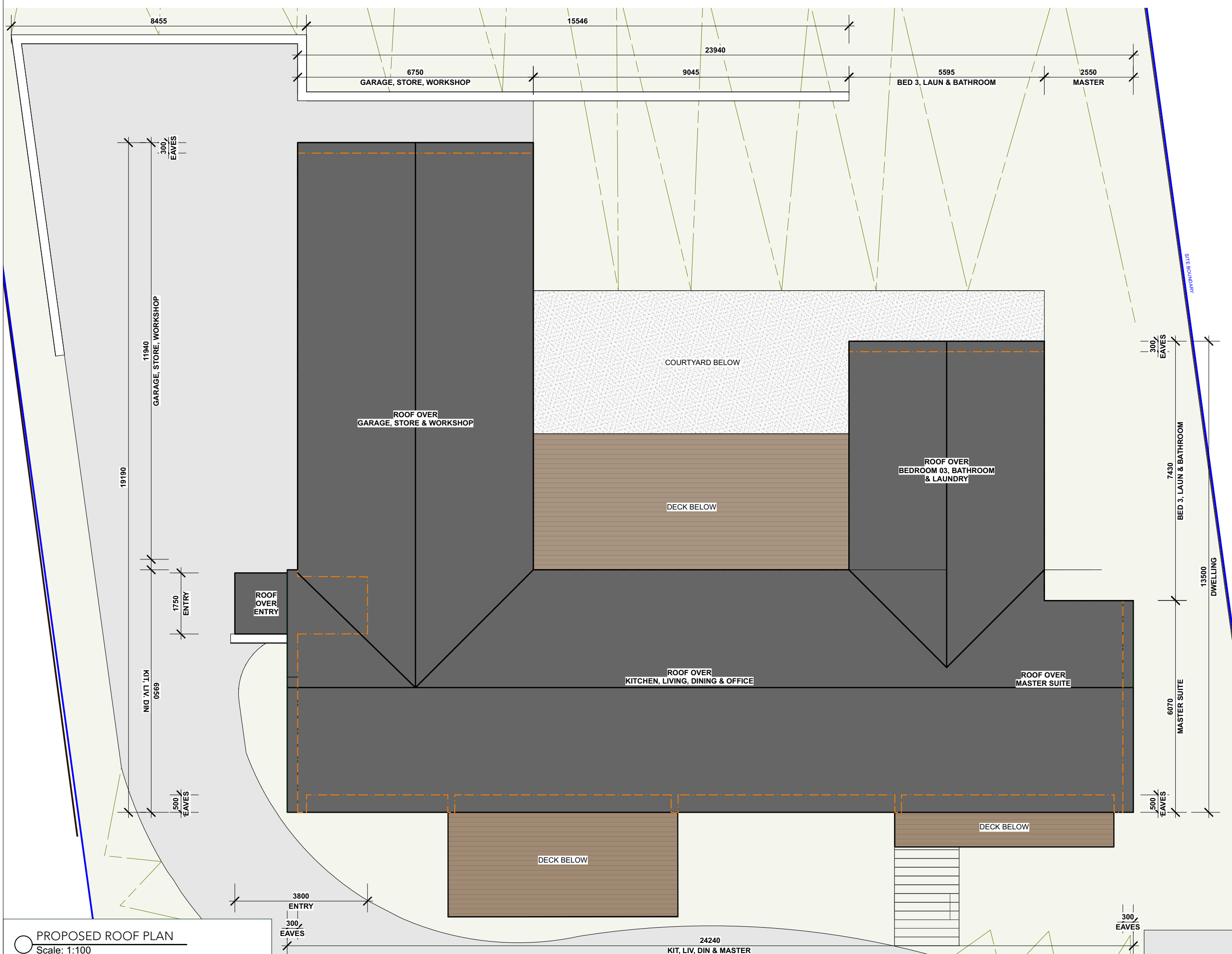
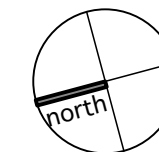
PROPOSED UPPER FLOOR PLAN
Scale: 1:100

UPPER LEVEL FLOOR AREA: 168 SQM
GARAGE & STORE FLOOR AREA: 52 SQM
WORKSHOP AREA: 18 SQM

FRONT DECKS (COMBINED): 32.2 SQM
REAR DECK : 32.6 SQM
REAR COURTYARD : 47 SQM

Document Set ID: 5712424
Version: 1, Version Date: 07/10/2025





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Rev

NO.	DATE	NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
Proposed Roof Plan

Dwg No.
RFI06

Scale
1:100 @ A3

Date
1/10/25

Rev	Drawn	Checked
RFI	EON	AW

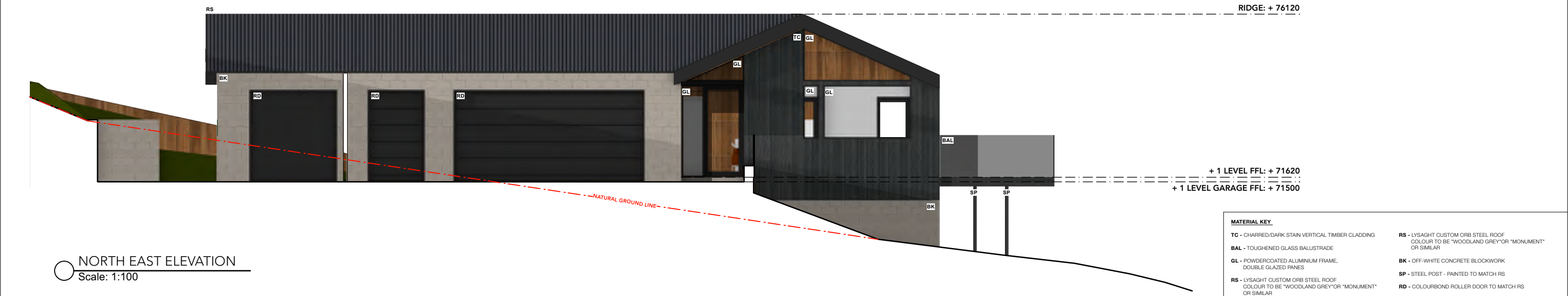
Status	Job No.
RFI	2501

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PROPOSED ROOF PLAN
Scale: 1:100



NORTH WEST ELEVATION
Scale: 1:100



NORTH EAST ELEVATION
Scale: 1:100

MATERIAL KEY	
TC - CHARRED/DARK STAIN VERTICAL TIMBER CLADDING	RS - LYSAGHT CUSTOM ORB STEEL ROOF COLOUR TO BE "WOODLAND GREY" OR "MONUMENT" OR SIMILAR
BAL - TOUGHENED GLASS BALUSTRADE	BK - OFF-WHITE CONCRETE BLOCKWORK
GL - POWDERCOATED ALUMINIUM FRAME, DOUBLE GLAZED PANES	SP - STEEL POST - PAINTED TO MATCH RS
RS - LYSAGHT CUSTOM ORB STEEL ROOF COLOUR TO BE "WOODLAND GREY" OR "MONUMENT" OR SIMILAR	RD - COLOURBOND ROLLER DOOR TO MATCH RS

NOTES

NOTE 01 - DWELLING DOES NOT EXCEED 8.5M HEIGHT ABOVE NATURAL GROUND LINE AS PER TASMANIAN PLANNING SCHEME SECTION 10.4.2 BUILDING HEIGHT

--- NATURAL GROUND LINE

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Document Set ID: 5712424 CC980Y
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NOT FOR CONSTRUCTION

NO.	DATE	NOTE
Rev		

New Dwelling
Project

J & H Niewerth
Client

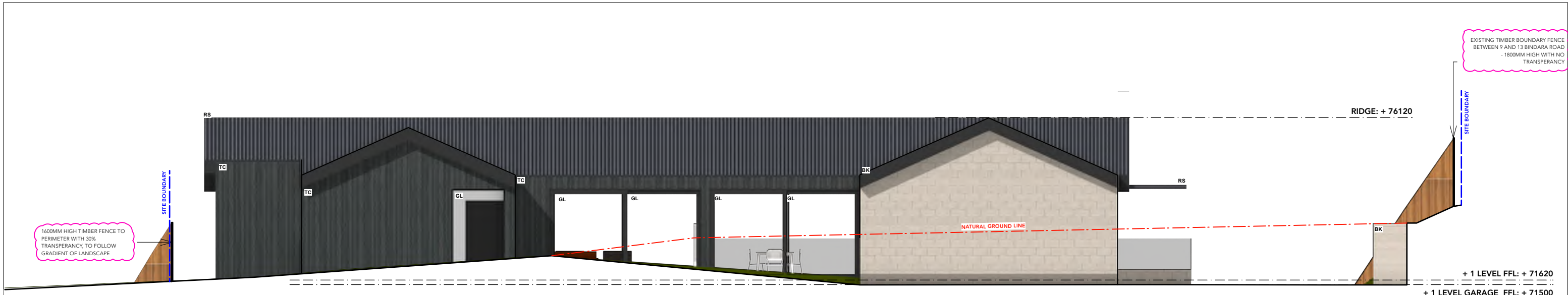
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Address

RFI Status: 2501 Job No.

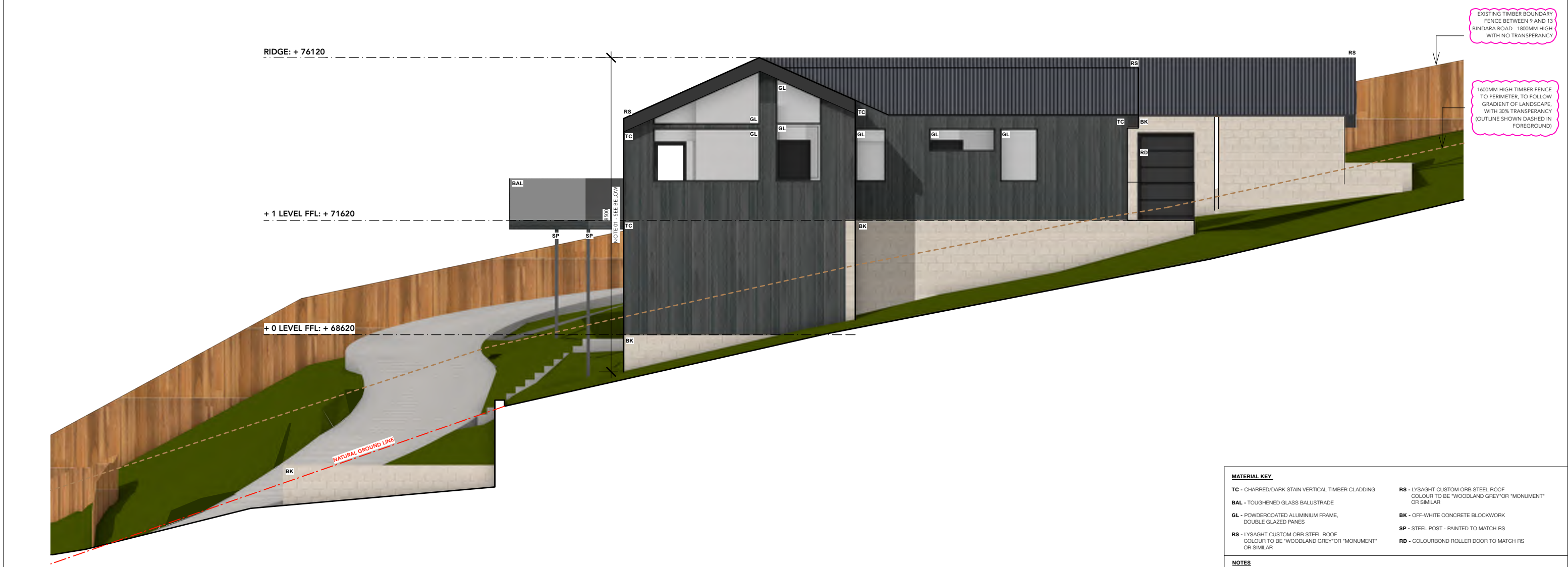
Rev	EON Drawn	AW Checked
1/10/25		
Date		
1:100 @A3		
Scale		

Proposed Elevations
01
Drawing

RFI07
Dwg No.



SOUTH EAST ELEVATION
Scale: 1:100



SOUTH WEST ELEVATION
Scale: 1:100

MATERIAL KEY	
TC - CHARRED/DARK STAIN VERTICAL TIMBER CLADDING	RS - LYSAGHT CUSTOM ORB STEEL ROOF COLOUR TO BE "WOODLAND GREY" OR "MONUMENT" OR SIMILAR
BAL - TOUGHENED GLASS BALUSTRADE	BK - OFF-WHITE CONCRETE BLOCKWORK
GL - POWDERCOATED ALUMINIUM FRAME, DOUBLE GLAZED PANES	SP - STEEL POST - PAINTED TO MATCH RS
RS - LYSAGHT CUSTOM ORB STEEL ROOF COLOUR TO BE "WOODLAND GREY" OR "MONUMENT" OR SIMILAR	RD - COLOURBOND ROLLER DOOR TO MATCH RS

NOTES

NOTE 01 - DWELLING DOES NOT EXCEED 8.5M HEIGHT ABOVE NATURAL GROUND LINE AS PER TASMANIAN PLANNING SCHEME SECTION 10.4.2 BUILDING HEIGHT

--- NATURAL GROUND LINE

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Document Set ID: 5712424 CC980Y
Version: 1, Version Date: 07/10/2025

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NO.	DATE	NOTE
Rev		

New Dwelling Project

J & H Niewerth Client

13 Bindara Road
Address

RFI Status: 2501 Job No.

Rev	EON Drawn	AW Checked
1/10/25		
Date		
1:100 @A3		
Scale		

Proposed Elevations 02
Drawing

RFI08
Dwg No.



3D IMAGE 01



3D IMAGE 02

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Rev	NO.	DATE	NOTE

Client
J & H Niewerth

Address
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Project
New Dwelling

Drawing
3D Images 01

Dwg No.
RFI09

Scale
N/A @ A3

Date
1/10/25

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3D IMAGE 03



3D IMAGE 04
Scale: 1:150

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Rev		
NO.	DATE	NOTE

Client
J & H Niewerth

Address
13 Bindara Road

Project
New Dwelling

Drawing
3D Images 02

Dwg No.
RFI10

Scale
N/A @ A3

Date
1/10/25

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Status	Job No.
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3D IMAGE 05

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Contractors are to verify all dimensions on site prior to commencing any work or producing shop drawings

All dimensions are in millimetres unless otherwise noted

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Rev	NO.	DATE	NOTE

Client
J & H Niewerth

Address
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Project
New Dwelling

Drawing
3D Images 03

Dwg No.
RFI11

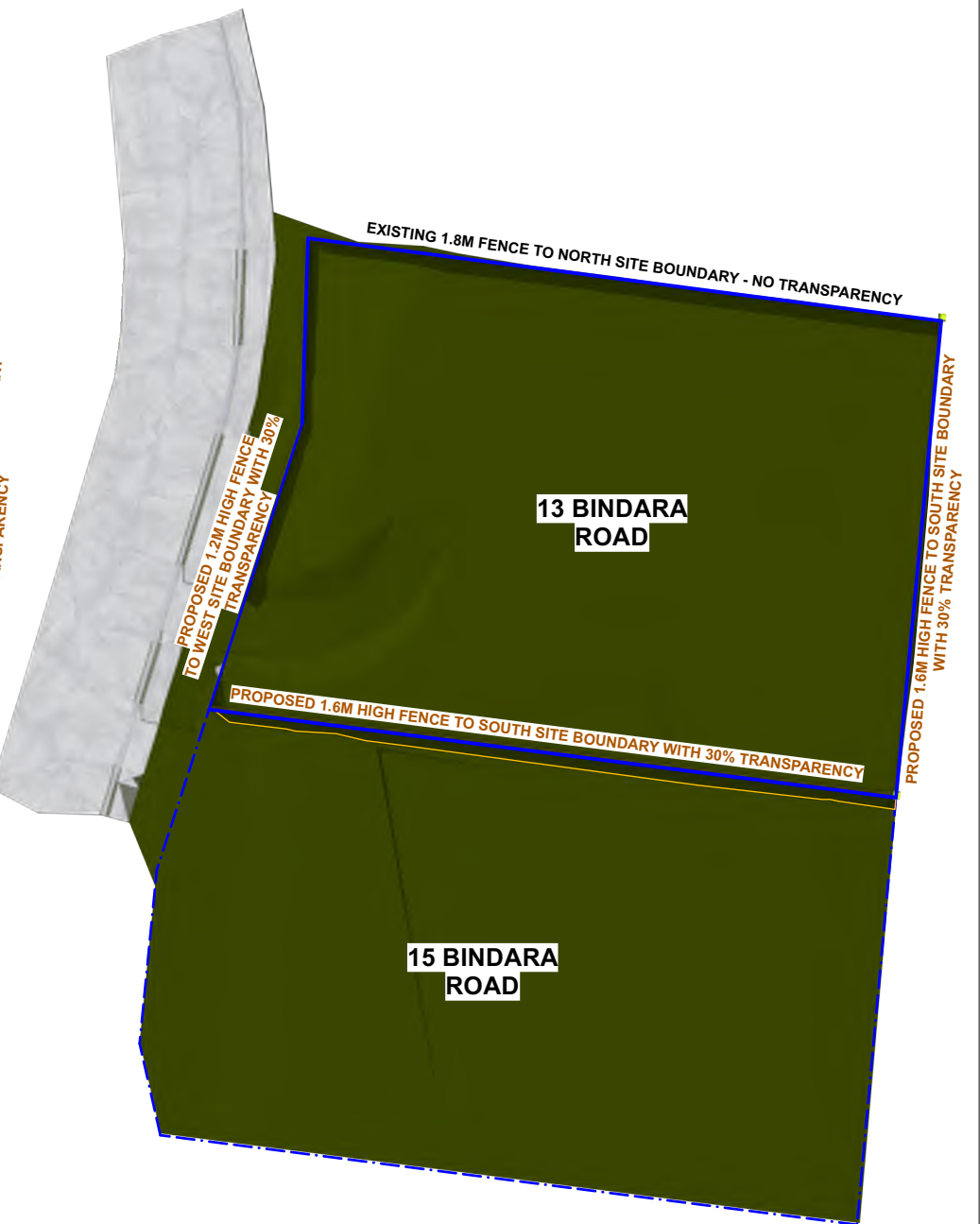
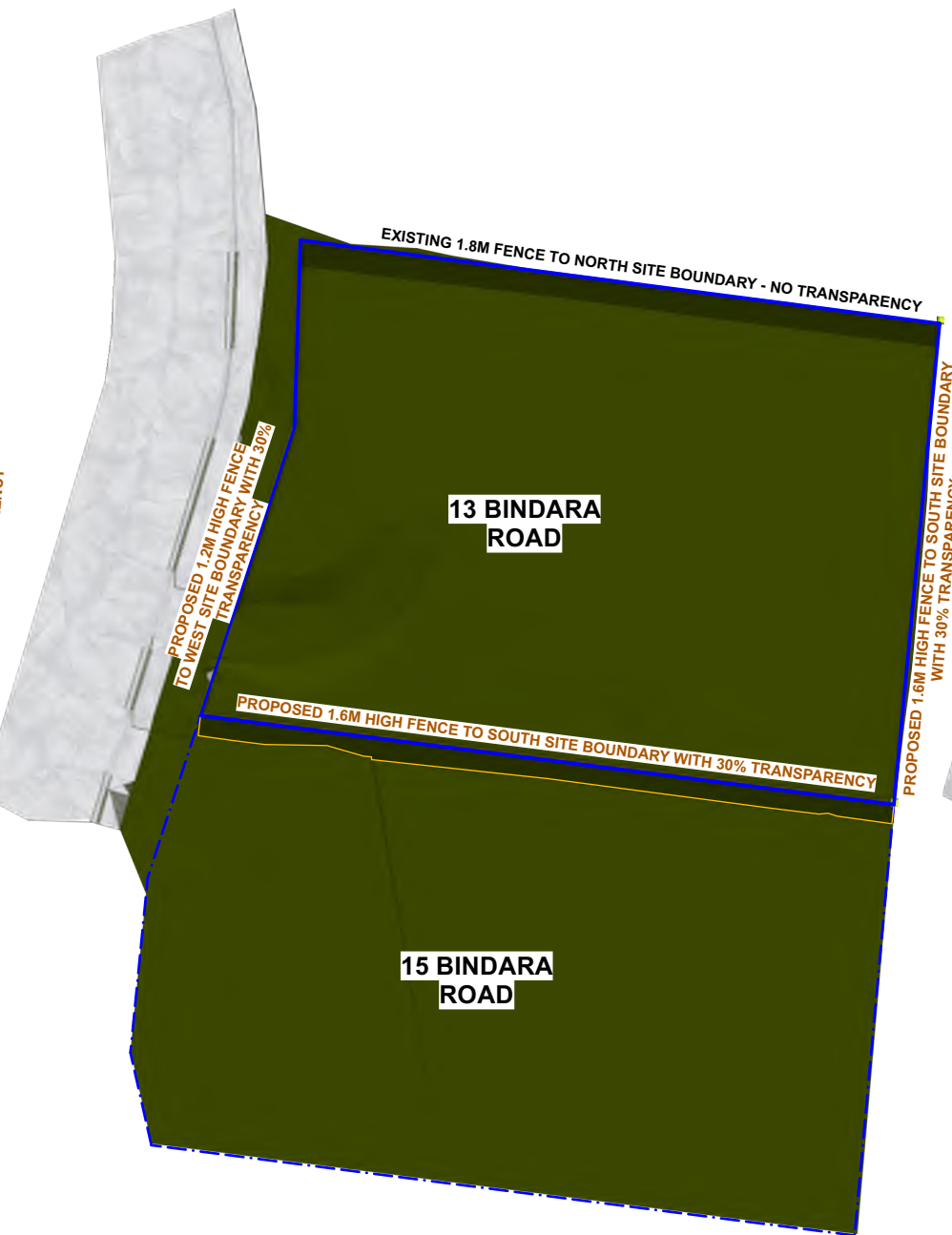
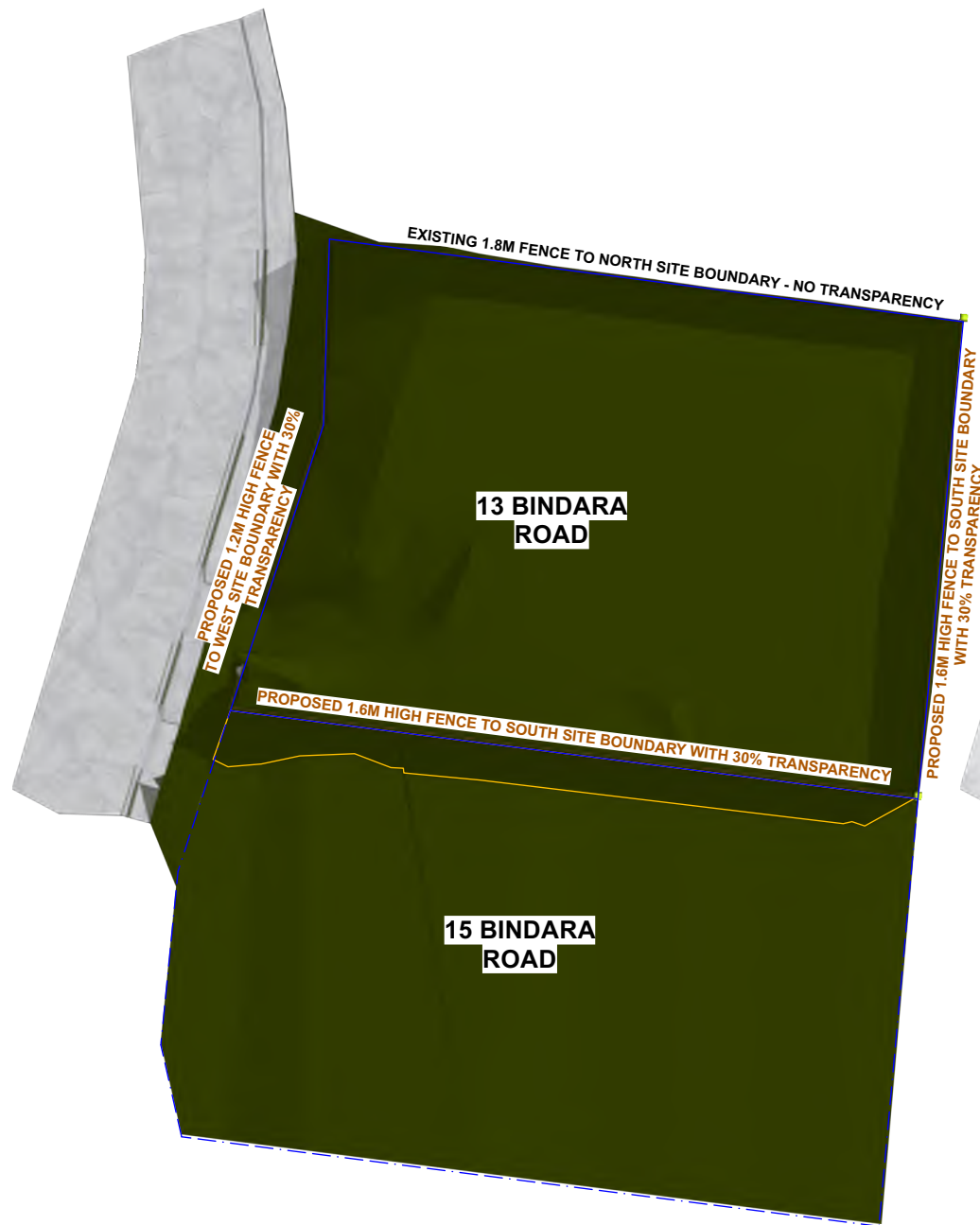
Scale
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Date
1/10/25

Rev	Drawn	Checked
	EON	AW

Status	Job No.
RFI	2501

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T (03) 6234 5644
E info@idwarchitecture.com.au
W idwarchitecture.com.au
Acc No CC980Y



○ SHADOW DIAGRAM - MARCH 21ST - 9AM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM NEW FENCE AT 13 BINDARA ROAD : **120 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **8%**

○ SHADOW DIAGRAM - MARCH 21ST - 12PM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM NEW FENCE AT 13 BINDARA ROAD : **64 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **4%**

○ SHADOW DIAGRAM - MARCH 21ST - 3PM
Scale: 1:500

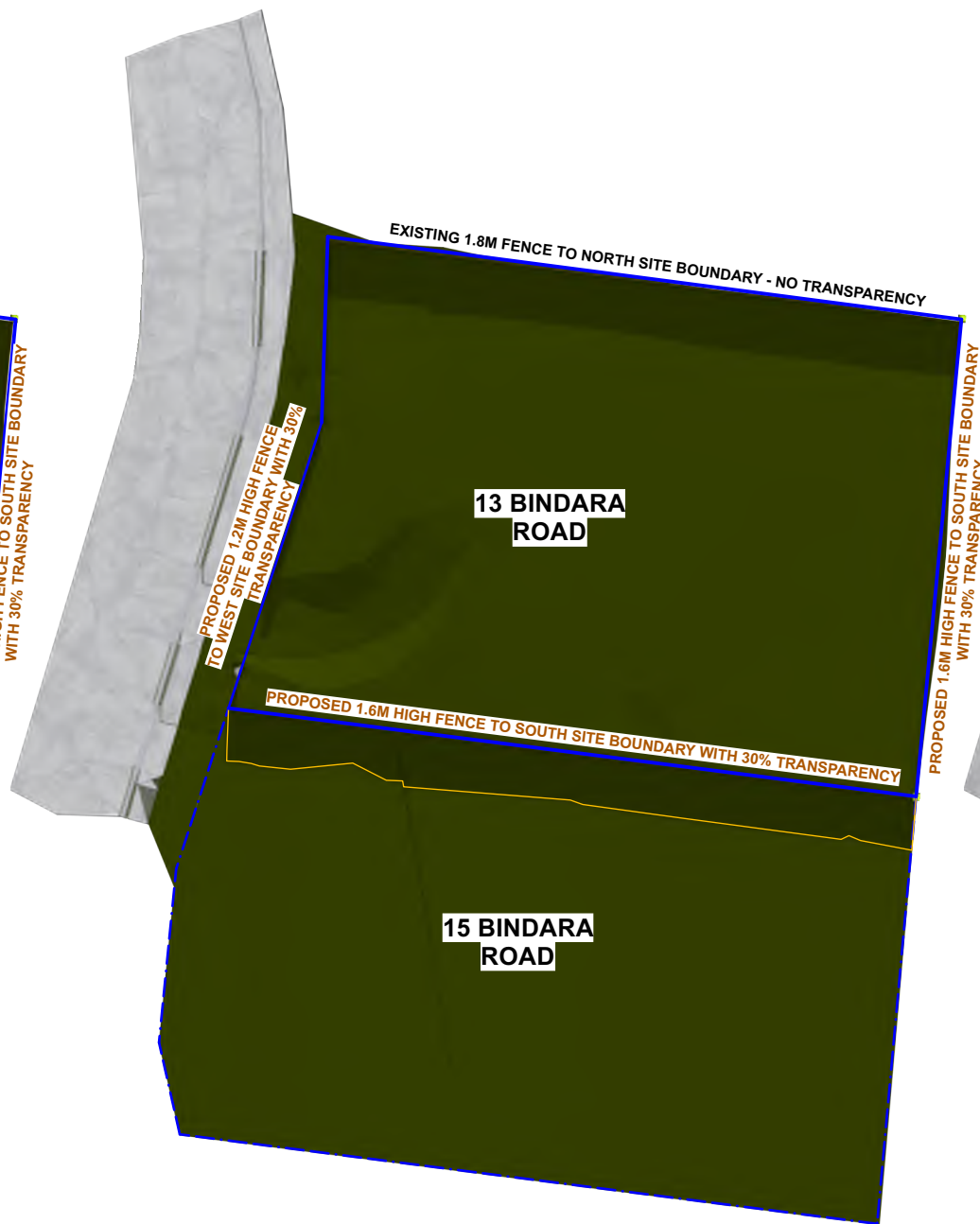
SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM NEW FENCE AT 13 BINDARA ROAD : **38 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **3%**

————— 13 BINDARA ROAD SITE BOUNDARY
 - - - - - 15 BINDARA ROAD SITE BOUNDARY



○ SHADOW DIAGRAM - JUNE 21ST - 9AM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **1037 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **68%**



○ SHADOW DIAGRAM - JUNE 21ST - 12PM
Scale: 1:500

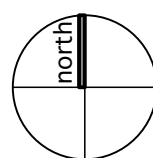
SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **172 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **11%**

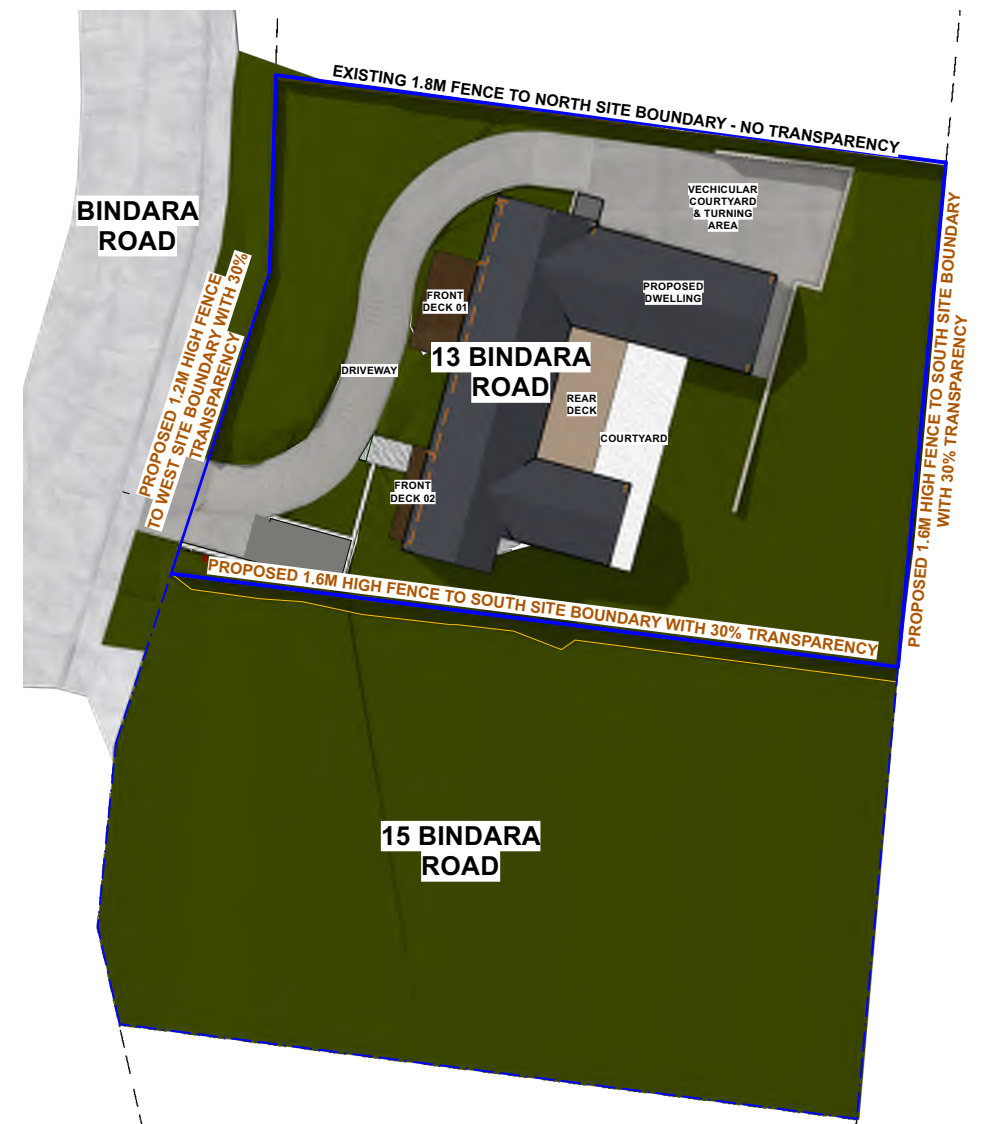
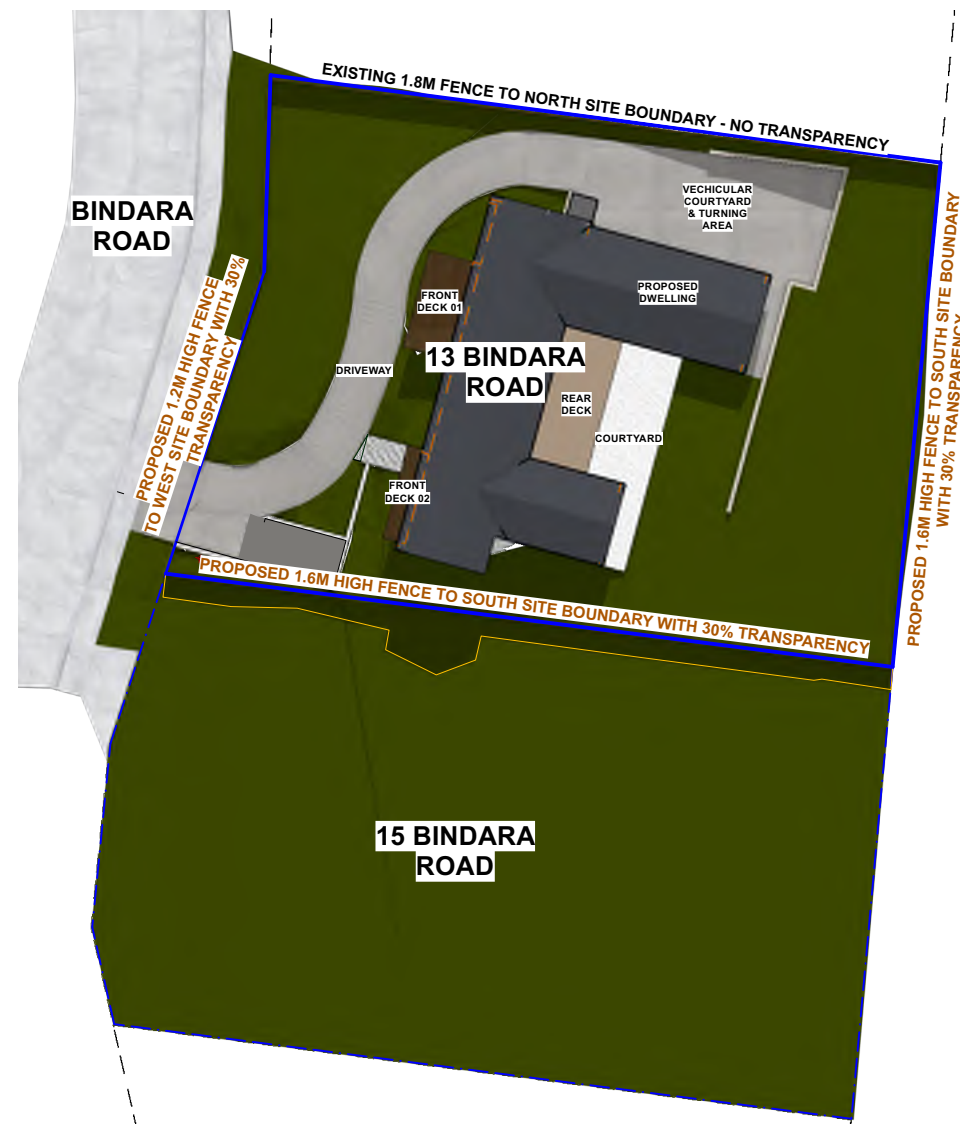
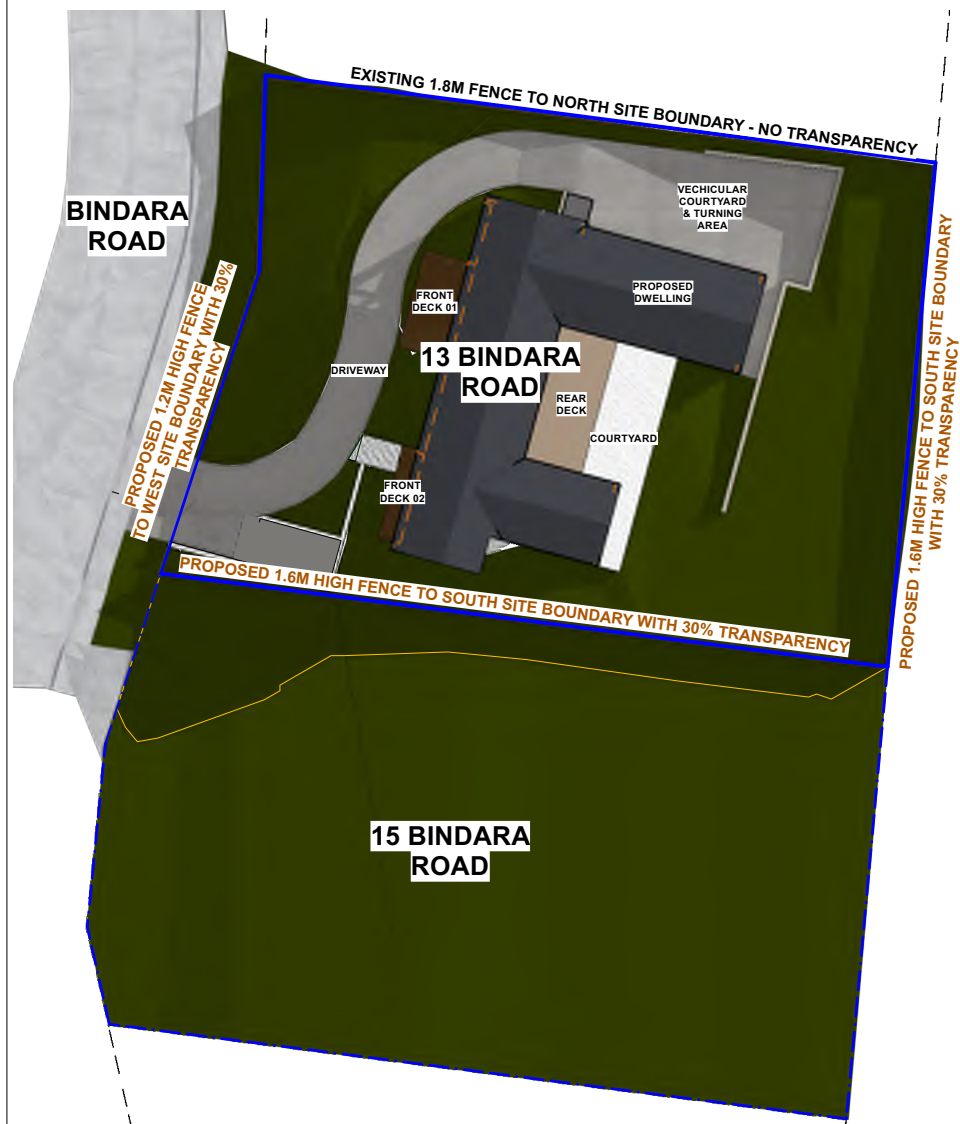


○ SHADOW DIAGRAM - JUNE 21ST -3PM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **131 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM FENCE ONLY AT 13 BINDARA ROAD: **9%**

————— 13 BINDARA ROAD SITE BOUNDARY
 - - - - - 15 BINDARA ROAD SITE BOUNDARY





○ SHADOW DIAGRAM - MARCH 21ST - 9AM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **203 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **13%**

○ SHADOW DIAGRAM - MARCH 21ST - 12PM
Scale: 1:500

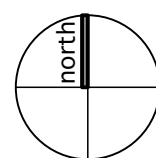
SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **86 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **6%**

○ SHADOW DIAGRAM - MARCH 21ST - 3PM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **47 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **3%**

—— 13 BINDARA ROAD SITE BOUNDARY
 - - - - 15 BINDARA ROAD SITE BOUNDARY

NOT FOR CONSTRUCTION



NO. DATE NOTE
 Rev

New Dwelling
 Project

J & H Niewerth
 Client

13 Bindara Road

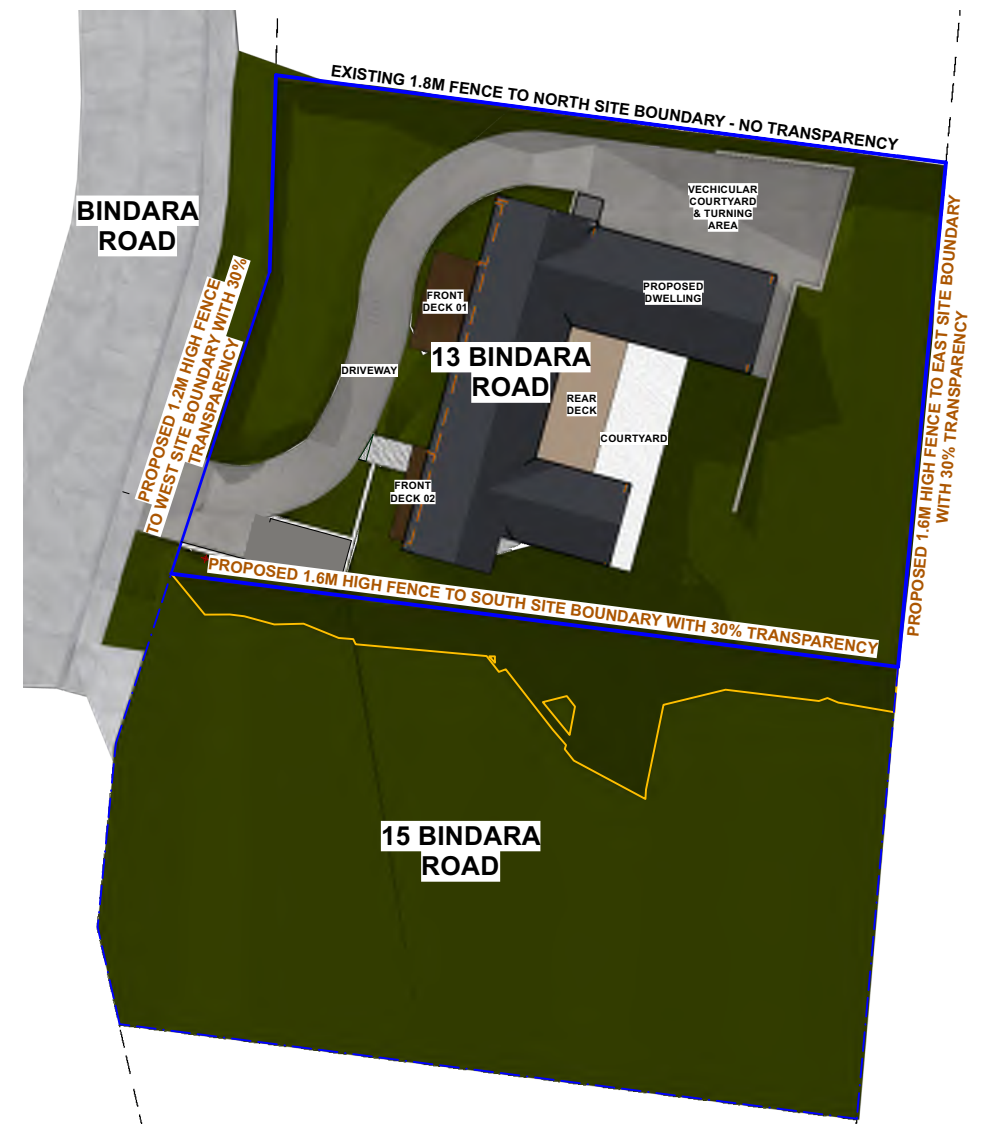
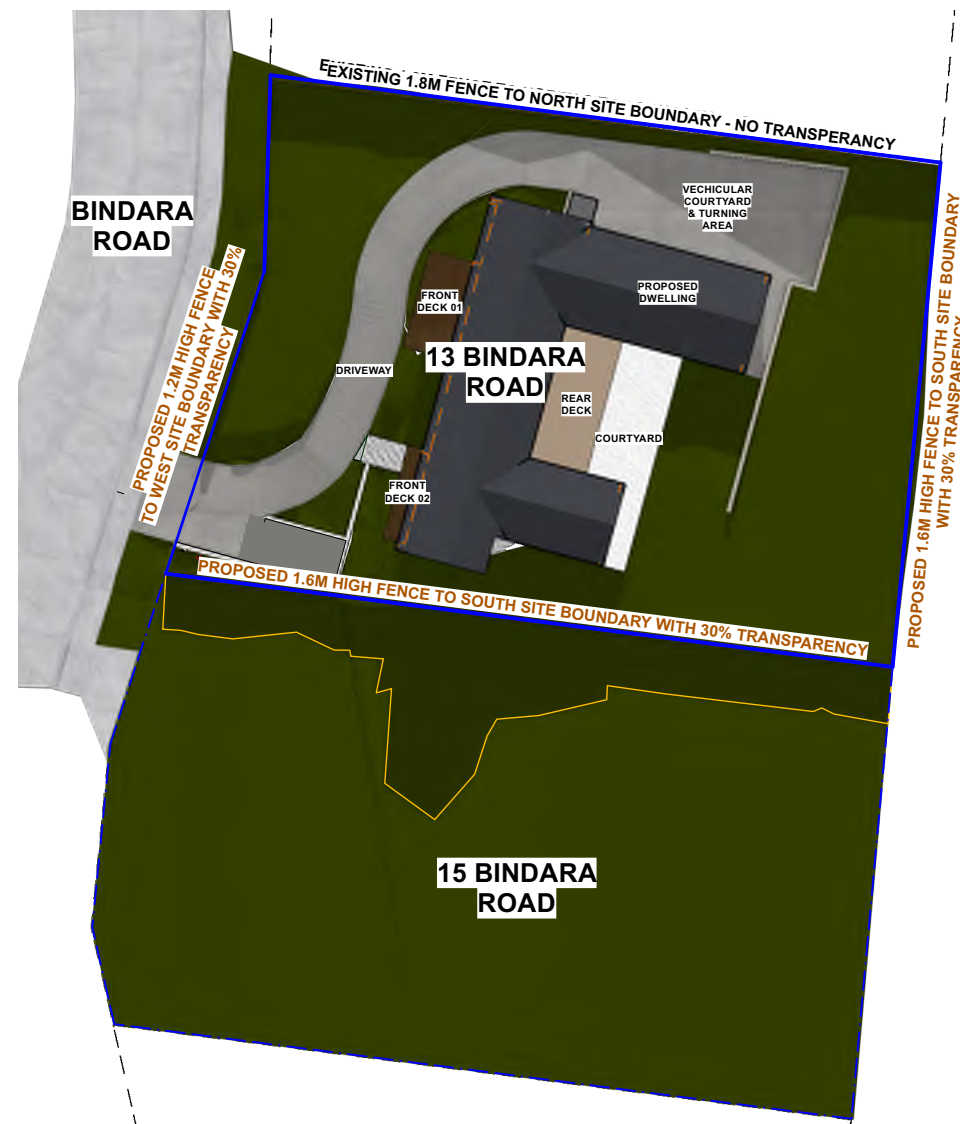
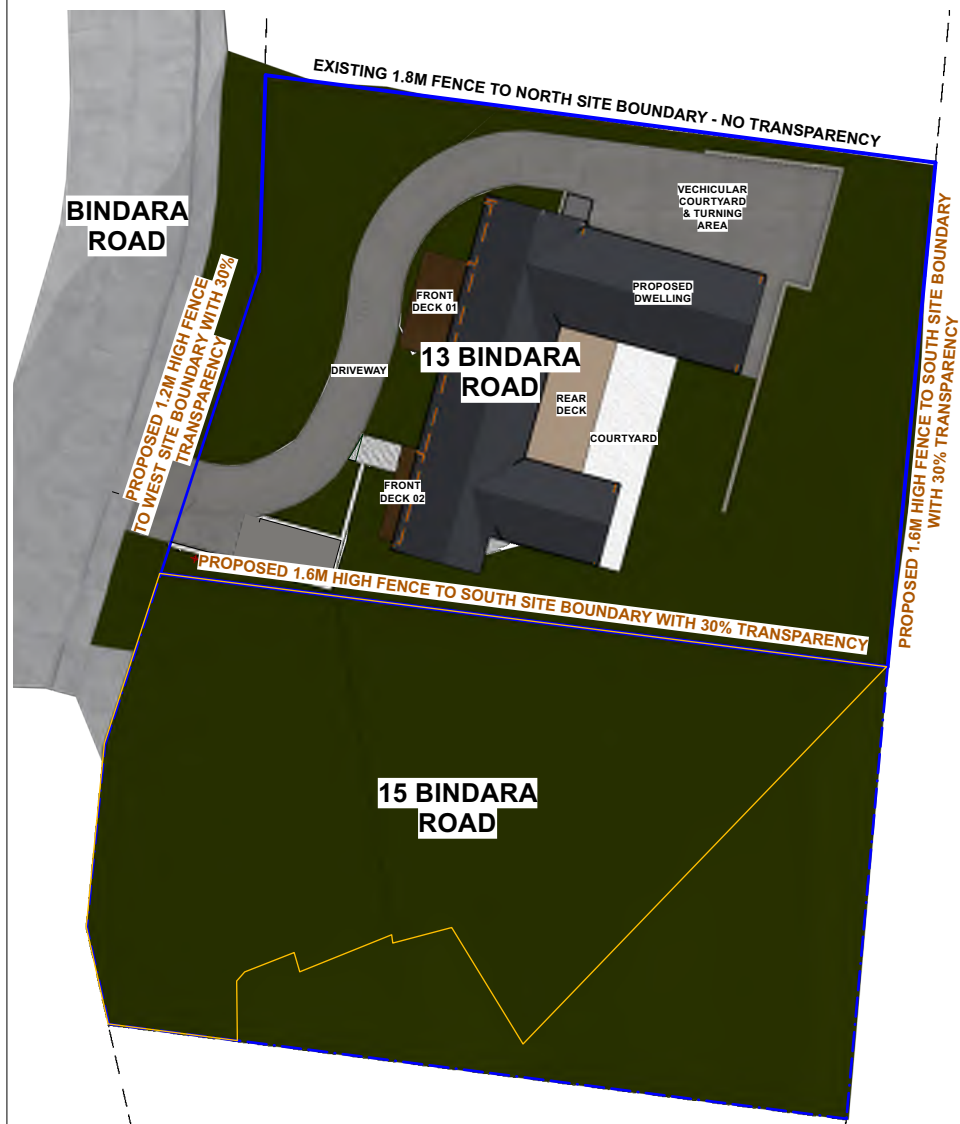
Address

RFI Status 2501 Job No.

Rev	EON Drawn	AW Checked
1/10/25		
Date		
1:500 @A3		
Scale		

Proposed Shadow
 Diagrams (March 21st)
 Drawing

RFI14
 Dwg No.



○ SHADOW DIAGRAM - JUNE 21ST - 9AM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **1039 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **68%**

○ SHADOW DIAGRAM - JUNE 21ST - 12PM
Scale: 1:500

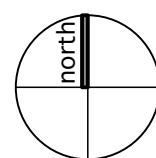
SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **249 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **16 %**

○ SHADOW DIAGRAM - JUNE 21ST - 3PM
Scale: 1:500

SITE AREA OF 15 BINDARA ROAD : **1511 SQM**
 AREA OF SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD : **185 SQM**
 % OF SITE COVERED BY SHADOW CAST FROM DEVELOPMENT AT 13 BINDARA ROAD: **12 %**

— 13 BINDARA ROAD SITE BOUNDARY
 - - - 15 BINDARA ROAD SITE BOUNDARY

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NO. DATE NOTE
 Rev

New Dwelling
 Project

J & H Niewerth
 Client

13 Bindara Road

Address

RFI Status 2501 Job No.

Rev EON Drawn AW Checked

1/10/25
 Date

1:500 @A3
 Scale

Proposed Shadow
 Diagrams (June 21st)
 Drawing

RFI15
 Dwg No.

CIVIL / HYDRAULIC DRAWINGS
PROPOSED DRIVEWAY (NEW HOUSE)
J & H NIEWERTH
13 BINDARA ROAD, TRANMERE

DRAWING SCHEDULE

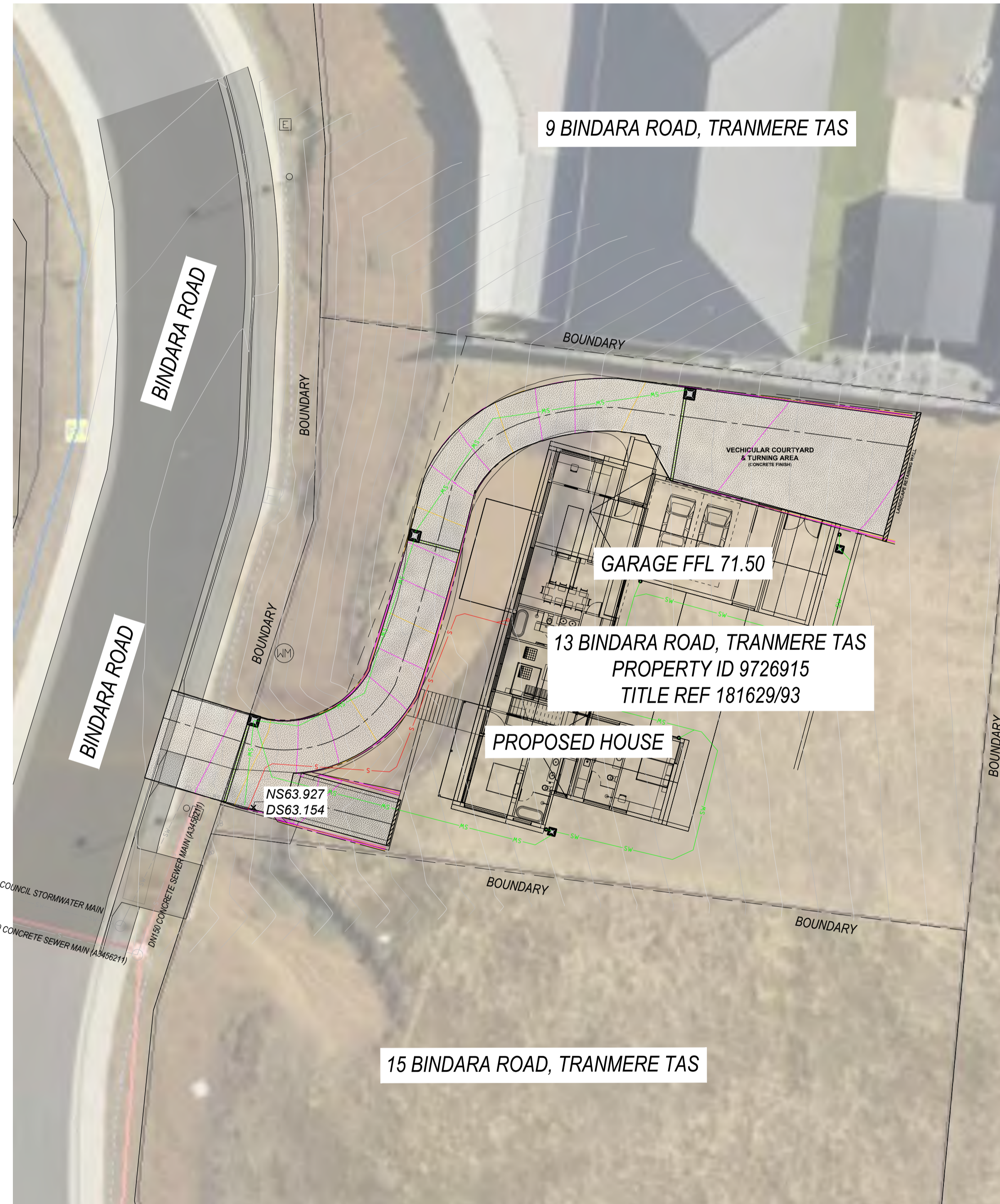
SHEET	DRAWING TITLE	REV	DATE
C01	TITLE & OVERALL PLAN	0	22/10/2025
C02	NOTES & LEGEND	0	22/10/2025
C03	OVERALL CIVIL / HYDRAULIC LAYOUT	0	22/10/2025
C04	DETAILED LAYOUT 1	0	22/10/2025
C05	DETAILED LAYOUT 2	0	22/10/2025
C06	DRIVEWAY LONG SECTION	0	22/10/2025
C07	DRIVEWAY CROSS SECTIONS	0	22/10/2025
C08	VEHICLE TURNPATHS	0	22/10/2025
C09	CONSTRUCTION DETAILS 1	0	22/10/2025



FYSH DESIGN
 CIVIL HYDRAULIC

WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THE EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

NOT FOR CONSTRUCTION



OVERALL PLAN
 SCALE 1:200 (mm) (A1)

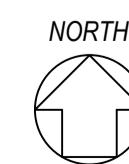


REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	CF 22/10/2025			

BASE SURVEY SUPPLIED BY
 PDA SURVEYORS
 SURVEYED ON: 11/09/2021
 HORIZONTAL DATUM: MGA2020 AHD 83
 GRID: GDA2020, ZONE 55
 LEVEL DATUM: AHD



FYSH DESIGN
 UNIT 4, 160 BUNGANA WAY
 CAMBRIDGE TAS
 PH: 0414 149 394
 ACCREDITATION: BSD LICENCE NO. 479819732



PROPOSED DWELLING / DRIVEWAY
 CLIENT: J & H NIEWERTH
 13 BINDARA ROAD, TRANMERE
 DRAWING TITLE
 TITLE AND OVERALL PLAN

DESIGNED	DRAWN
CF	CF
PROJECT	SHEET NO.
CKD-CIV-183	C01

SCALE	REVISION
AS NOTED	0

9 BINDARA ROAD, TRANMERE TAS

PROPOSED CONCRETE DRIVEWAY WITH 125 MIN THICK 25MPA CONCRETE

PROPOSED HOUSE

GARAGE FFL 71.50

13 BINDARA ROAD, TRANMERE TAS
PROPERTY ID 9726915
TITLE REF 181629/93

BLOCKWORK OR TASMAN RETAINING WALL WHERE REQUIRED (DETAILS TBC)

DN100 STORMWATER LINE FROM HOUSE DRAINAGE

15 BINDARA ROAD, TRANMERE TAS

EXISTING TASWATER WATER PROPERTY CONNECTION / METER (A3456423) (AS LOCATED BY SURVEYOR)

EXISTING TYPE KC KERB AND CHANNEL TO BE NEATLY SAWCUT, REMOVED AND REPLACED WITH NEW MIN. 5.40m WIDE DOUBLE CROSSOVER AS PER LGAT TSD-R09 AT DEVELOPERS COST

EXISTING TASWATER SEWER PROPERTY CONNECTION (IO)

EXISTING STORMWATER PROPERTY CONNECTION (IO)

CAUTION: EXISTING COMMUNICATIONS AND ELECTRICAL CONDUITS PRESENT

OVERALL LAYOUT PLAN
SCALE 1:100 (mm)

NOT FOR CONSTRUCTION



REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025			



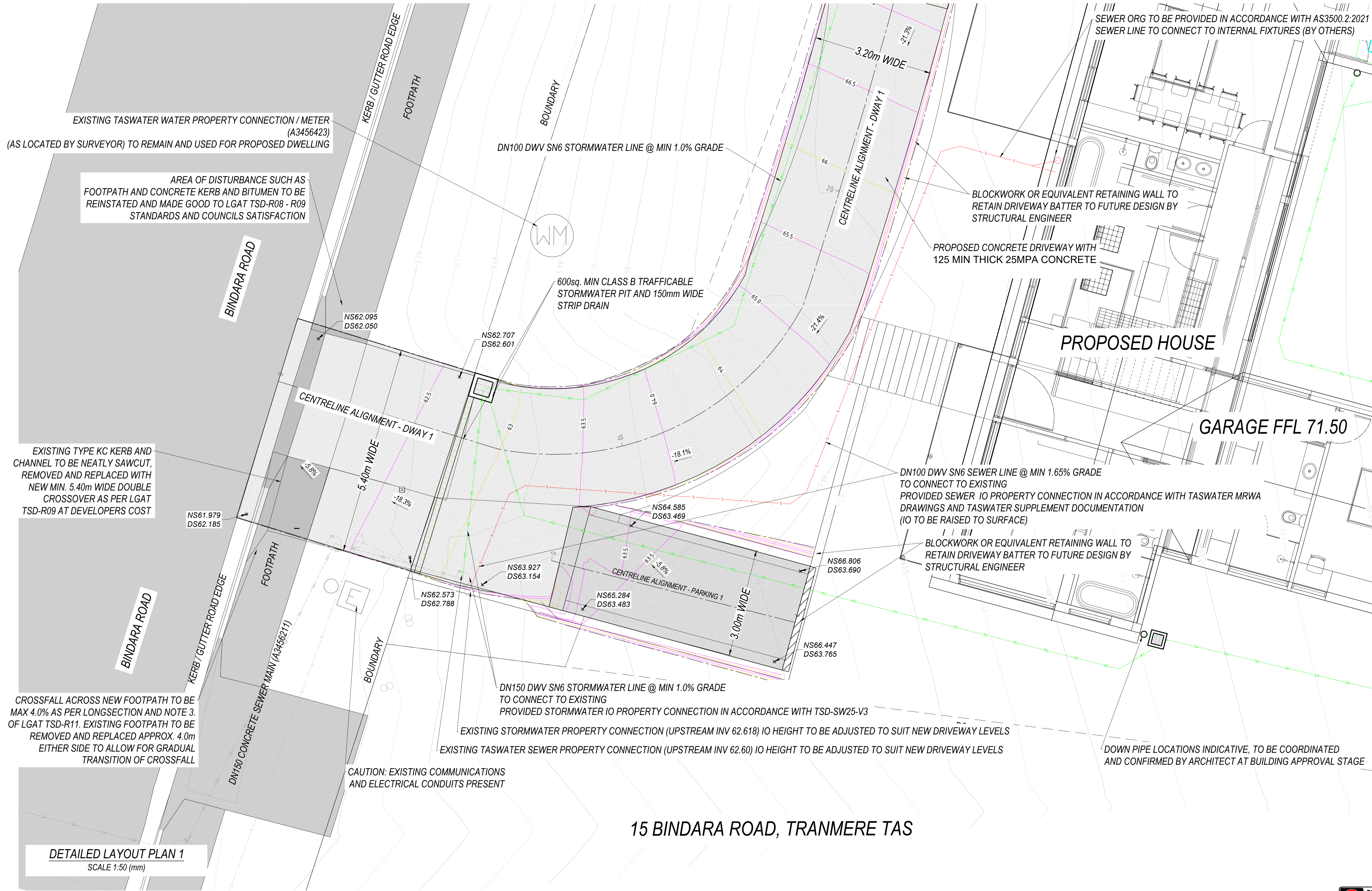
FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732



PROPOSED DWELLING / DRIVEWAY
CLIENT: J & H NIEWERTH
13 BINDARA ROAD, TRANMERE
DRAWING TITLE
OVERALL LAYOUT PLAN

DESIGNED	DRAWN
CF	CF
PROJECT	SHEET NO.
CKD-CIV-183	C03

SCALE	REVISION
AS NOTED	0



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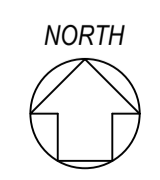
15 BINDARA ROAD, TRANMERE TAS

DETAILED LAYOUT PLAN 1
SCALE 1:50 (mm)

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025			



FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732



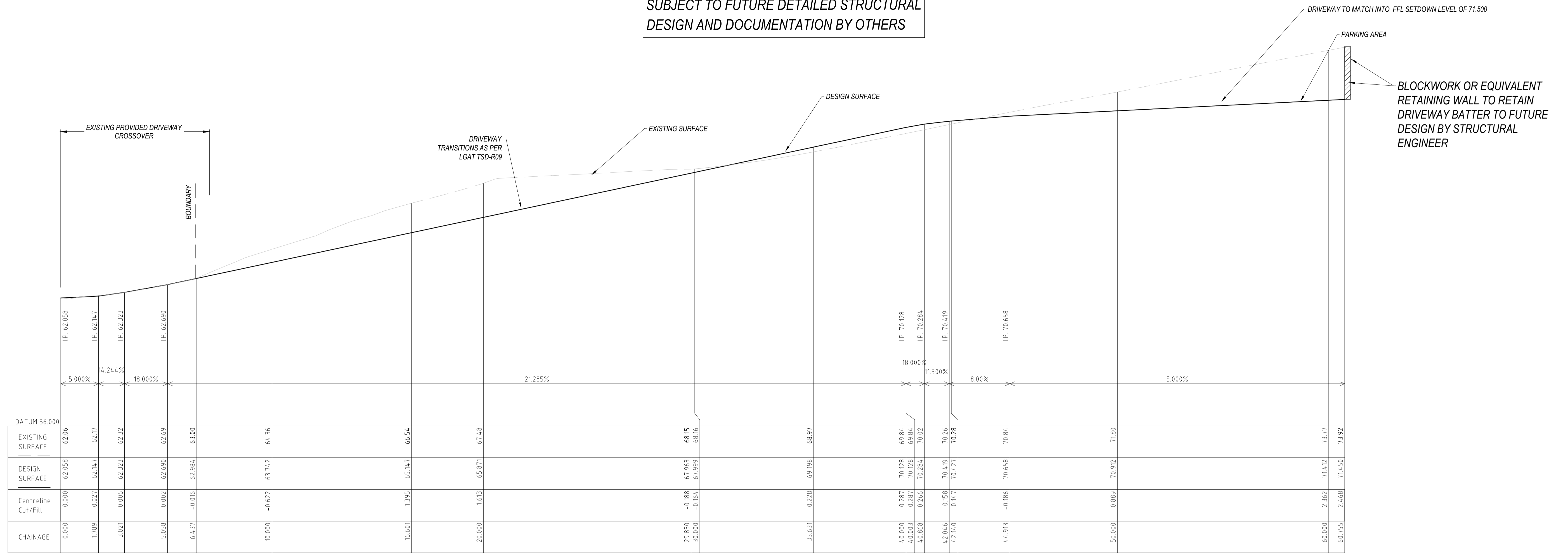
PROPOSED DWELLING / DRIVEWAY
CLIENT: J & H NIEWERTH
13 BINDARA ROAD, TRANMERE
DRAWING TITLE
DETAILED LAYOUT PLAN 1

DESIGNED	DRAWN
CF	CF
PROJECT	SHEET NO.
CKD-CIV-183	C04



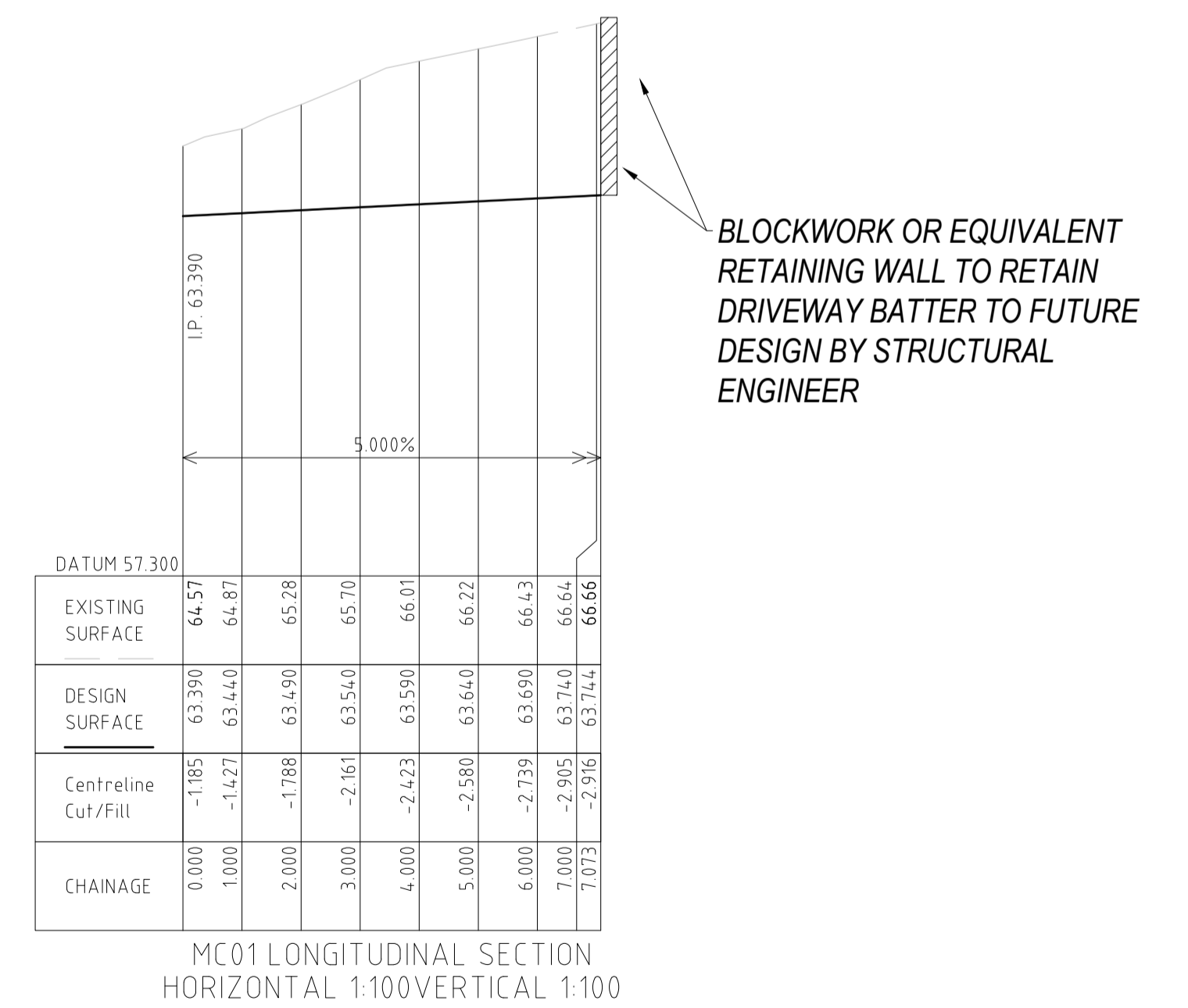
SCALE	REVISION
AS NOTED	0

GENERAL NOTE:
 FINAL PARKING DECK (APPROX. CH.50 CH 60 ONWARDS) LEVELS AND FALLS AND RETAINING WALL/VEHICLE BARRIERS SUBJECT TO FUTURE DETAILED STRUCTURAL DESIGN AND DOCUMENTATION BY OTHERS



DWAY 1 - LONGITUDINAL SECTION

HORIZ 1:100 VERT 1:100



MC01 LONGITUDINAL SECTION
 HORIZONTAL 1:100 VERTICAL 1:100

NOT FOR CONSTRUCTION



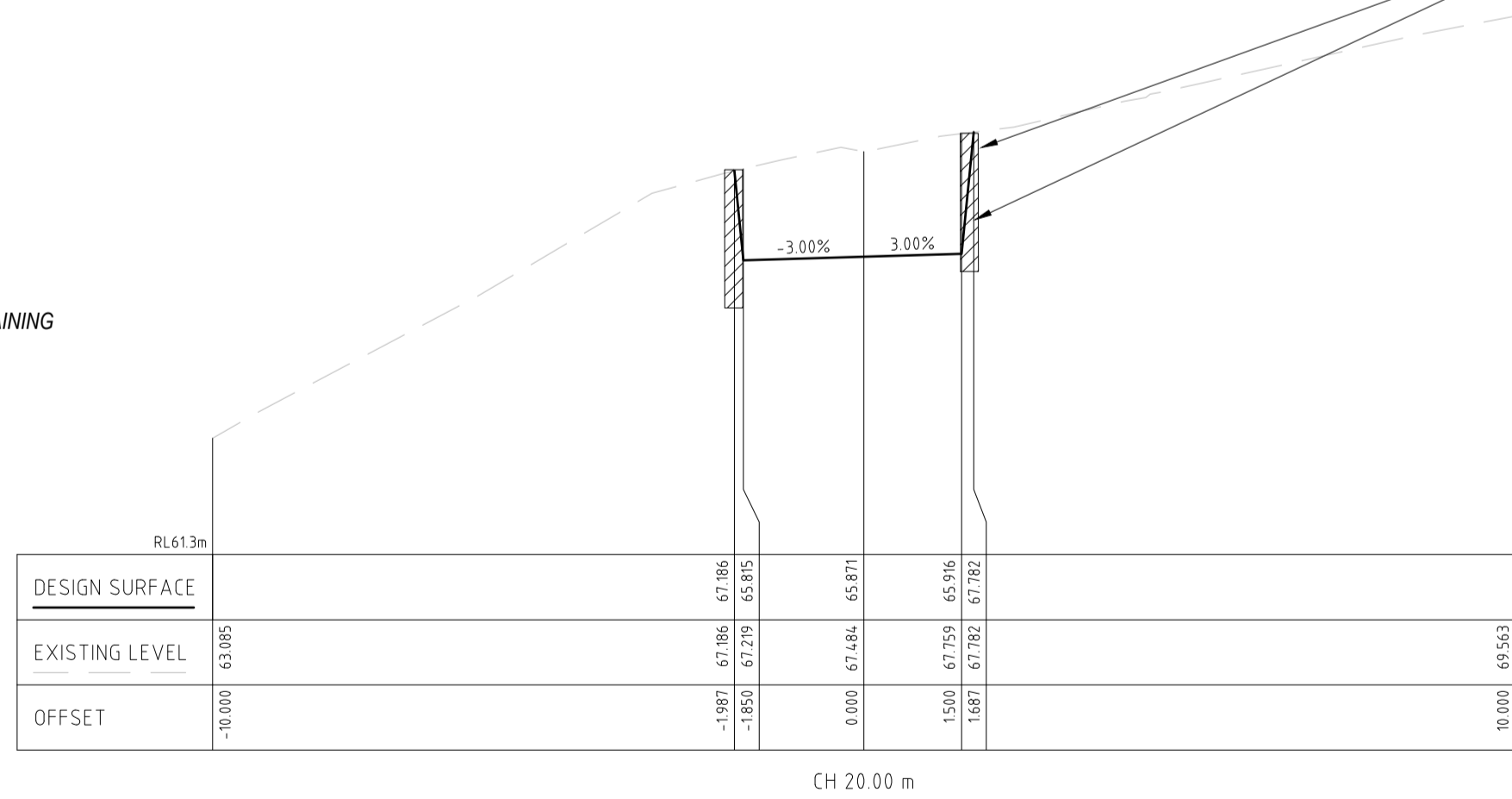
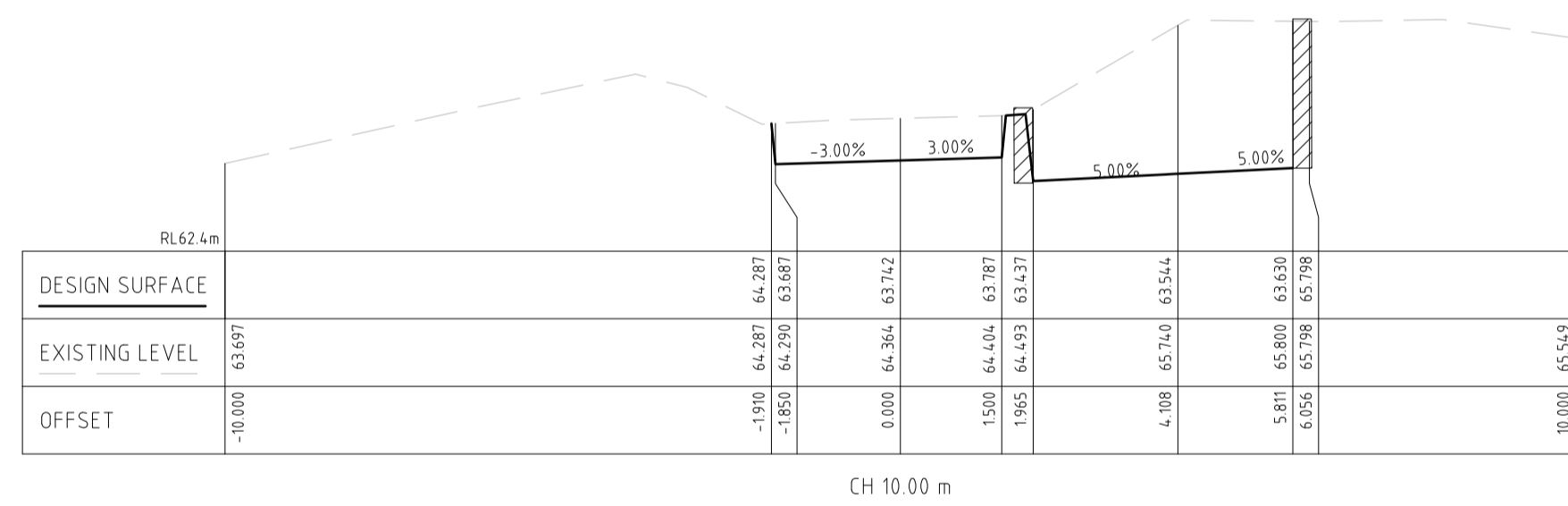
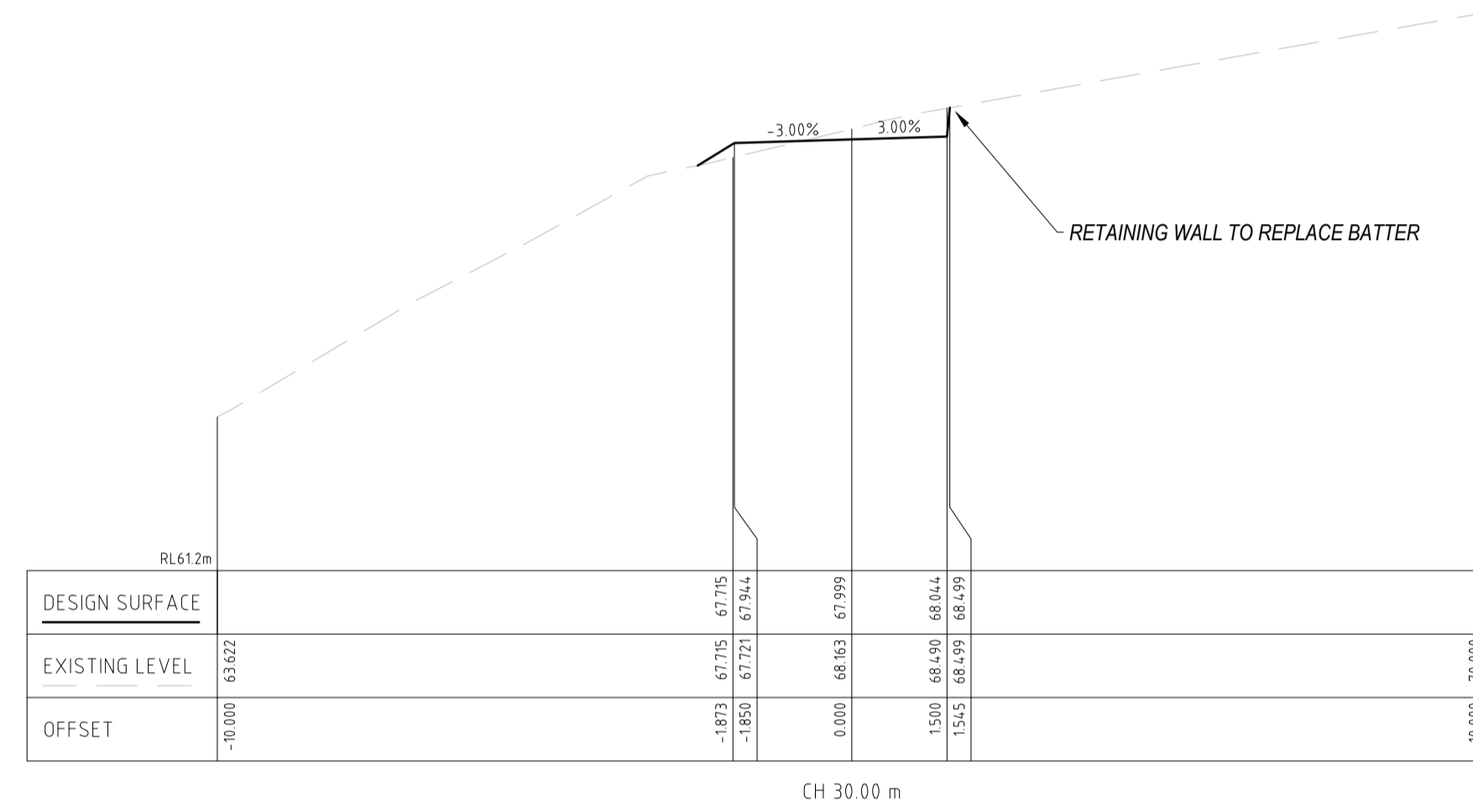
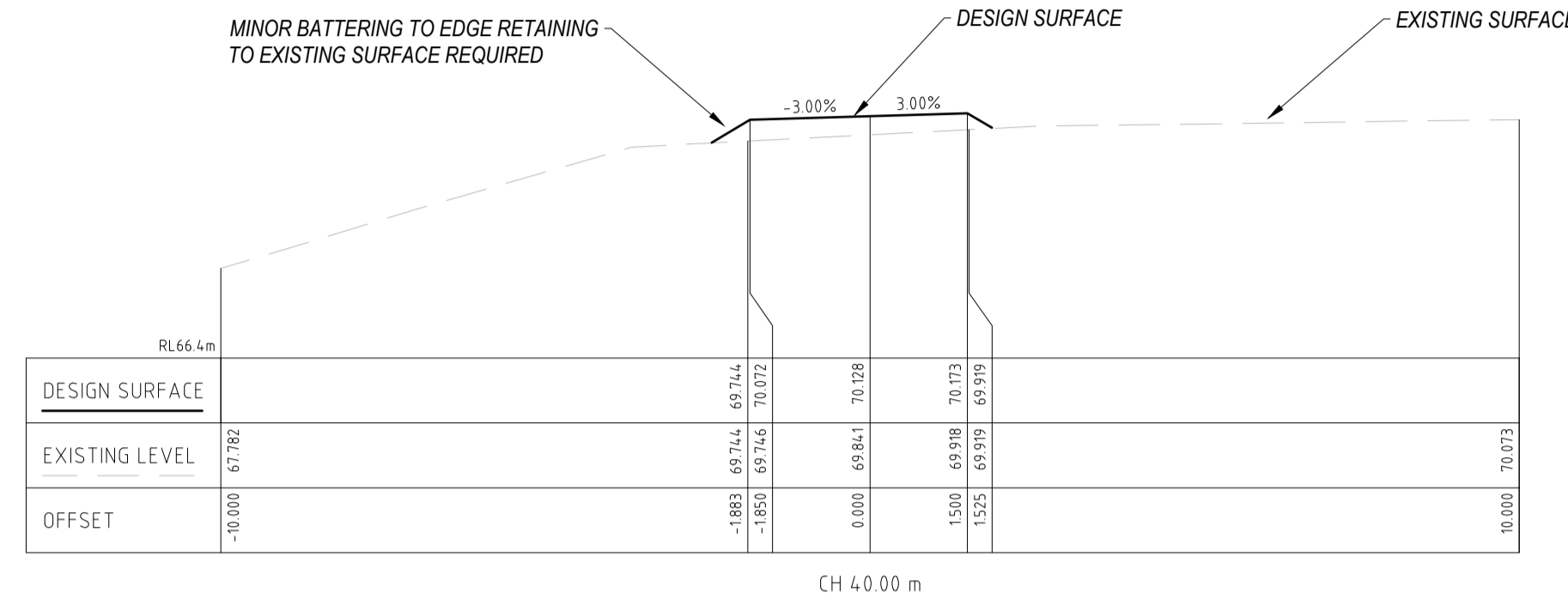
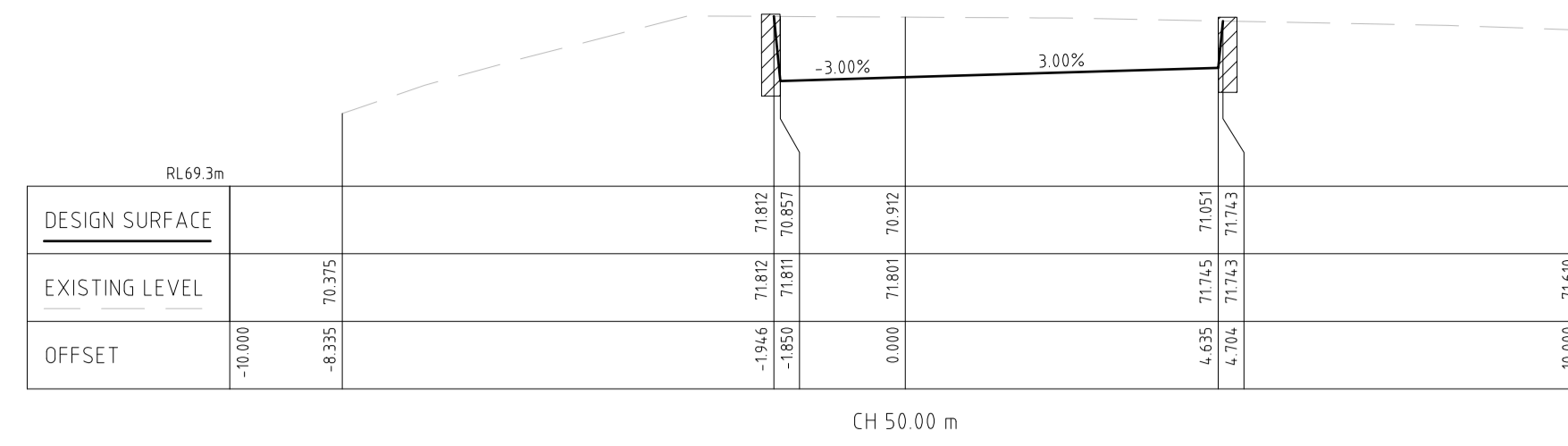
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0	FOR PLANNING / DA APPROVAL	22/10/2025			



FYSH DESIGN
 UNIT 4, 160 BUNGANA WAY
 CAMBRIDGE TAS
 PH: 0414 149 394
 ACCREDITATION: BSD LICENCE NO. 479819732

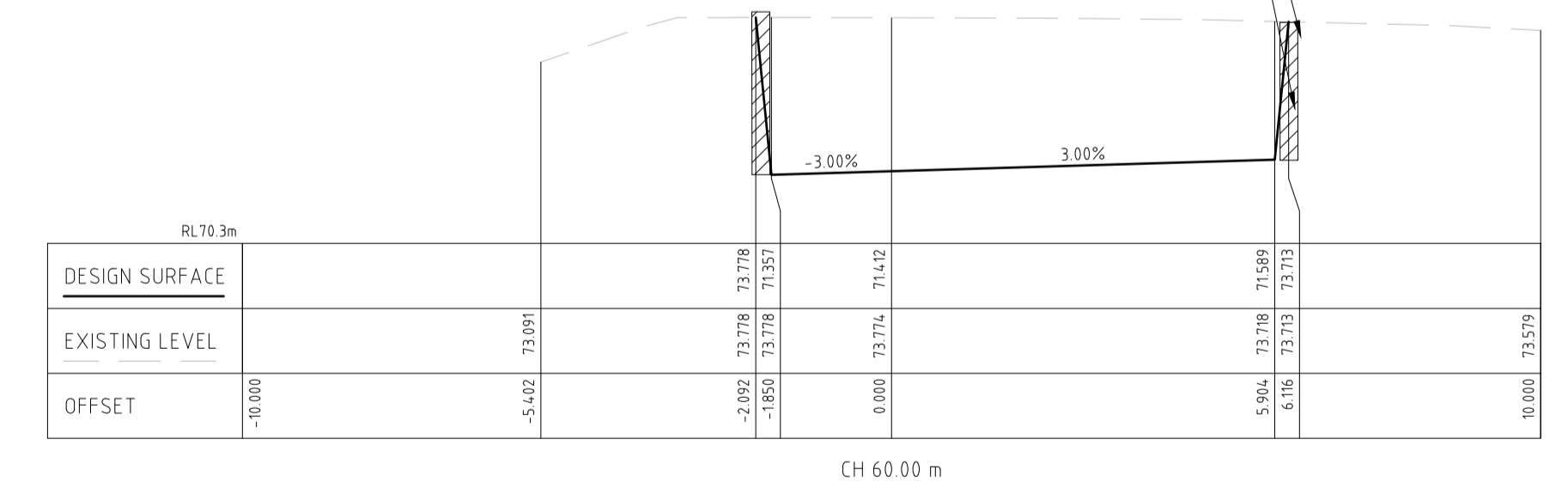
PROPOSED DWELLING / DRIVEWAY
 CLIENT: J & H NIEWERTH
 13 BINDARA ROAD, TRANMERE
 DRAWING TITLE
 DRIVEWAY LONG SECTIONS

DESIGNED	DRAWN	SCALE
CF	CF	1:100
PROJECT	SHEET NO.	AS NOTED
CKD-CIV-183	C06	REVISION
		0



BLOCKWORK OR EQUIVALENT
RETAINING WALL TO RETAIN
DRIVEWAY BATTER TO FUTURE
DESIGN BY STRUCTURAL
ENGINEER

BLOCKWORK OR EQUIVALENT
RETAINING WALL TO RETAIN
DRIVEWAY BATTER TO FUTURE
DESIGN BY STRUCTURAL
ENGINEER



DWAY 1 - CROSS SECTIONS
HORIZ 1:100 VERT 1:100

EXISTING STORMWATER PROPERTY CONNECTION (UPSTREAM INV 62.618) IO HEIGHT TO BE ADJUSTED TO SUIT NEW DRIVEWAY LEVELS
EXISTING TASWATER SEWER PROPERTY CONNECTION (UPSTREAM INV 62.60) IO HEIGHT TO BE ADJUSTED TO SUIT NEW DRIVEWAY LEVELS

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025			



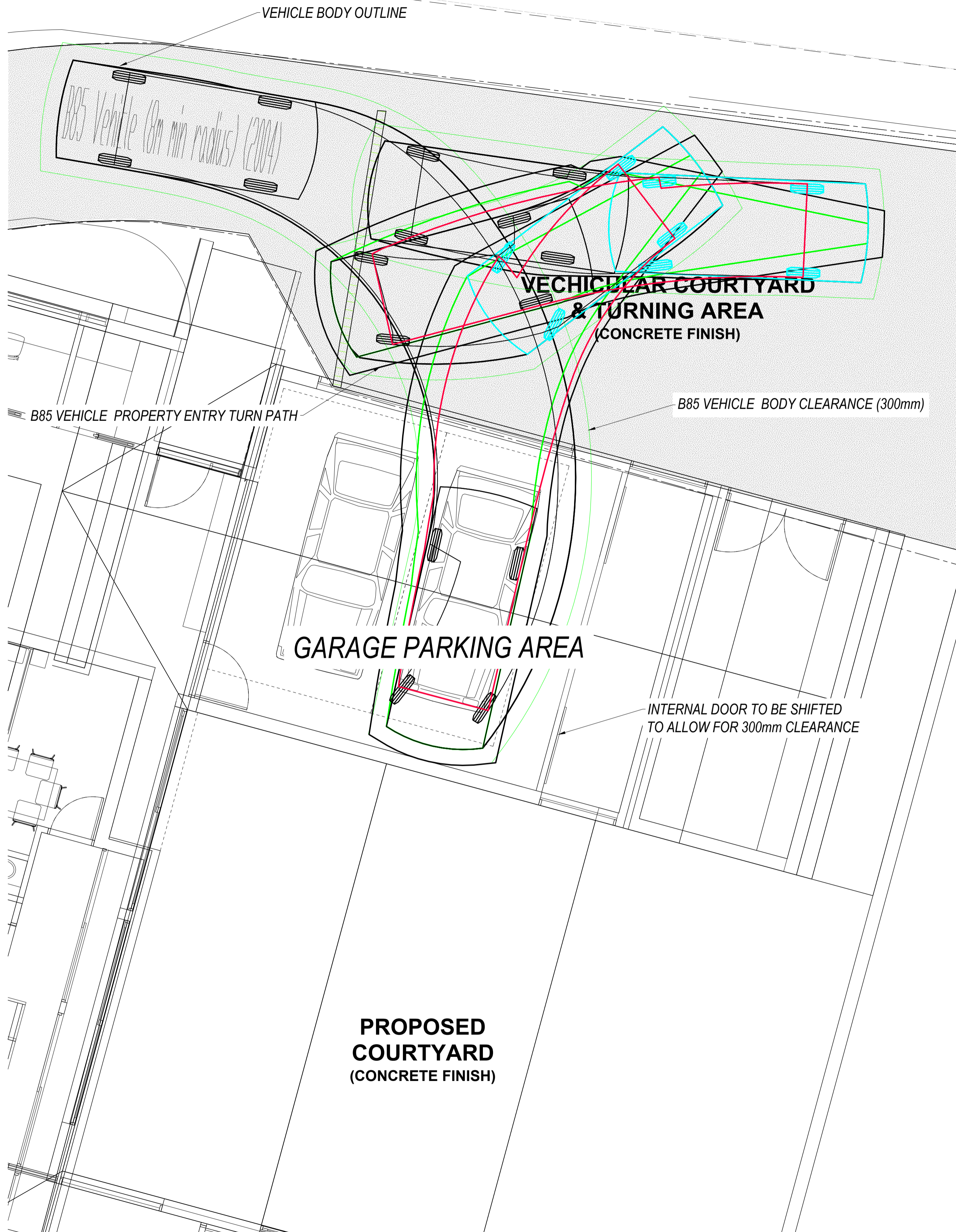
FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732

PROPOSED DWELLING / DRIVEWAY
CLIENT: J & H NIEWERTH
13 BINDARA ROAD, TRANMERE
DRAWING TITLE
DRIVEWAY CROSS SECTIONS

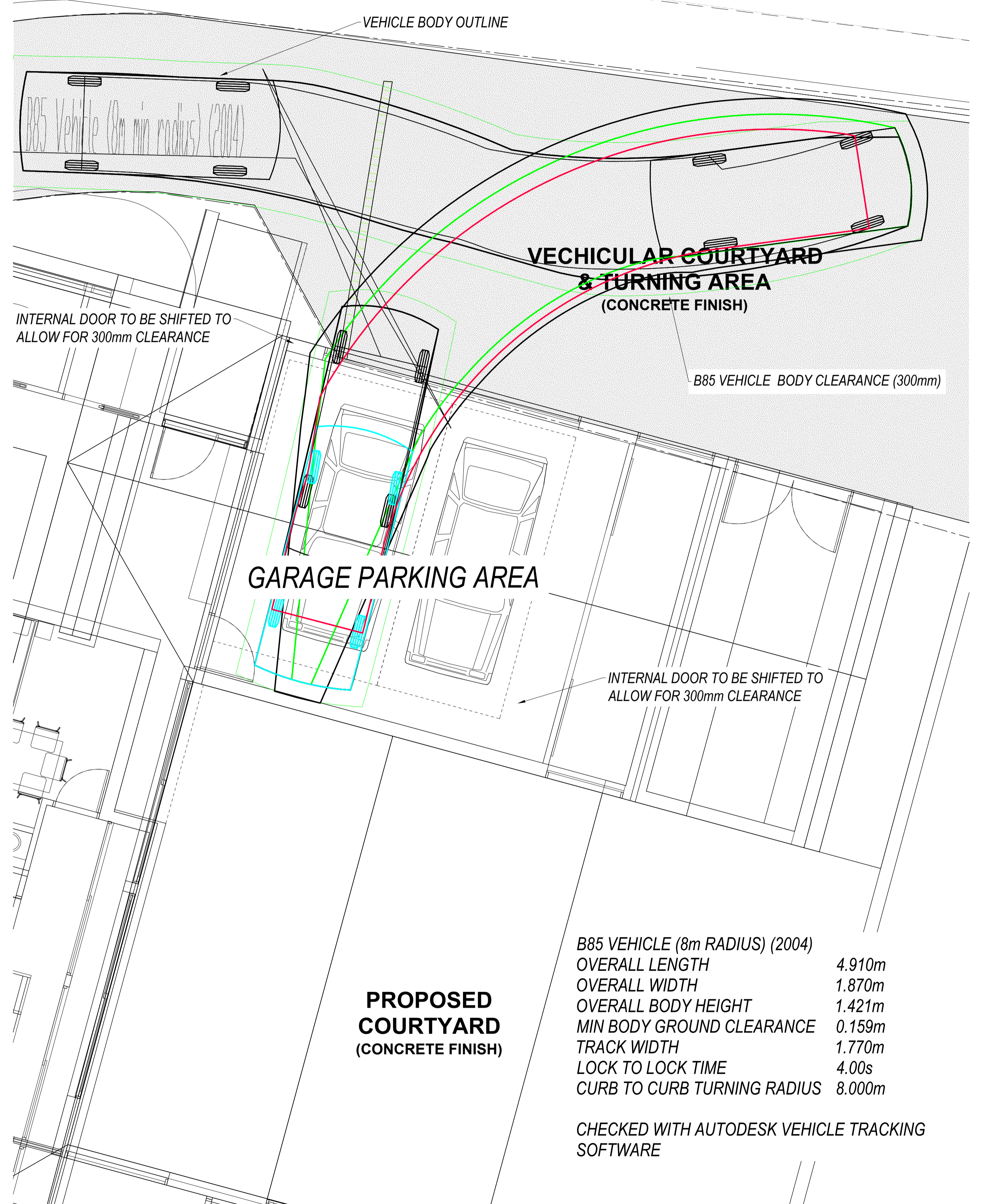
DESIGNED CF	DRAWN CF
PROJECT CKD-CIV-183	SHEET NO. C07



SCALE
AS NOTED
REVISION
0



TURNPATHS PARKING 1
SCALE 1:50 (mm)



TURNPATHS PARKING 2
SCALE 1:50 (mm)

B85 VEHICLE (8m RADIUS) (2004)

OVERALL LENGTH	4.910m
OVERALL WIDTH	1.870m
OVERALL BODY HEIGHT	1.421m
MIN BODY GROUND CLEARANCE	0.159m
TRACK WIDTH	1.770m
LOCK TO LOCK TIME	4.00s
CURB TO CURB TURNING RADIUS	8.000m

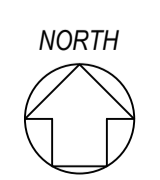
CHECKED WITH AUTODESK VEHICLE TRACKING SOFTWARE

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025	CF		



FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732

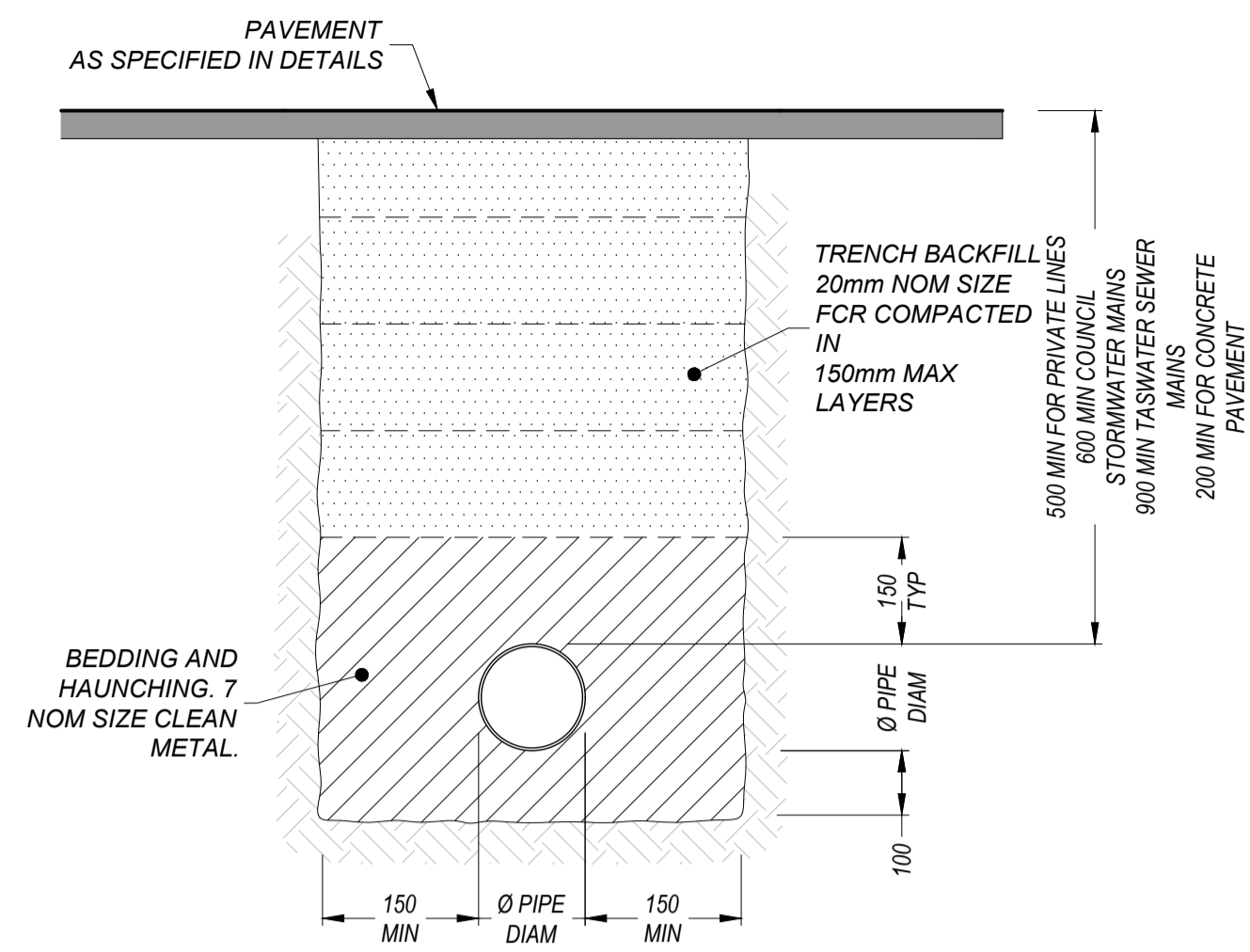


PROPOSED DWELLING / DRIVEWAY
CLIENT: J & H NIEWERTH
13 BINDARA ROAD, TRANMERE
DRAWING TITLE
TURN PATHS

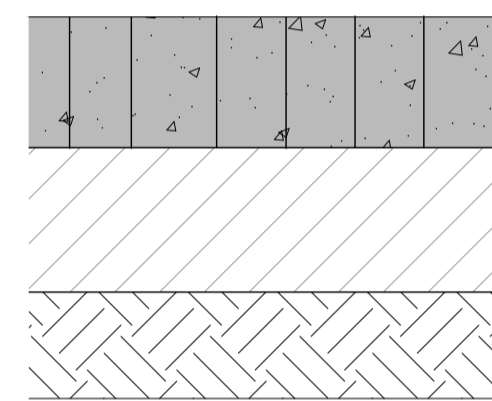
DESIGNED CF	DRAWN CF
PROJECT CKD-CIV-183	SHEET NO. C08



SCALE AS NOTED
REVISION 0



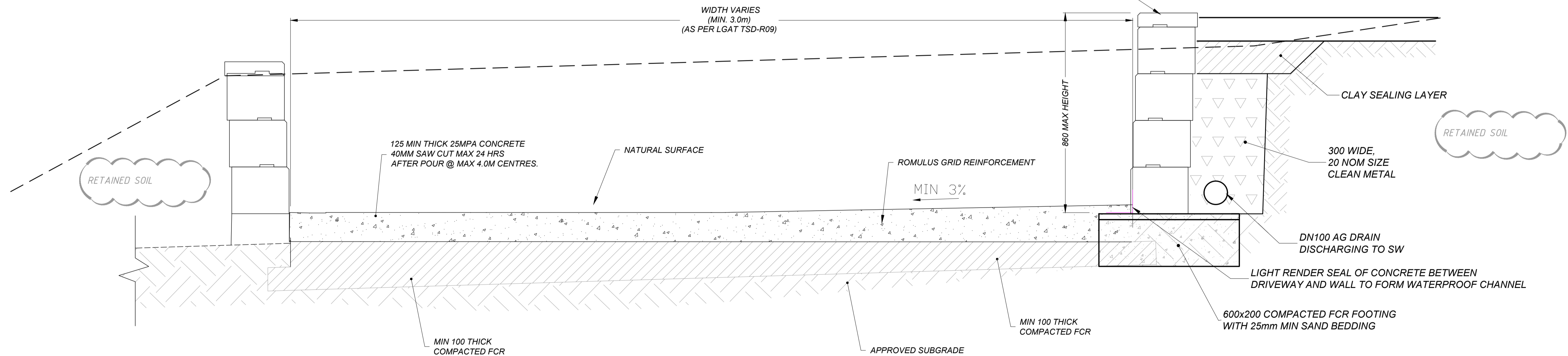
TYPICAL CROSS SECTION - TRAFFICABLE
SCALE 1:10 (A1)



CONCRETE PAVEMENT DETAIL

125mm MIN. CONCRETE (N32)
W/ROMULUS GRID FILLED WITH CONCRETE (AS PER
MANUFACTURES SPECIFICATION DETAIL)
100mm 20mm FCR
SUBGRADE

TASMAN OR BLOCKWORK RETAINING WALL CORE FILLED WITH 10-14 NOM
SIZE BLUE METAL BACKFILL
WALLS OVER 860 MAX HEIGHT SHOWN TO BE DESIGNED AND DOCUMENTED BY STRUCTURAL ENGINEER



TYPICAL SECTION: CH. 20
SCALE 1:10 (A1)

DRIVEWAY WITH RETAINING WALL TYPICAL DETAIL
SCALE 1:20 (A1)

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025			



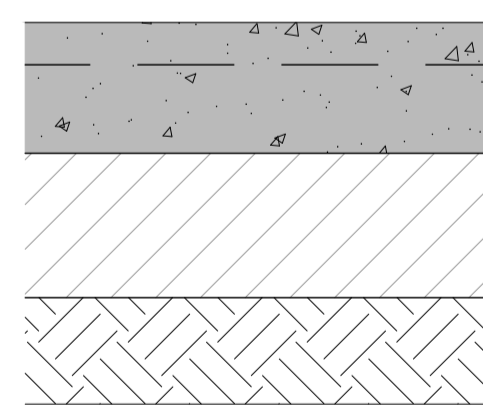
FYSH DESIGN
UNIT 4, 160 BUNGANA WAY
CAMBRIDGE TAS
PH: 0414 149 394
ACCREDITATION: BSD LICENCE NO. 479819732

PROPOSED DWELLING / DRIVEWAY
CLIENT: J & H NIEWERTH
13 BINDARA ROAD, TRANMERE
DRAWING TITLE
CONSTRUCTION DETAILS 1

DESIGNED	DRAWN	REVISION
CF	CF	0
PROJECT	SHEET NO.	
CKD-CIV-183	C09	

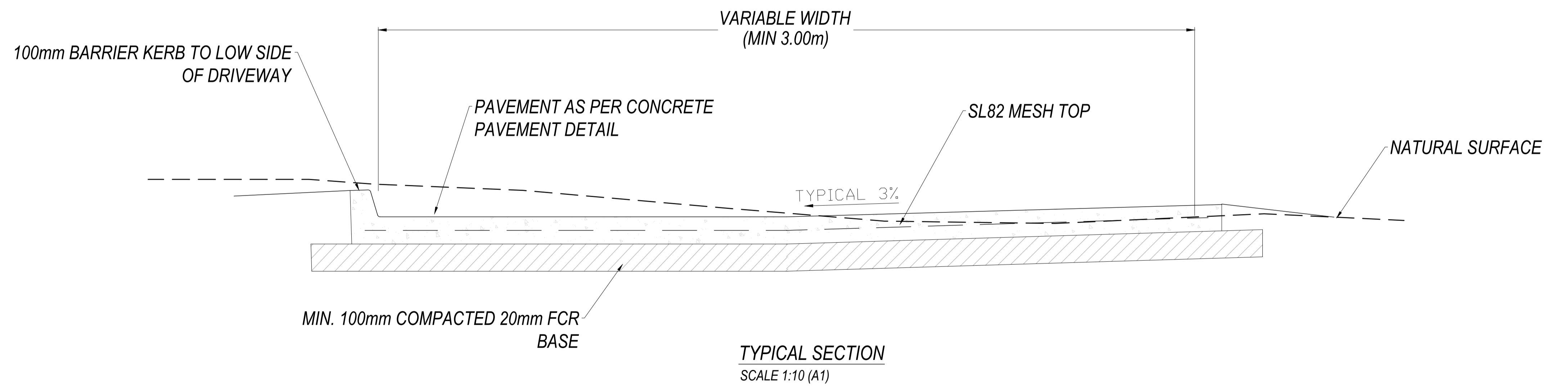


SCALE
AS NOTED



125mm MIN. CONCRETE (N32)
 SL82 REINFORCING TOP (30mm COVER)
 40mm SAWCUTS AT MAX. 4.0m CRS
 100mm 20mm FCR
 SUBGRADE

CONCRETE PAVEMENT DETAIL



TYPICAL SECTION
 SCALE 1:10 (A1)

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
0	FOR PLANNING / DA APPROVAL	22/10/2025			



FYSH DESIGN
 UNIT 4, 160 BUNGANA WAY
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PROPOSED DWELLING / DRIVEWAY
 CLIENT: J & H NIEWERTH
 13 BINDARA ROAD, TRANMERE
 DRAWING TITLE
 CONSTRUCTION DETAILS 2

DESIGNED CF	DRAWN CF	REVISION 0
PROJECT CKD-CIV-183	SHEET NO. C10	



SCALE AS NOTED