



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057364

PROPOSAL: Dwelling

LOCATION: 18 Northbay Drive, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 22 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 22 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 22 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

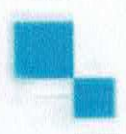
Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Proposed Dwelling**

Location: **18 Northbay Drive, Rokeby**

Personal Information Removed

Estimated cost of development: **\$350,000**



Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Rachael Mansfield

Current use of site: Vacant land

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. /

Personal Information Removed

Date:

24/11/2023

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

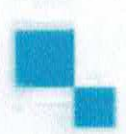
In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 178636	FOLIO 172
EDITION 4	DATE OF ISSUE 30-Aug-2025

SEARCH DATE : 23-Sep-2025

SEARCH TIME : 08.18 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 172 on Sealed Plan 178636
 Derivation : Part of Lot 38079, 23.74ha Gtd. to The
 Director-General of Housing and Construction
 Prior CT 175718/600

SCHEDULE 1

N271440 TRANSFER to ADRIAN JAMES MUENCH Registered
 30-Aug-2025 at 12.01 PM

SCHEDULE 2

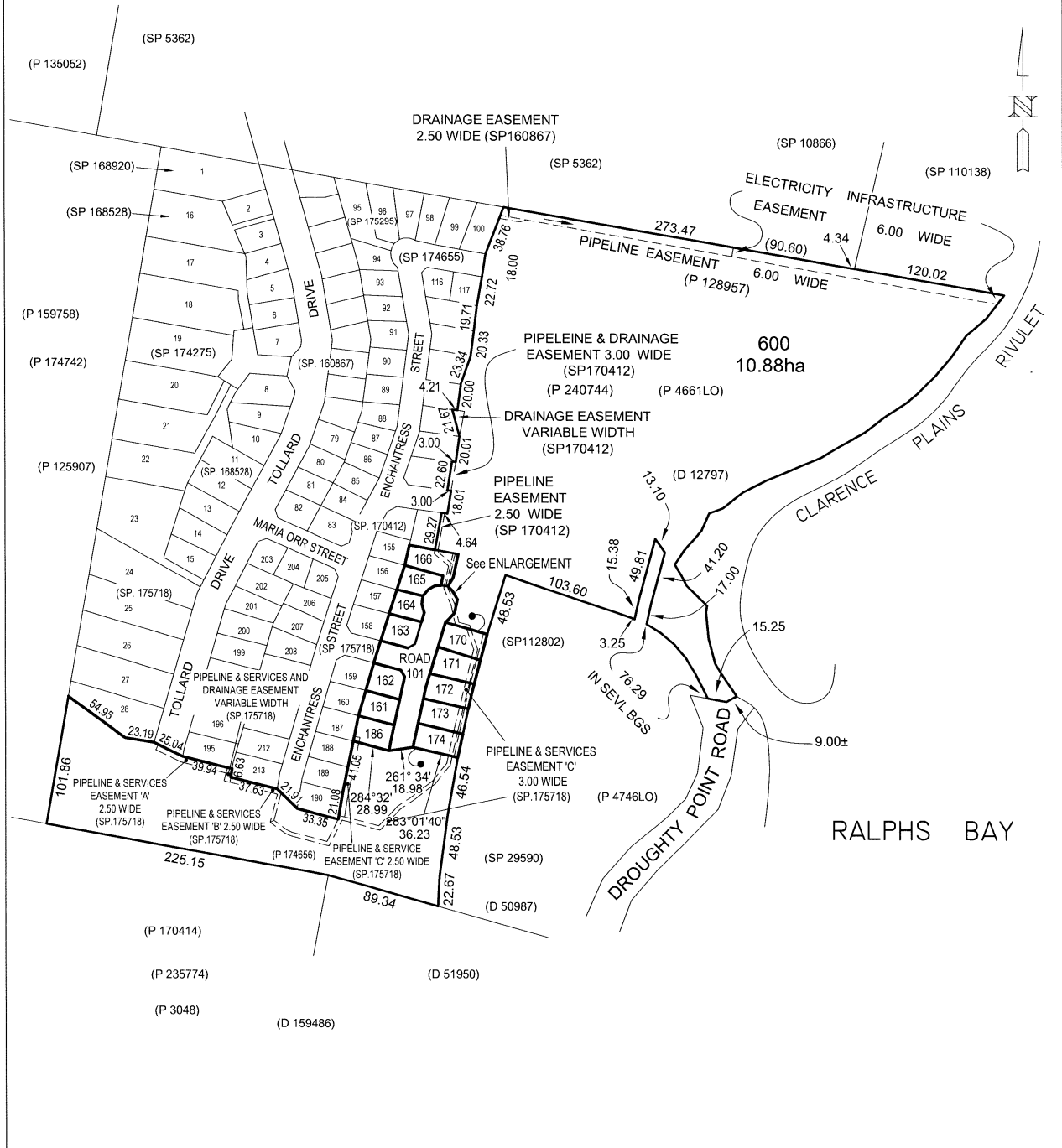
Reservations and conditions in the Crown Grant if any
 SP178636 EASEMENTS in Schedule of Easements
 SP178636 COVENANTS in Schedule of Easements
 SP178636 FENCING PROVISION in Schedule of Easements
 SP170412 & SP175718 COVENANTS in Schedule of Easements
 SP170412 & SP175718 FENCING PROVISION in Schedule of Easements
 SP160867 FENCING COVENANT in Schedule of Easements
 E424035 MORTGAGE to Police Bank Ltd Registered 30-Aug-2025
 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: R.S. HOWE	<p align="center">PLAN OF SURVEY</p> <p align="center">N. D. LEARY of LEARY AND COX SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@learyandcox.com</p>	REGISTERED NUMBER SP178636
FOLIO REFERENCE: C.T. 175718 - 600		BY SURVEYOR:
GRANTEE: PART OF LOT 38079 (23.74ha) GRANTED TO THE DIRECTOR-GENERAL OF HOUSING AND CONSTRUCTION	LOCATION: CITY OF CLARENCE	<i>Deana</i> Recorder of Titles
SCALE 1: 3000	LENGTHS IN METRES	

INDEX SHEET ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



LOT 600 COMPILED FROM SP. 175718 AND THIS SURVEY

 Registered Land Surveyor	23-12-19 Date	 Council Delegate	13.02.2020 Date
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 175718/636

PAGE 1 OF 6 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS

1.1 Lot 166, 170, 171, 172, 173, 174 and 101

Lots 166, 170, 171, 172, 173, 174 and 101 on the Plan are subject to a Pipeline and Services Easement in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP175718)" shown on the Plan ("the Easement Land").

1.2 Lot 166

Lot 166 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the area marked 'DRAINAGE EASEMENT 2.50 WIDE' shown on the Plan.

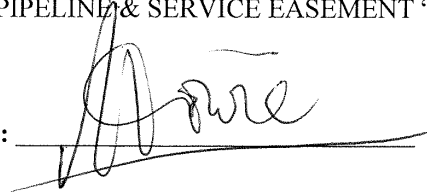
1.3 Lot 170, 171, 172, 173 and 174

Lot 170, 171, 172, 173 and 174 on the Plan are subject to a Right of Drainage in favour of Clarence City Council over the area marked 'DRAINAGE EASEMENT 3.00 WIDE' shown on the Plan.

1.4 Lot 186

Lot 186 on the Plan is subject to a Pipeline and Services Easement in favour of TasWater over the land marked 'PIPELINE & SERVICE EASEMENT "C" 2.50 WIDE (SP175718)' shown on the Plan.

Signed by **R S Howie**:



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Robert Stuart Howie FOLIO REF: 175718/600 SOLICITOR & REFERENCE: A Tan (191855)	PLAN SEALED BY: Clarence City Council DATE: 13 th February 2020 20.08.14.8 REF NO. Conea Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 178636</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 175718/600</p>	

1.5 Lot 600

Lot 600 on the Plan is subject to a Pipeline Easement (hereinafter defined) in favour of Clarence City Council over the Pipeline & Services & Drainage Easement variable width (SP175718) shown on the Plan.

- (a) Lot 600 on the Plan is subject to a Pipeline and Services Easement in favour of TasWater over the land marked 'PIPELINE & SERVICE EASEMENT "A", "B" & "C" 2.50 WIDE (SP175718)', 'PIPELINE & SERVICE EASEMENT "C" 3.00 WIDE (SP175718)', 'PIPELINE EASEMENT 2.50 WIDE (SP170412)', 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP170412)' and 'PIPELINE EASEMENT 6.00 WIDE (SP128957)' shown on the Plan and PIPELINE & SERVICES & DRAINAGE EASEMENT VARIABLE WIDTH (SP175718) shown on the Plan.
- (b) Lot 600 on the Plan is subject to a Pipeline Easement (hereinafter defined) in favour of Clarence City Council and TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P128957)' on the Plan.
- (c) Lot 600 on the Plan is subject to a Pipeline Right in favour of Clarence City Council over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P128957)' on the Plan as more fully set forth in C88284.
- (d) Lot 600 on the Plan is subject to an Electricity Infrastructure Easement in favour of Clarence City Council and TasWater over the land marked 'ELECTRICITY INFRASTRUCTURE EASEMENT 6.00 WIDE' on the Plan, more particularly set forth in C100545.
- (e) Lot 600 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the areas of land marked 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP170412)' and 'DRAINAGE EASEMENT VARIABLE WIDTH (SP170412)' and 'DRAINAGE EASEMENT 2.50 WIDE (SP160867)' shown passing through Lot 600 on the Plan.
- (f) Lot 600 on the Plan is subject to a Right of Drainage in favour of TasWater over the land marked 'DRAINAGE EASEMENT 2.50 WIDE (SP160867)' shown on the Plan.

2. COVENANTS

2.1 Each lot on the Plan is subject to restrictive covenants as more fully set out in SP170412 in relation to which the Vendor (**Robert Stuart Howie**) retains the right to modify, vary, waive or extinguish each or any of the covenants set out therein.

2.2 Additional covenants

The owner of each and every lot on the Plan covenant with the Vendor (Robert Stuart Howie) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every other lot shown on the plan to observe the following stipulations: -

Signed by **R S Howie**: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 178636</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 175718/600</p>	

- Not to erect or place or permit to be erected or placed upon the lot a dwelling having a total floor area of less than 130m2 exclusive of any vehicle accommodation, external landings, patios and outbuildings.

Provided that the Vendor (Robert Stuart Howie) shall have the right to modify, vary, waive or extinguish each and every covenant set forth above.

3. FENCING PROVISION

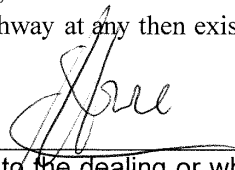
In respect of each lot on the Plan the Vendor **Robert Stuart Howie** shall not be required to fence.

4. INTERPRETATION

“Pipeline and Services Easement” means:

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and



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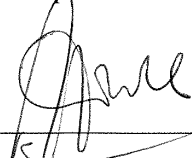
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP178636</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 175718/600</p>	

Signed by **R S Howie**: _____

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register (“the Owner”) must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (c) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (d) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (e) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (f) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (g) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (h) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

Signed by **R S Howie**:  _____

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 178636</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 175718/600</p>	

- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media
- (e) (excluding telemetry and monitoring devices);
- (f) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (g) anything reasonably required to support, protect or cover any of the Infrastructure;
- (h) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (i) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water and Sewerage Corporation Pty Limited ABN 47162 220 653, trading TasWater, established under the provisions of the water and Sewerage Corporations Act 2008 (Tas).

“**Pipeline Easement**” means the full and free right of every person (Dominant Owner) who is entitled to an estate or interest in possession indicated as the dominant tenement or any part of it, with which that right will be capable of enjoyment in common with the owner of the servient tenement to lay, use and maintain forever water mains and pipes of such size and number as shall from time to time be required in the strip of


Signed by **R S Howie**: 


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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 178636</p>
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land shown on the plan and marked "pipeline Easement" (Servient Land) and for the Dominant Owner and their employees, agents and contractors from time to time and at all times to enter into and upon the Servient Land or any part of it bringing upon the Servient Land such material, machinery and other things as it considered fit and proper to inspect the condition of the mains and pipes and to repair, alter, amend and cleanse PROVIDED HOWEVER that any damage occasioned in doing so will be made good.

5. EXECUTION

Signed by **Robert Stuart Howie** 

Witness Signature..... 

Witness Name (in full) ... Alisha Lloyd ...

Witness Address... Level 4, 99 Bathurst Street ...

Witness Occupation... Conveyancing Partner ... Robert TAS 1000

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Planning Department
Clarence City Council
38 Bligh St.
Rosny Park

Dear Sir/Madam,

Re: Planning Application – Proposed Dwelling at 18 Northbay Drive, Rokeby.

Please find attached Planning Application for the Proposed Dwelling at 18 Northbay Drive, Rokeby.

Attached documents include:

- Planning Application
- Title
- Drawings Sk01-Sk03

The application was previously submitted as a 'no planning permit request' application (PDNOPLNREQ-2025/056269) however there are discretionary items as part of the proposal.

Re: Clause 8.4.2 Setbacks A2– Garage setback within 5.5metres of front boundary – not meeting the acceptable solution.

P2 - Performance criteria –

Whilst the design does not meet A2, the design allows for the option of turning within the property which is a safer egress option. The planning scheme requirement does not cater for variations of design which 'technically' it should. Also the garage that is facing a road and being 5.5metres from the front boundary does have issues of privacy looking directly into people's garages and is not aesthetically pleasing to the eye.

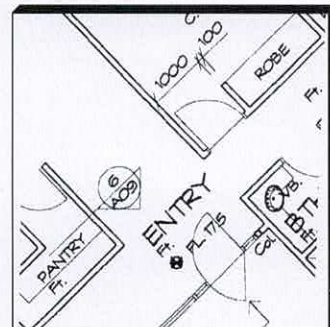
This design allows for part privacy and additional parking spaces which most neighbouring dwellings do not allow for – thus having more car parking on the street.

P2 notes being compatible with setbacks of existing garages and carports in the street.

The street survey concluded that dwellings built at No. 14 and No. 17 Northbay Drive have garages in line with the front façade which is comparable to the proposed design at No. 18.

Various other dwellings at No. 45, No. 49 and No. 55 Enchantress have garages in the same line or forward of main dwelling facade.

There are many examples within Clarence municipality that match this design notable along Oceana Drive which I have previously designed.



TAS BUILDING DESIGN

m. 0408 882 283

e. tas.buildingdesign@bigpond.com

a. po box 2018
howrah 7018

residential
commercial

The garage location also allows a more level entry and lower slab construction otherwise the rear of the garage would be near 2.0 metres off the ground.

The lot width allows for this type of design and the front façade is designed such like a dwelling and not a garage.

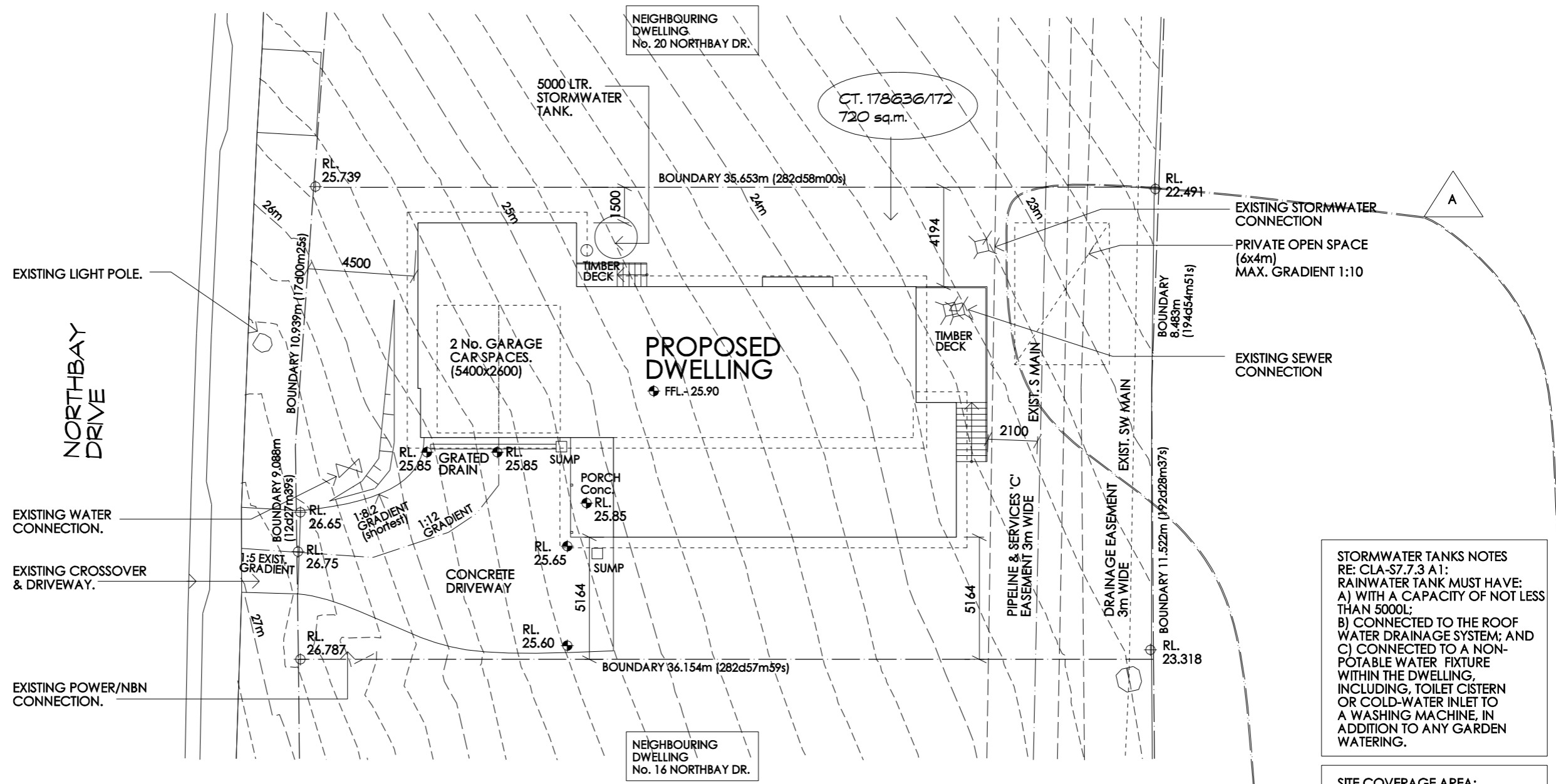
Re: Clause C2.5.1 car parking numbers response

- There are 2 comfortable car spaces shown in the double garage. Sizes are shown.

Re: Clause C2.6.2 Design and layout of parking areas response – gradients and levels are shown to the driveway area. The garage design allows both the cars to either reverse out or the option of turning with a forward direction out. No other dwellings in the street allow for this better use of access for vehicles/safety.

Re: Clause CLA-S7.7.3 water storage tanks. Please see 5000 ltr stormwater tank included. The tank will provide non potable cold water connection to the washing machine.

We are hoping that the application can progress asap to advertisement. I will await councils assessment.



STORMWATER TANKS NOTES
 RE: CLA-S7.7.3 A1:
 RAINWATER TANK MUST HAVE:
 A) WITH A CAPACITY OF NOT LESS THAN 5000L;
 B) CONNECTED TO THE ROOF WATER DRAINAGE SYSTEM; AND
 C) CONNECTED TO A NON-POTABLE WATER FIXTURE WITHIN THE DWELLING, INCLUDING, TOILET CISTERN OR COLD-WATER INLET TO A WASHING MACHINE, IN ADDITION TO ANY GARDEN WATERING.

SITE COVERAGE AREA;
 EXTERNAL BUILDING LINE INCLUDING PORCH AND DECKS OVER 1 METRE
 - 239 sq.m. - 33.2% COVERAGE

SITE PLAN
 SCALE 1:200 @ A3

NOTE:
 - CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCEMENT.

SITE PLAN LEGEND

⊕	EXISTING LEVELS
⊕	NEW LEVELS

REVISION A: - 29/11/2025
 - PRIVATE OPEN SPACE SHOWN
 - SITE COVERAGE SHOWN
 - WATER STORAGE TANK NOTES ADDED.

creative practical design solutions

TAS BUILDING DESIGN Pty. Ltd.

residential commercial

m. 0408 882283
 a. p.o.box 2018 howrah 7018
 e. tas.buildingdesign@bigpond.com

cc 652

Project and Address:
Proposed Dwelling at 18 Northbay Drive, Rokeby.

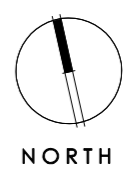
Client:
Mr. A. Muench

Drawing Title:
Site Plan

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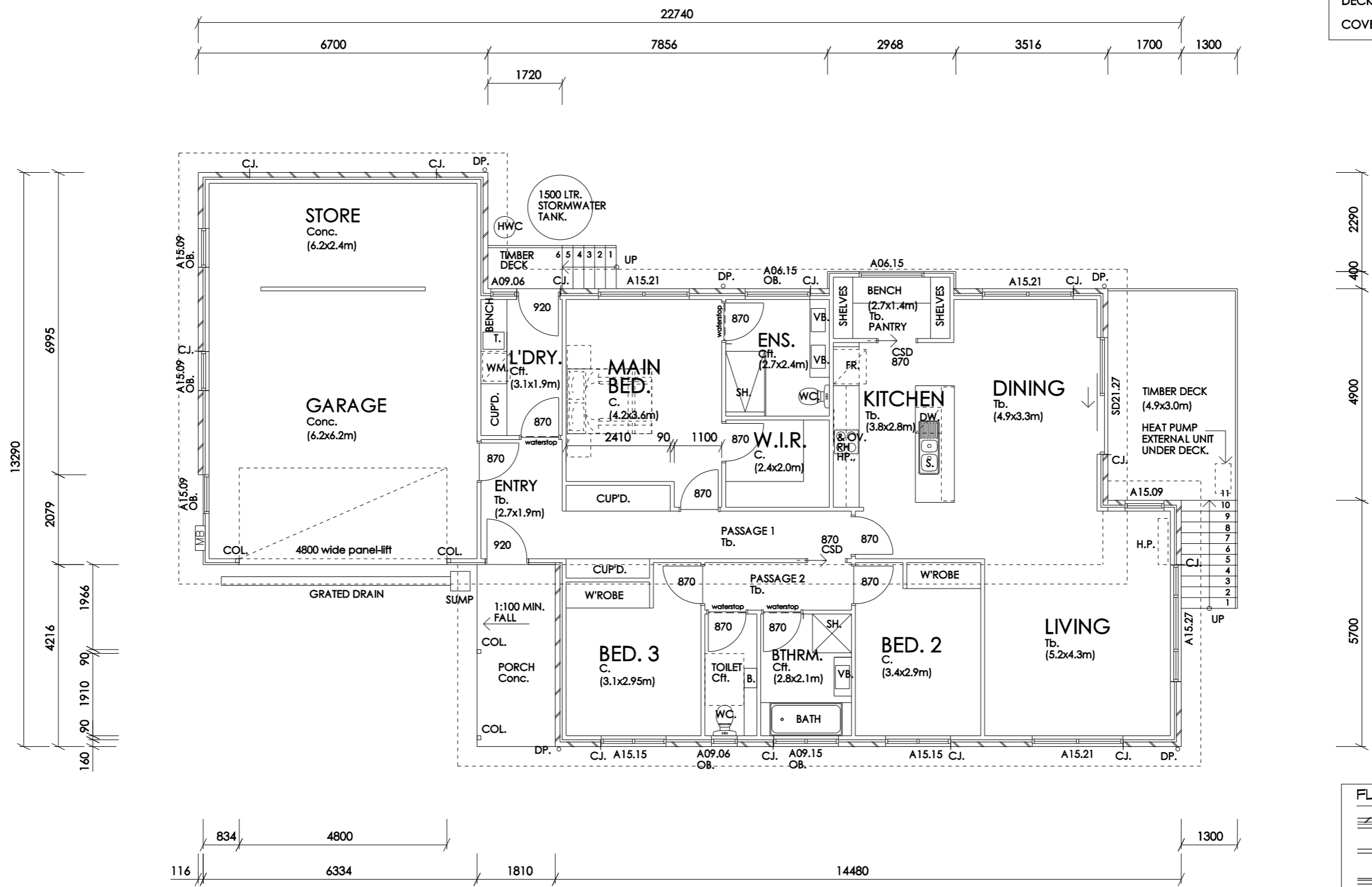
Please note: - Verify all dimensions on site. Figured dimensions take precedence over scale readings.

Plot Date: 29/11/2025 Drawn: KJR
 Approval: preliminary Scale: 1:200 @ A3



Project No.:
25.24
 Drawing No.: sk01 Rev. A

FLOOR AREA:- 216 sq.m, 23.2 sq.
 DECK AREAS:- 17 sq.m.
 COVERED AREA :- 8 sq.m



FLOOR PLAN
 SCALE 1:100

FLOOR PLAN LEGEND

	BRICKWORK WALLS
	90mm STUD WALLS.
	134mm EXTERNAL STUD WALLS WITH 35mm BATTEN & 9mm F.C. CLADDING. (TIMBER CLADDING T.B.C.)
Tb.	TIMBER OVERLAY FLOOR.
C.	CARPET
Cft.	CERAMIC FLOOR TILES
Conc.	CONCRETE FLOOR FINISH

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TAS BUILDING DESIGN Pty. Ltd.

residential commercial

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cc 652

Project and Address:
Proposed Dwelling at 18 Northbay Drive, Rokeby.

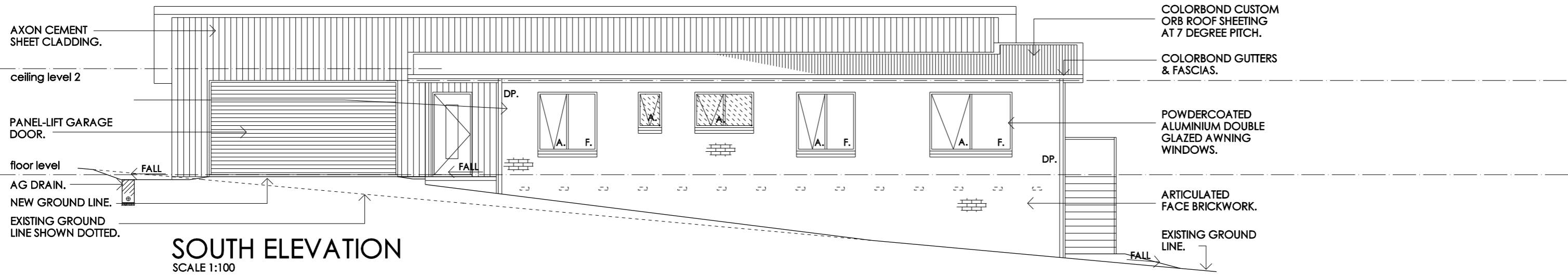
Client:
Mr. A. Muench

Drawing Title:
Floor Plan

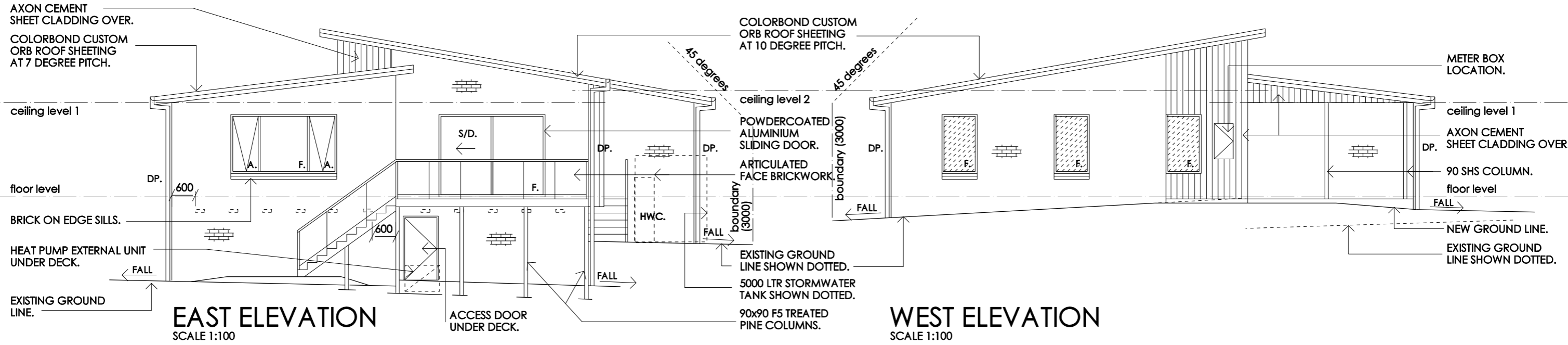
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Plot Date: 23/11/2025	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3
 NORTH	Project No.: 25.24
	Drawing No.: sk02 Rev. -

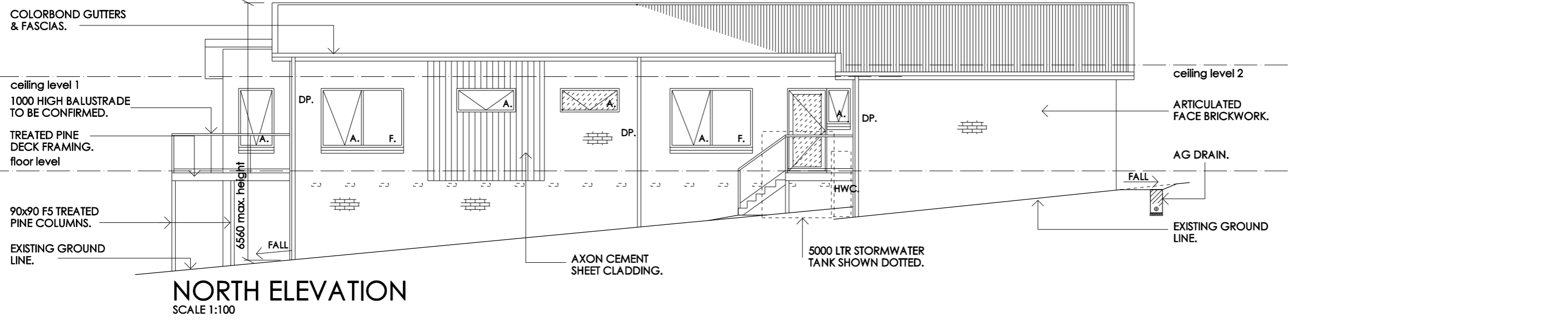


SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

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Drawing Title:
Elevations

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Plot Date: 23/11/2025	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3
Project No.:	25.24
Drawing No.:	sk03
Rev.:	-