



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058423

PROPOSAL: Additions & Alterations (Single Dwelling)
(Retrospective) & Partial Change of Use to Visitor
Accommodation.

LOCATION: 25 King Street, Bellerive

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/03/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/03/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/03/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 2nd storey deck , retrospective building approval and short term acc

Location: **25 King Street Bellerive**

Personal Information Removed

Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Sally De Little

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 26091	FOLIO 1
EDITION 10	DATE OF ISSUE 19-May-2021

SEARCH DATE : 08-Jan-2026

SEARCH TIME : 02.57 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Diagram 26091

Being part of the land described in Conveyance No. 61/0298

Derivation : Part of 17A-1R-0Ps. Gtd. to E.S.P. Bedford.

Prior CT 4176/90

SCHEDULE 1

M755839 TRANSFER to LESLEY GALE RIEWOLDT and CHRISTOPHER ROLF
RIEWOLDT Registered 01-July-2019 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

27/2823 CONVEYANCE Made Subject to Boundary Fences Condition

E262127 MORTGAGE to Macquarie Bank Limited Registered
19-May-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

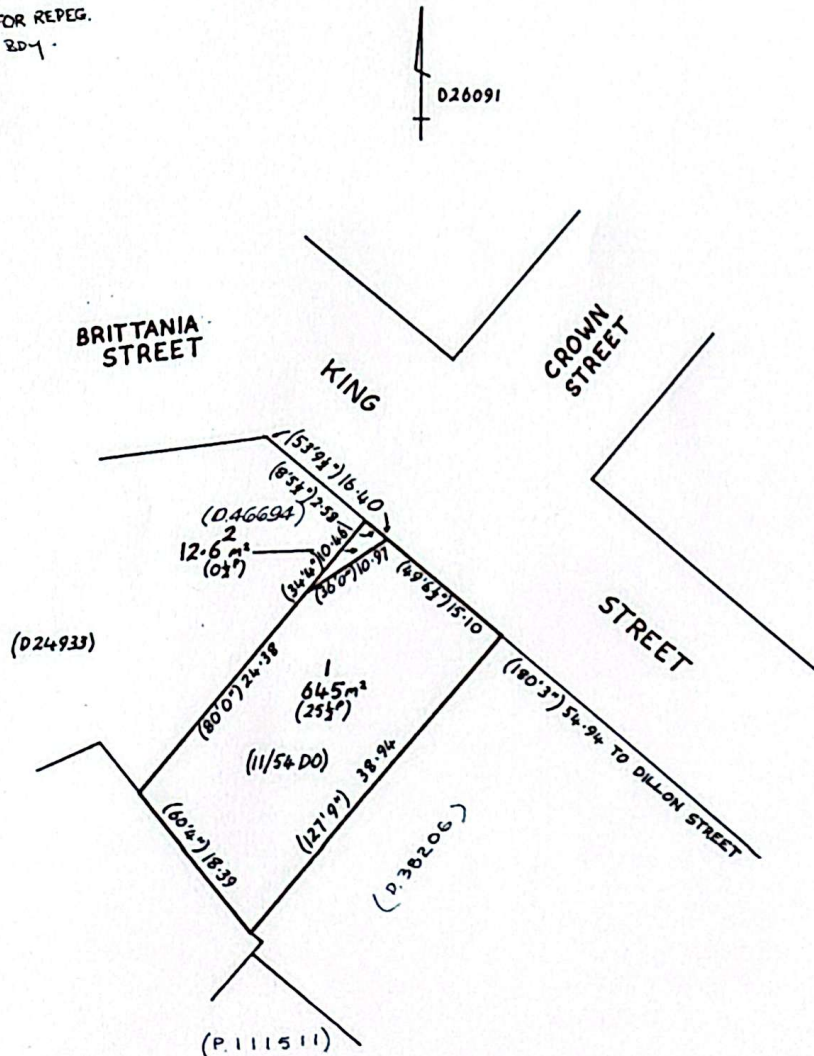
No unregistered dealings or other notations

APPROVED 14 JUL 1985 <i>E.R. Thorp</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 61/0298	REGISTERED NUMBER D26091
FILE NUMBER Y4302	GRANTEE PART OF 17-1-0 EDWARD SAMUAL PICKARD BEDFORD	DRAWN R MCK 12-6-85

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF BELLERIVE
LAND DISTRICT OF
PARISH OF
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN FEET & INCHES.

SEE INSIDE FIELD
NOTES FOR REPEG.
of SE. RDY.



SEARCH OF TORRENS TITLE

VOLUME 26091	FOLIO 2
EDITION 10	DATE OF ISSUE 19-May-2021

SEARCH DATE : 08-Jan-2026

SEARCH TIME : 02.59 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Diagram 26091

Being part of the land described in Conveyance No. 61/0298

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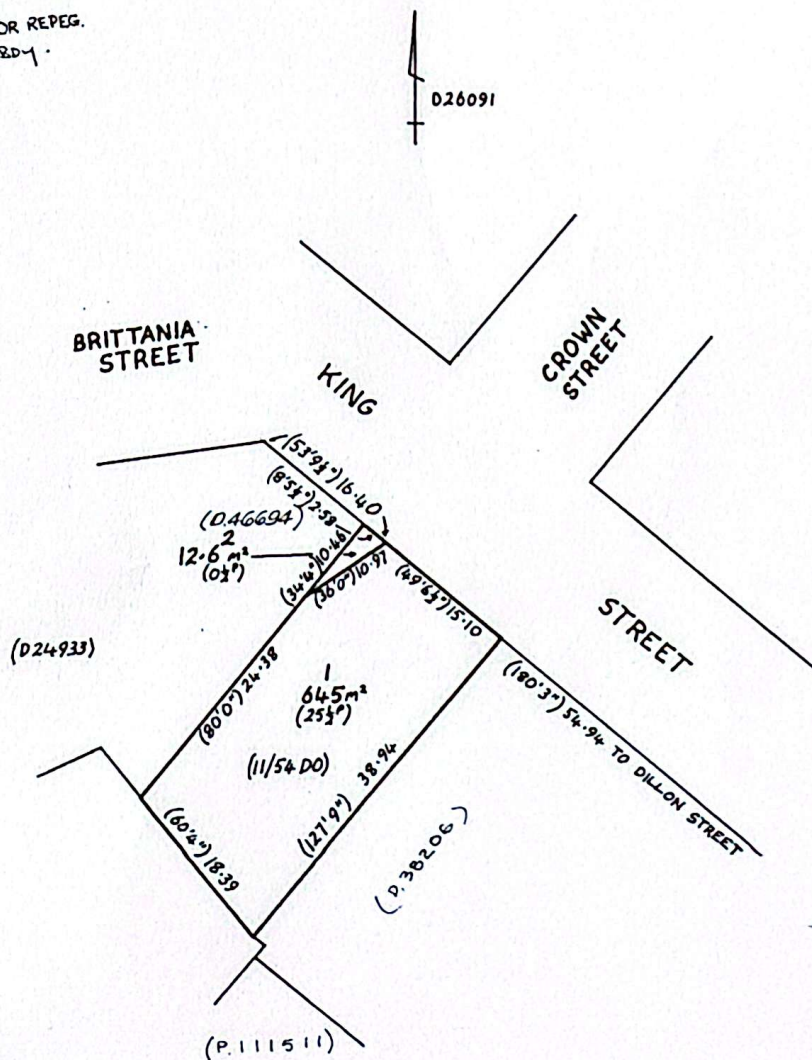
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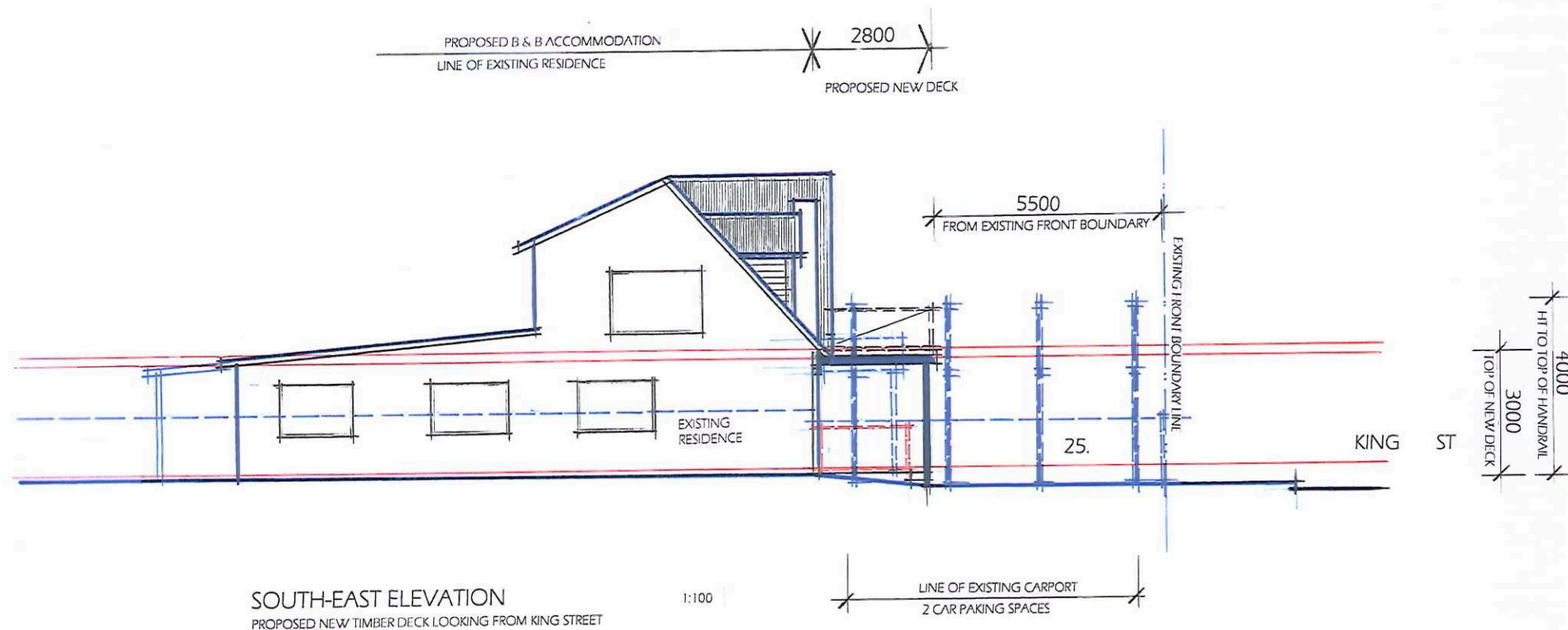
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SEE INSIDE FIELD
NOTES FOR REPEG.
of SE. Bdy.





SOUTH-EAST ELEVATION
PROPOSED NEW TIMBER DECK LOOKING FROM KING STREET

1:100

PLANNING APPLICATION

MATERIALS & WORKMANSHIP SHALL COMPLY WITH RELEVANT STANDARDS, NCC 2022 (NATIONAL CONSTRUCTION CODES), BUILDING CODES OF AUSTRALIA ALL PRODUCT MANUFACTURERERS SPECIFICATIONS & INSTRUCTIONS.

USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS

PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

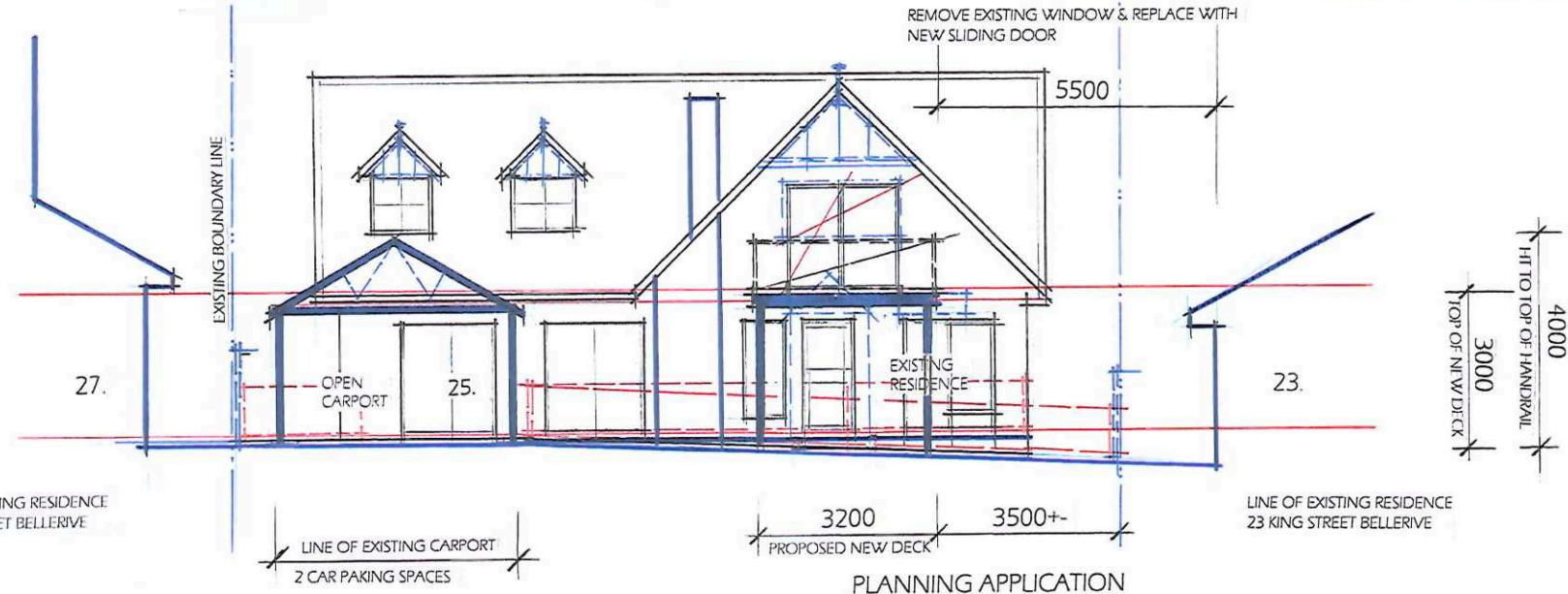
AT: 25 KING STREET BELLERIVE TASMANIA 7018
FOR: CHRIS & LESLEY RIEWOLDT

ELEVATIONS PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: 1:100

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING NO. PA05-25



NORTH-WEST ELEVATION
 PROPOSED NEW TIMBER DECK LOOKING FROM 27 KING STREET

1:100

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PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

AT: 25 KING STREET BELLERIVE TASMANIA 7018
 FOR: CHRIS & LESLEY RIEWOLDT

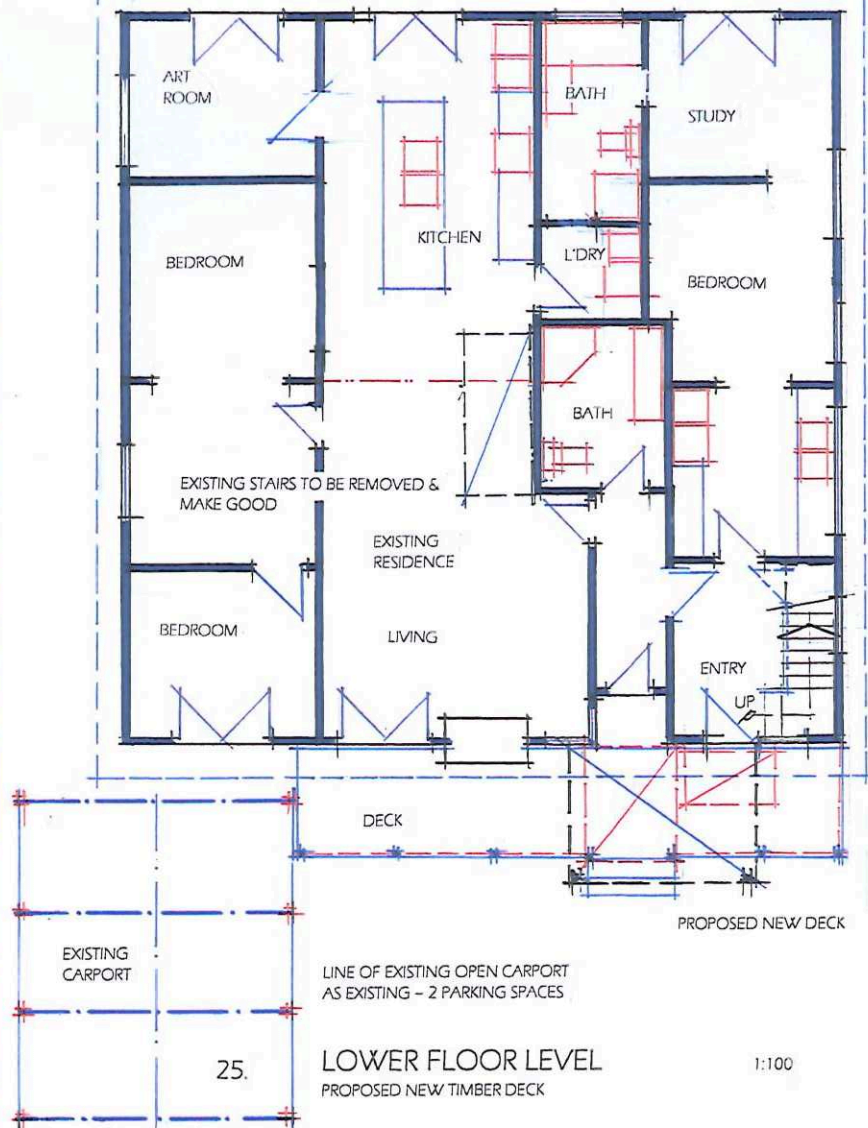
ELEVATIONS PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: 1:100

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING NO. PAO4-25

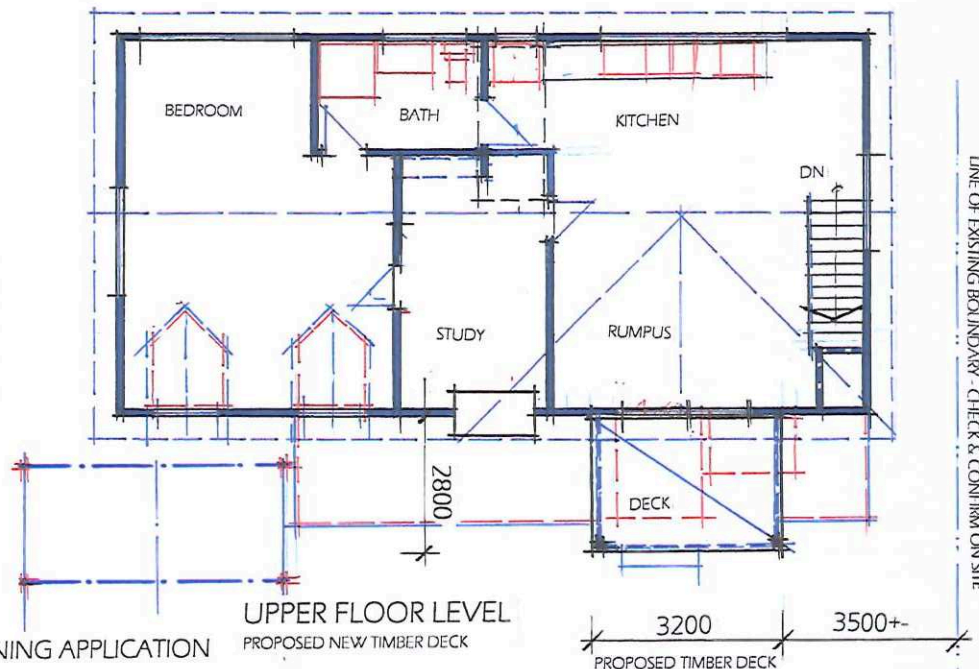
LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE 39.25M



1:100

LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE

LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE



LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE

PLANNING APPLICATION

MATERIALS & WORKMANSHIP SHALL COMPLY WITH RELEVANT STANDARDS, NCC 2022 (NATIONAL CONSTRUCTION CODES), BUILDING CODES OF AUSTRALIA ALL PRODUCT MANUFACTURERS SPECIFICATIONS & INSTRUCTIONS.

USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS

PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

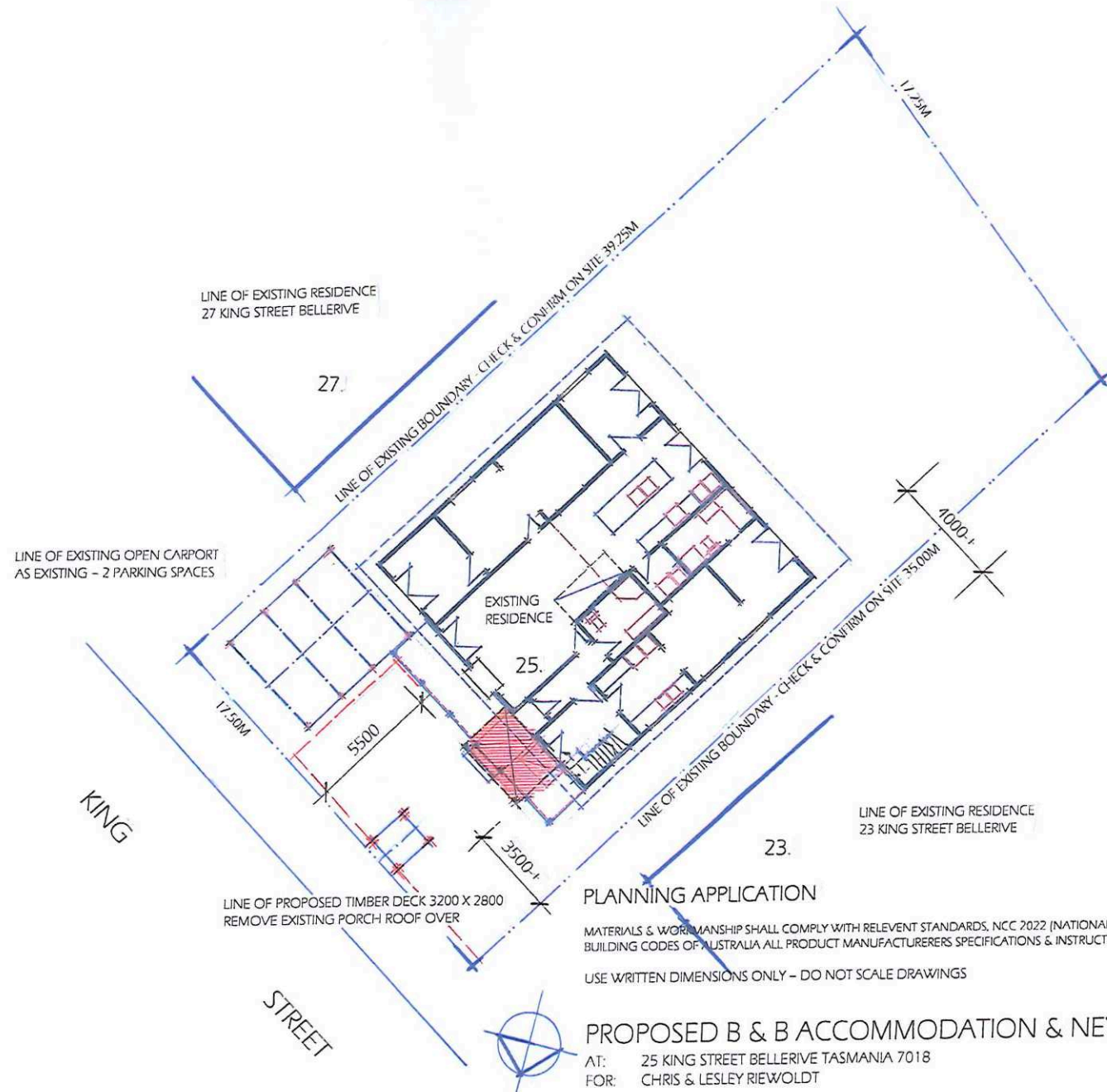
AT: 25 KING STREET BELLERIVE TASMANIA 7018
FOR: CHRIS & LESLEY RIEWOLDT

LOWER & UPPER FLOOR PLAN PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: 1:100

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING NO. PAO3-25



PLANNING APPLICATION
MATERIALS & WORKMANSHIP SHALL COMPLY WITH RELEVANT STANDARDS, NCC 2022 (NATIONAL CONSTRUCTION CODES), BUILDING CODES OF AUSTRALIA ALL PRODUCT MANUFACTURERERS SPECIFICATIONS & INSTRUCTIONS
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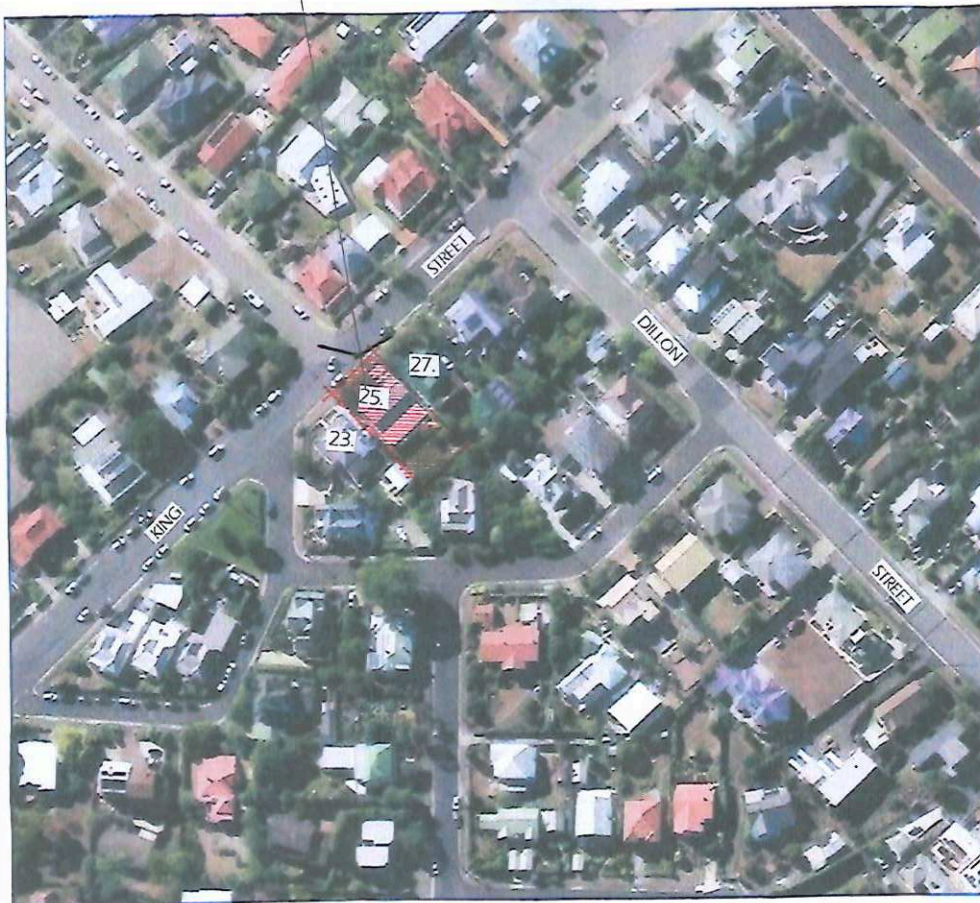
PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK
AT: 25 KING STREET BELLERIVE TASMANIA 7018
FOR: CHRIS & LESLEY RIEWOLDT
SITE PLAN PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: 1:200

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING No. PAO2-25

PROPOSED B & B ACCOMMODATION AND NEW TIMBER DECK
25 KING STREET BELLERIVE TASMANIA 7018



PLANNING APPLICATION

MATERIALS & WORKMANSHIP SHALL COMPLY WITH RELEVANT STANDARDS, NCC 2022 (NATIONAL CONSTRUCTION CODES),
BUILDING CODES OF AUSTRALIA ALL PRODUCT MANUFACTURERS SPECIFICATIONS & INSTRUCTIONS

USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS



PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

AT: 25 KING STREET BELLERIVE TASMANIA 7018

FOR: CHRIS & LESLEY RIEWOLDT

LOCATION PLAN PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: NTS

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING NO. PAO1-25

PROPOSED B & B ACCOMMODATION AND NEW TIMBER DECK

PLANNING APPLICATION

for: CHRIS & LESLEY RIEWOLDT
at: 25 KING STREET BELLERIVE TASMANIA 7018

ARCHITECTURAL DRAWINGS

DRAWING No.	DRAWING	ISSUE
PA 01-25	LOCATION PLAN	A
PA 02-25	SITE PLAN	A
PA 03-25	PROPOSED LOWER & UPPER FLOOR PLAN	A
PA 04-25	ELEVATIONS	A
PA 05-25	ELEVATIONS	A

PROJECT No. 2025-54

Dear Ryan Peterson,

We have included the allocation of parking. We have shown the residential and visitor accommodation and we won't be including food for visitors.

Hope this is what need.

Yours Sincerely



PROPOSED B & B ACCOMMODATION AND NEW TIMBER DECK
PLANNING APPLICATION

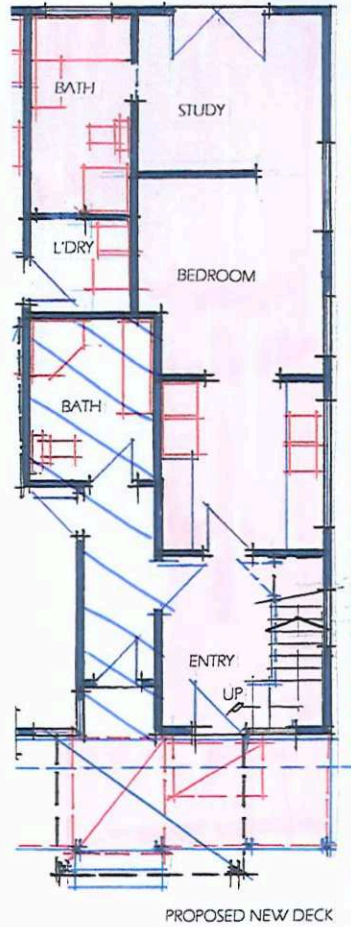
for: CHRIS & LESLEY RIEWOLDT
at: 25 KING STREET BELLERIVE TASMANIA 7018

ARCHITECTURAL DRAWINGS

DRAWING No.	DRAWING	ISSUE
PA 01-25	LOCATION PLAN	A
PA 02-25	SITE PLAN	A
PA 03-25	PROPOSED LOWER & UPPER FLOOR PLAN	A
PA 04-25	ELEVATIONS	A
PA 05-25	ELEVATIONS	A

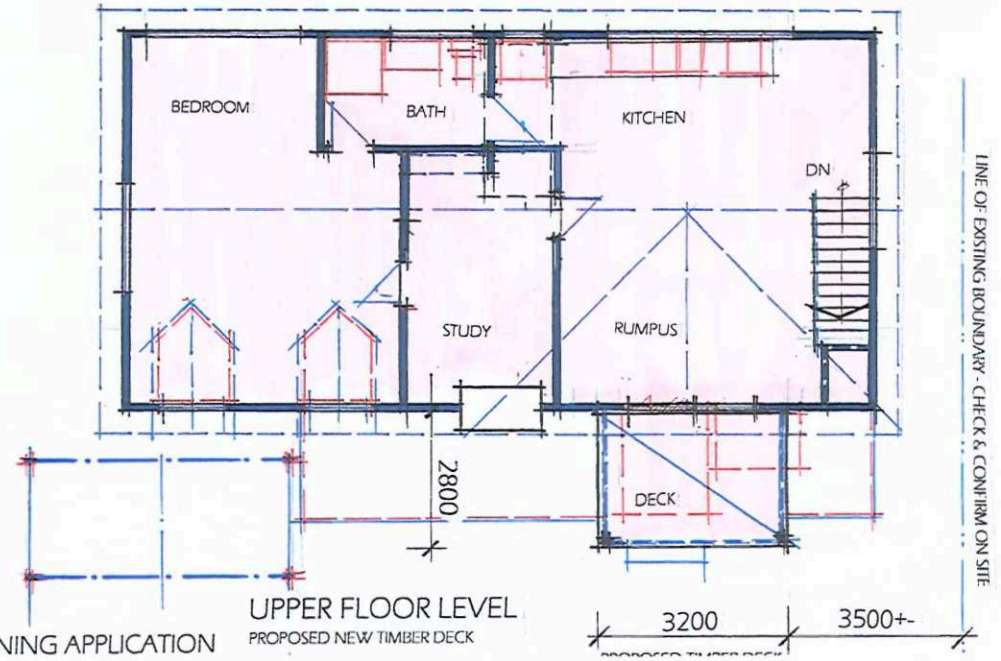
PROJECT No. 2025-54

□ Residential.



PORT
ACES

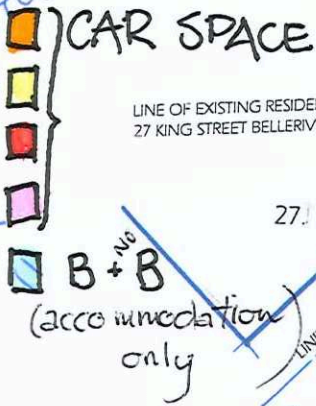
LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE



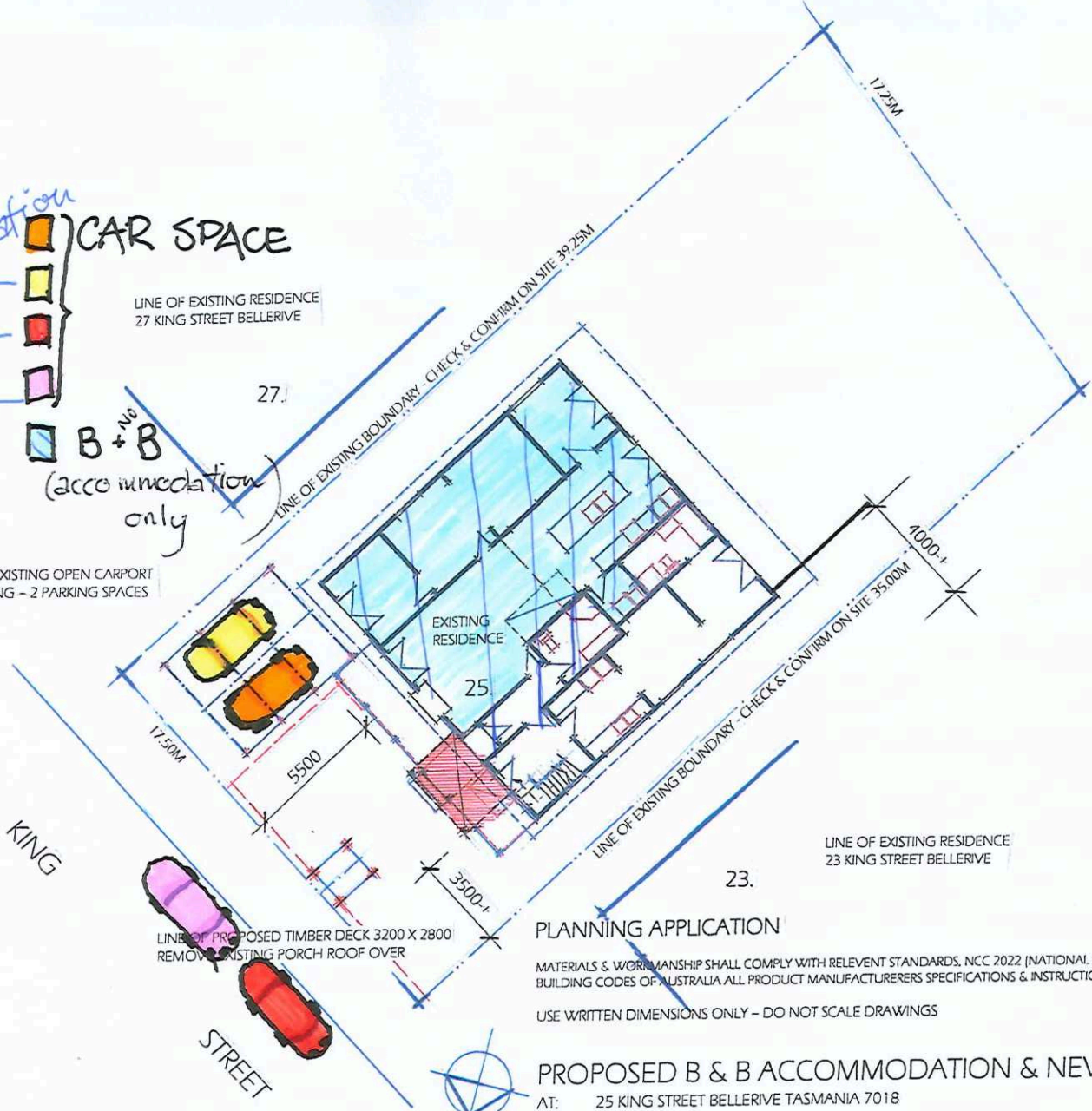
UPPER FLOOR LEVEL
PROPOSED NEW TIMBER DECK

LINE OF EXISTING BOUNDARY - CHECK & CONFIRM ON SITE

Visitor Accommodation
 Resident
 off street
 off street



LINE OF EXISTING OPEN CARPORT AS EXISTING - 2 PARKING SPACES



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PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

AT: 25 KING STREET BELLERIVE TASMANIA 7018
 FOR: CHRIS & LESLEY RIEWOLDT

SITE PLAN PROPOSED B & B ACCOMMODATION & NEW TIMBER DECK

SCALE: 1:200

DATE: NOV 2025

PROJECT No. 2025-45 DRAWING NO. PAO2-25