



## **DEVELOPMENT APPLICATION**

**PDPLANPMTD-2026/059672**

**PROPOSAL:** Building Additions and Alterations (Food Services)

**LOCATION:** 259 Kennedy Drive, Cambridge (with access over  
263 Kennedy Drive, Cambridge)

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 27/04/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 27/04/2026. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 27/04/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

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Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Building Addition - storage**

**Personal Information Removed**

Is the property on the Tasmanian Heritage Register?

Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Service Station**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: 27/03/2026



SEARCH OF TORRENS TITLE

VOLUME 131042	FOLIO 21
EDITION 7	DATE OF ISSUE 16-Feb-2023

SEARCH DATE : 08-Mar-2023

SEARCH TIME : 11.59 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 21 on Sealed Plan 131042

Derivation : PART OF 1,654 ACRES GTD.TO R.PITCAIRN & Anr.

Prior CT 106304/1

SCHEDULE 1

N109938 TRANSFER to BENNETTS PETROLEUM SUPPLIES PTY LTD

Registered 16-Feb-2023 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 131042 EASEMENTS in Schedule of Easements

SP 131042 COVENANTS in Schedule of Easements

SP 131042 FENCING COVENANT in Schedule of Easements

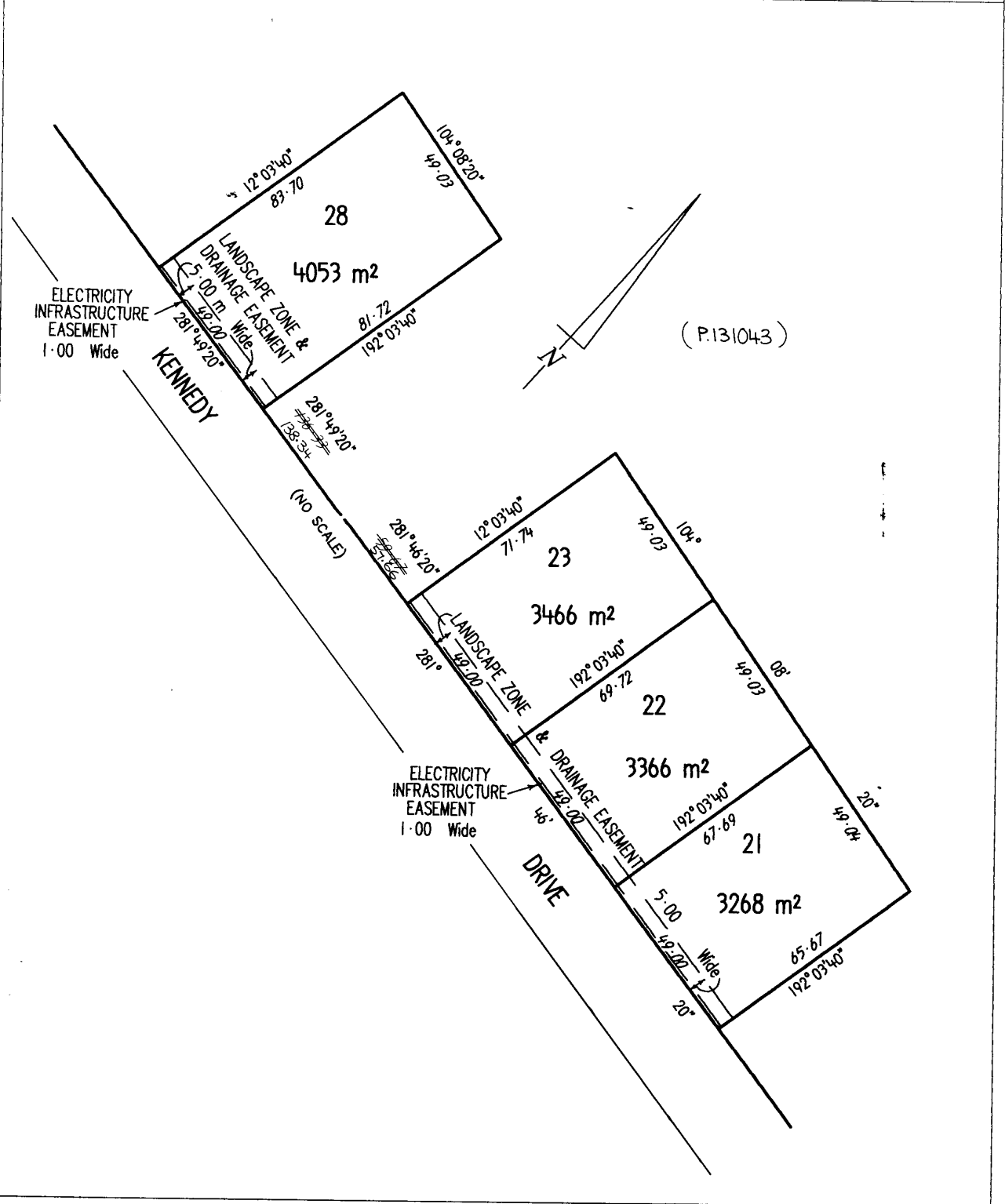
B653478 INSTRUMENT Creating Restrictive Covenants Registered  
28-Jun-1993 at 12.01 PM

N109329 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 16-Feb-2023 at 12.03 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER AEROTECHNOLOGY P/L		<b>PLAN OF SURVEY</b>	REGISTERED NUMBER
FOLIO REFERENCE FR 106304/1			<b>SP 131042</b>
GRANTEE Part of 1654 Acres Gtd. to Richard PITCAIRN & Thomas YOUNG		BY SURVEYOR R A CONNOR J.B.MEDBURY P/L SURVEYORS OF 224 CAMPBELL STREET, HOBART	APPROVED EFFECTIVE FROM 24 NOV 1998 <i>M. J. ...</i> Recorder of Titles
		LOCATION <b>CITY OF CLARENCE</b>	
SCALE 1: 1000		LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No > 107 (5225-25)	LAST UPI No > 1400129	LAST PLAN No > D.106304	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 131042</b>

PAGE 1 OF 3 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder. or from the balance

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**NOISE EASEMENT**

Each Lot on the Plan is SUBJECT TO the right (appurtenant to folio of the register volume 112358 folio 1 hereinafter called "the Dominant Land") of transmitting into and across the said Lot such noise and vibration as might arise from the proper use and operation by Federal Airports Corporation of a Schedule Airport under section 3(1) of the Federal Airports Corporation Act 1986 of the Hobart Airport situate on the Dominant Land.

**ELECTRICITY INFRASTRUCTURE EASEMENT**


Each Lot on the Plan is SUBJECT TO an Electricity Infrastructure Easement over that part of each Lot shown marked "Electricity Infrastructure Easement 1.00 m wide".

**COVENANTS**

The Owner of each Lot on the Plan covenants with the owner or owners of every other Lot on the Plan and the Balance to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit of this covenant shall be annexed to and devolve with each and every part of every other Lot on the Plan and the Balance:

- 1. Not to conduct any business on the Lot which:
  - 1.1 is not compatible with airport operations or is a use not directly incidental to such operations;
  - 1.2 involves a process or processes or generates waste which is conducted in such a way as to attract birds, insects, vermin or wildlife;
  - 1.3 in the reasonable opinion of Council uses or would use an excessive amount of water in its operation.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Aerotechnology Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: 106304/1	DATE: 96/0407
SOLICITOR & REFERENCE: Toomey Maning & Co (Stephen Wicks)	REF NO. 
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p><b>SP131042</b></p>
<p>SUBDIVIDER: Aerotechnology Pty Ltd FOLIO REFERENCE: 106304/1</p>	

2. Not to use the Lot for residential purposes.
3. Not to erect any building on the Lot without a Planning Permit from Council.
4. Not to allow any development on the Lot which is in contravention of Council's approved Development Control Plan for the site known as Cambridge Airport, without the prior written consent of Council.
5. Not to develop any part of the Lot within the area marked on the Plan as "Landscape Zone and Drainage Easement 5.00 m Wide" other than by way of driveway and services access and landscaping.
6. Not to erect any building on the Lot the external materials of which are unpainted metal or contrast rather than blend with the rural environment.

"Balance" means the land comprised in folio of the Register volume 106304 folio 1 excepting the Lots shown in the Plan.

"Council" means the Clarence City Council.

"Electricity Infrastructure Easement" means:

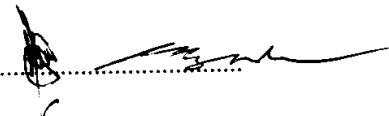
FIRSTLY, all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "Aurora") at all times hereafter:

- (a) To maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as Aurora may determine above, on or under the land respectively marked "Electricity Infrastructure Easement 1.00 m Wide" on the Plan (hereinafter called the "servient land").
- (b) To enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby.

Signed by Aerotechnology Pty Ltd:



Signed by Trust Bank



**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p><b>SP131042</b></p>
<p>SUBDIVIDER: Aerotechnology Pty Ltd FOLIO REFERENCE: 106304/1</p>	

- (c) To erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of Aurora these are necessary for reasons of safety.
- (d) To cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure.
- (e) To enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land.
- (f) Nothing herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land PROVIDED THAT such use does not derogate from this grant or, in the opinion of Aurora compromise the safe operation of Aurora electricity infrastructure located on, above or under the servient land.

SECONDLY, the benefit of a covenant for Aurora and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of Aurora to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

**FENCING COVENANT**

In respect of each Lot on the Plan, the Vendor Aerotechnology Pty Ltd shall not be required to fence.

THE COMMON SEAL of AEROTECHNOLOGY )  
PTY LTD (ACN 009 510 847) as registered )  
 proprietor of the land comprised in Certificate of )  
 Title Volume 106304 Folio 1 was hereunto affixed )  
 in the presence of: )



.....  

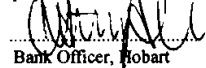

Director

.....  


Director/Secretary

SIGNED on behalf of TRUST BANK being the )  
 registered proprietor of Mortgage Registered No. )  
 B653477 affecting Certificate of Title Volume )  
 106304 Folio 1 in the presence of: )

SIGNED BY TRUST BANK by its attorney )  
 Peter Maurice Brazendale and Donald Francis Smith )  
 under Power No. 67/4762 (and the said )  
 Peter Maurice Brazendale and Donald Francis Smith )  
 declare that they have received no )  
 Notice of Revocation of the said Power) in the )  
 presence of: )

.....  
  
 Bank Officer, Hobart

.....  


Principal Officer

Principal Officer

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SEARCH OF TORRENS TITLE

VOLUME 138536	FOLIO 20
EDITION 7	DATE OF ISSUE 05-Jun-2023

SEARCH DATE : 13-Feb-2024

SEARCH TIME : 02.10 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 20 on Sealed Plan 138536

Derivation : Part of 1,654 Acres Gtd. to R.Pitcairn & Anr.

Prior CT 137963/1

SCHEDULE 1

N127879 TRANSFER to BUMBLEBEE CAPITAL PTY LTD Registered  
05-Jun-2023 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 138536 EASEMENTS in Schedule of Easements

SP 138536 COVENANTS in Schedule of Easements

SP 138536 FENCING COVENANT in Schedule of Easements

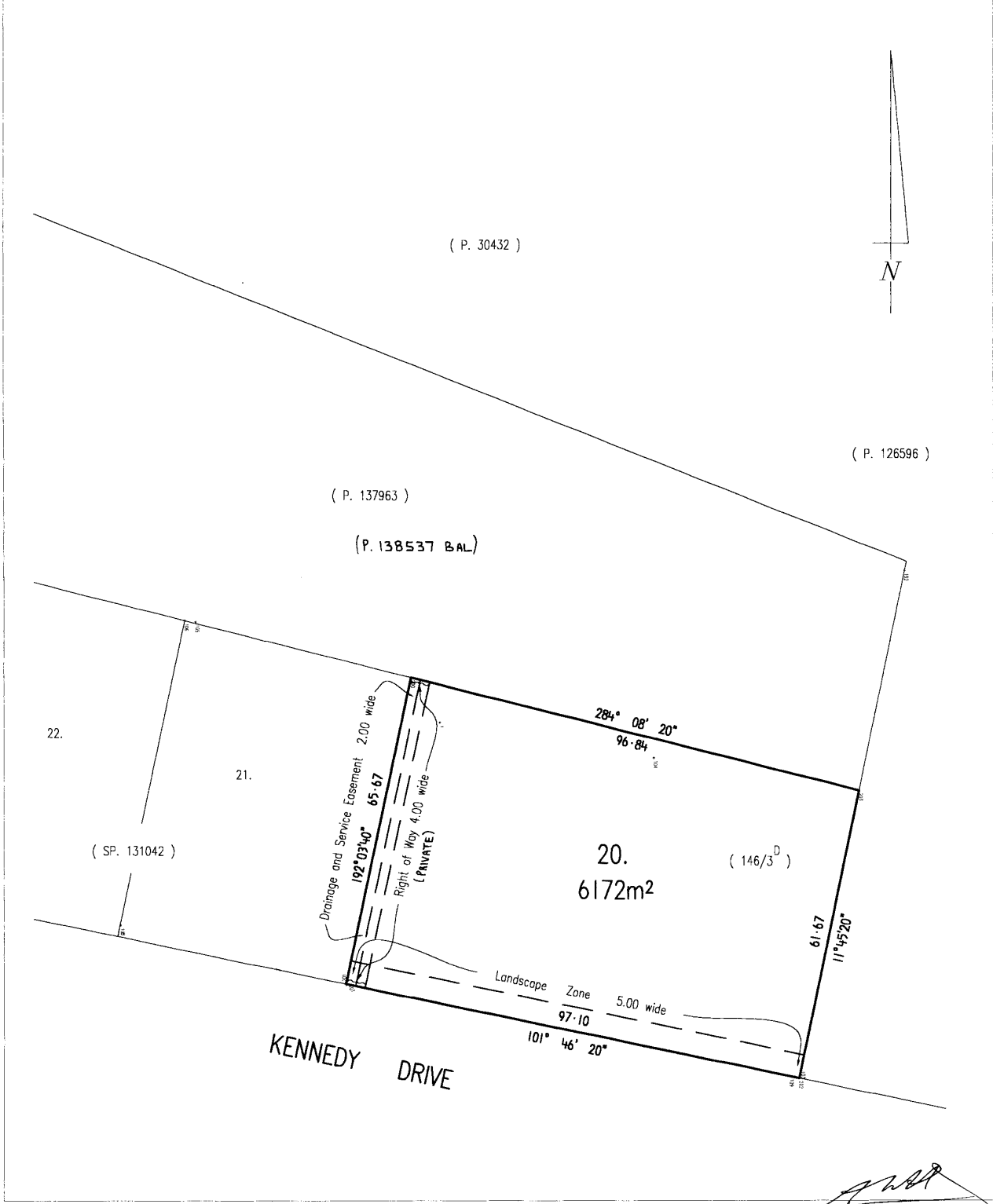
B653478 INSTRUMENT Creating Restrictive Covenants Registered  
28-Jun-1993 at 12.01 PM

N128462 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 05-Jun-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER <b>Aerotechnology Pty. Ltd.</b></p> <p>FOLIO REFERENCE <b>137963-1</b></p> <p>GRANTEE Part of 1654 acres granted to Robert Pitcairn and Thomas Young</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR J.B.MEDBURY J.B.MEDBURY P/L SURVEYORS OF 224 CAMPBELL STREET, HOBART</p> <p>LOCATION <b>CITY OF CLARENCE</b></p> <p>SCALE 1: 750      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP138536</b></p> <p>APPROVED EFFECTIVE FROM <b>20 NOV 2002</b></p> <p><i>Alice Kawa</i> Recorder of Titles</p>	
<p>MAPSHEET MUNICIPAL CODE No. 107 (5225-25)</p>	<p>LAST UPI No. <b>GHV 75</b></p>	<p>LAST PLAN No. <b>D.137963</b></p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>



*[Signature]*  
CORPORATE SECRETARY  
CLARENCE CITY COUNCIL

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 138536</b>

PAGE 1 OF 4 PAGE/S  
43

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

~~Lot 20 on the Plan is subject to a landscape easement (appurtenant to the Balance) over the land marked "Landscape Zone 5.00 wide" on the Plan.~~

Lot 20 on the Plan is subject to a right of drainage and service easement for the Council for sewerage reticulation, water supply and electricity supply to the Council's sewerage pump located within the Balance land over the land marked "Drainage and Service Easement 2.00 wide" on the Plan.

Lot 20 on the Plan is subject to a right of carriageway 4.00 wide (appurtenant to the Balance and for the Council) over the land marked "Right of Way 4.00 wide" on the Plan.

Lot 20 on the plan is together with a right of drainage over Lots 21 to 23 and 28 on SP131042, Lots 25 and 26 on SP137962, Lot 27 on SP 135339, Lot 29 on SP134112 and Lot 1 on SP 137290 over the land marked "Landscape Zone and Drainage Easement 5.00 wide" passing through such Lots.

**NOISE EASEMENT**

Lot 20 shown on the Plan is SUBJECT TO the right (appurtenant to folio of the register volume 112358 folio 1 hereinafter called "the Dominant Land") of transmitting into and across the said Lot such noise and vibration as might arise from the proper use and operation by the occupier from time to time of the Dominant Land of a Schedule Airport under section 3(1) of the Federal Airports Corporation Act 1986 on the Dominant Land.


**COVENANTS**

The Owner of the Lot shown on the Plan covenants with the Vendor Aerotechnology Pty Ltd and the owner or owners of the Balance to the intent that the burden of this covenant may run with and bind the

Signed by Aerotechnology Pty Ltd:  .....

Signed by Commonwealth Bank:  .....

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Aerotechnology Pty Ltd FOLIO REF: 137963/1 SOLICITOR & REFERENCE: Toomey Maning & Co (Curtis Browne)	PLAN SEALED BY: Clarence City Council DATE: 30-10-2009 SD 96/0407 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of	

**CORPORATE SECRETARY  
CLARENCE CITY COUNCIL**

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 4 PAGES 4	Registered Number <b>SP 138536</b>
SUBDIVIDER: Aerotechnology Pty Ltd FOLIO REFERENCE: 137963/1	

covenantor's lots and every part thereof and that the benefit of this covenant shall be annexed to and devolve with each and every part of the Balance:

1. Not to conduct any business on the Lot which:
  - 1.1 is not compatible with airport operations; and
  - 1.2 involves a process or processes or generates waste which is conducted in such a way as to attract birds, insects, vermin or wildlife.
2. Not to erect any building on the Lot without a Planning Permit from Council.
3. Not to allow any development on the Lot which is in contravention of Council's approved Development Control Plan for the site known as Cambridge Airport, without the prior written consent of Council.
4. Not to develop any part of the Lot within the area marked on the Plan as "Landscape Zone 5.00 wide" other than by way of driveway and services access and landscaping.
5. Not to erect any building on the Lot the external materials of which are unpainted metal.
6. Not to do anything on the Lot including the erection of any building or structure which contravenes any statute or regulation in force at the time controlling building or other activities on or near an airport or aerodome.


"Balance" means the land comprised in folio of the register volume 137963 folio 1 excepting the Lot shown in the Plan.

"Council" means the Clarence City Council.

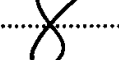
**FENCING COVENANT**

In respect of each Lot on the Plan, the Vendor Aerotechnology Pty Ltd shall not be required to fence.

Signed by Aerotechnology Pty Ltd:

.....  .....

Signed by Commonwealth Bank:

.....  .....

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 3 PAGES 4	Registered Number <b>SP 138536</b>
SUBDIVIDER: Aerotechnology Pty Ltd FOLIO REFERENCE: 137963/1	

THE COMMON SEAL of **AEROTECHNOLOGY** )  
**PTY LTD** (ACN 009 510 847) as registered )  
 proprietor of the land comprised in Certificate of )  
 Title Volume 137291 Folio 1 was hereunto affixed )  
 in the presence of: )


Common Seal



.....  
 Director

.....  
 Director/Secretary

**SIGNED SEALED & DELIVERED** on behalf of )  
**COMMONWEALTH BANK OF AUSTRALIA** )  
 by its duly constituted Attorney ... SCOTT DATHIAN )  
 ..... JAMES ..... under Power of Attorney )  
 No. 7216177 ..... who hereby certifies that )  
 he has received no notice of revocation of the said )  
 Power and in the presence of: SMH )  
 < SIMONA HILL )  
 Full name (witness signature & full name)

x \_\_\_\_\_  


x BANK OFFICER .....  
 Occupation

x 41/6, 385 BOURKE STREET, MELBOURNE VIC 3000,  
 Address

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 4 PAGE/S</p>	<p>Registered Number</p> <p><b>SP 138536</b></p>
<p>SUBDIVIDER.: AEROTECHNOLOGY PTY. LTD.</p> <p>FOLIO REFERENCE: 137963/1</p>	

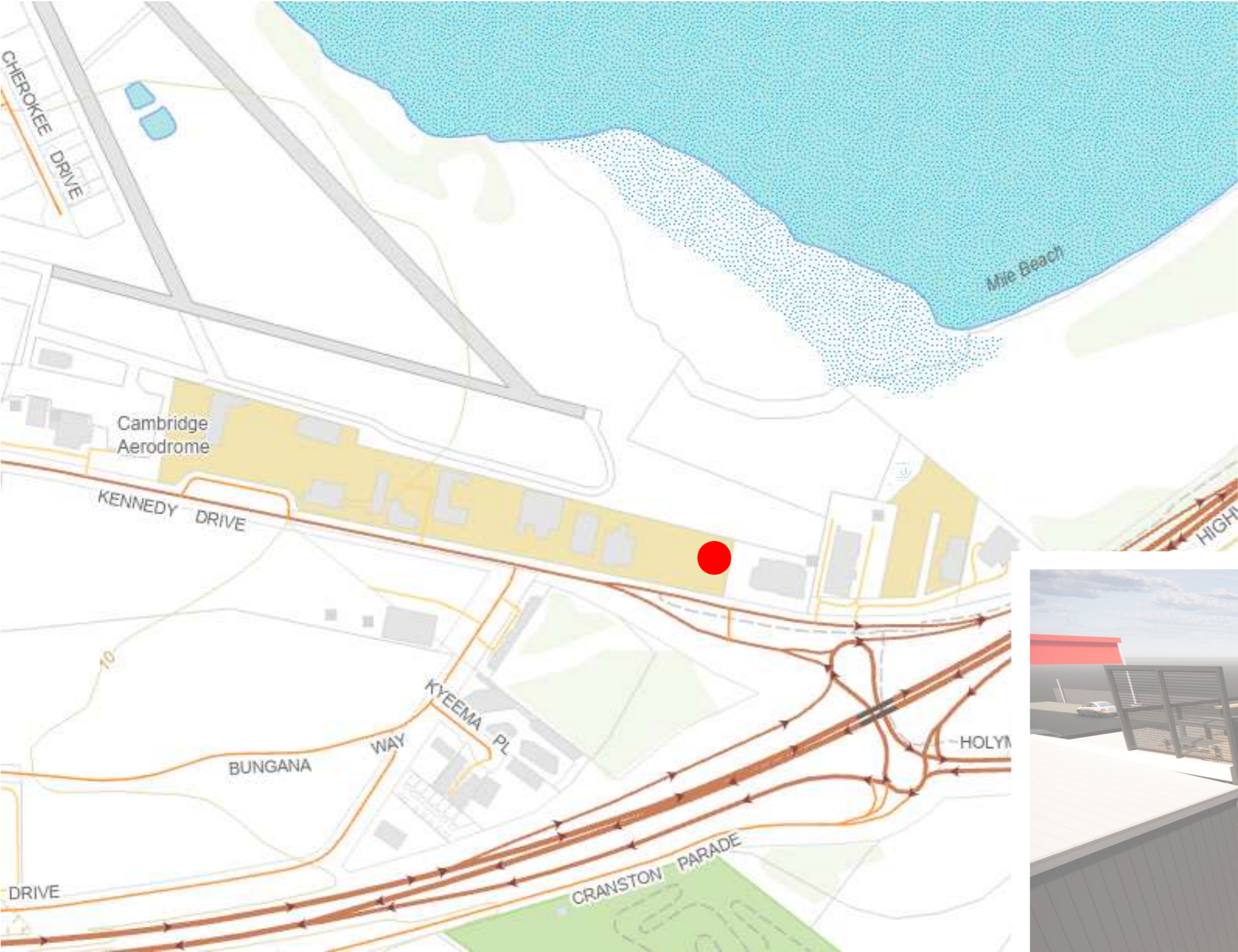
INTERPRETATION:

Service Easement means the full free right of the Council to lay, use and maintain forever water mains, pipes, drains, mains, channels, gutters, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required on the land shown on the plan marked "Drainage and Service Easement 2.00 wide" and the right for their surveyors and workmen from time to time and at all times hereafter to enter into and upon the said land or any part thereof bringing upon the said Service Easement such material, machinery, and other things as it shall think fit and proper to inspect the condition thereof and to repair, amend and cleanse PROVIDED HOWEVER that any damage occasioned thereby shall be made good.

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# Building addition - storage

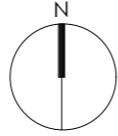
259 Kennedy Drive, Cambridge, 7170



North-East 3D view

Rev.	Amendment	Date

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 All dimensions in millimetres unless noted otherwise. Print in colour.



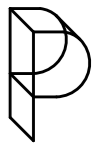
Project:  
 259 Kennedy Drive  
 Cambridge, TAS, 7170  
 Bennett's Petroleum

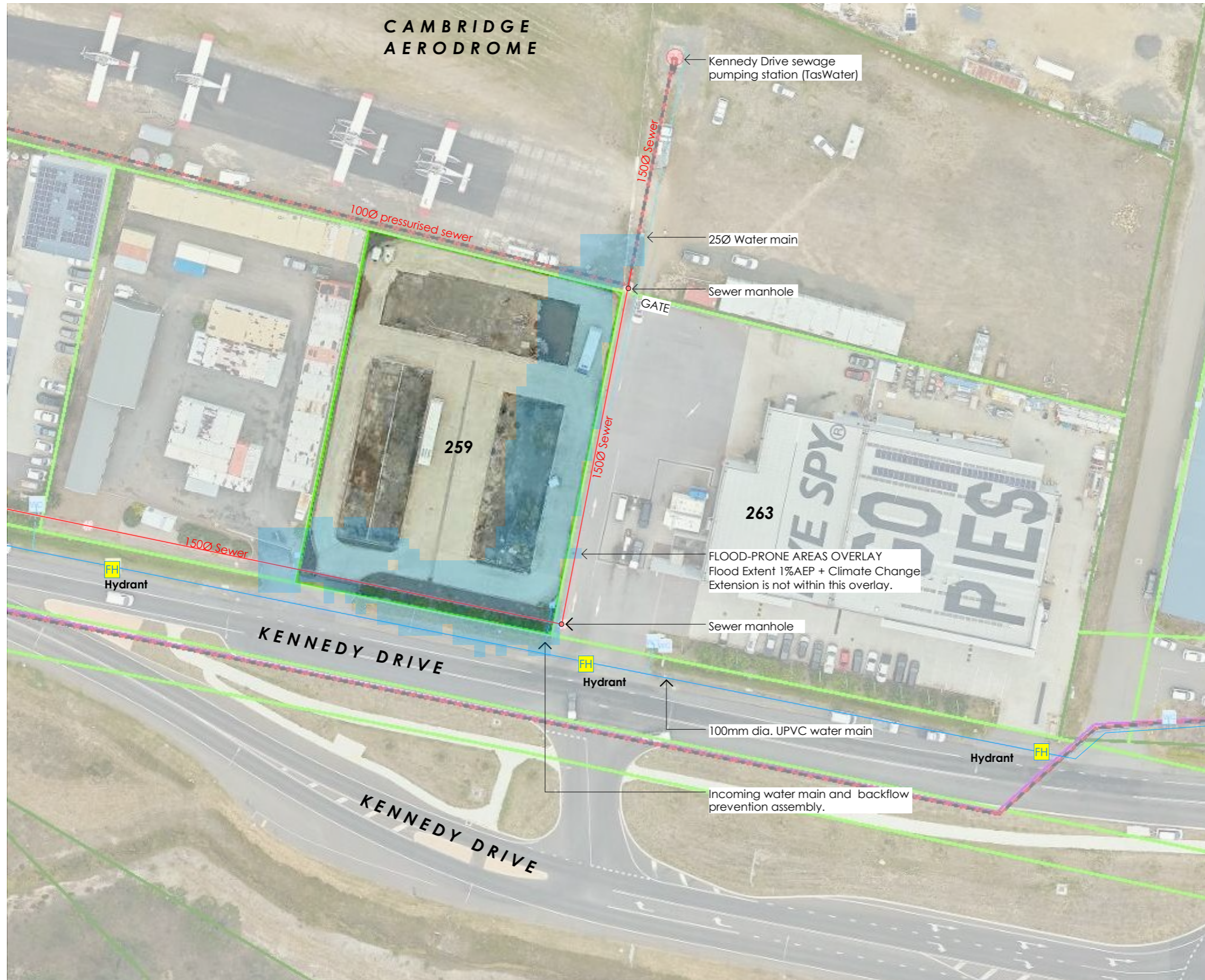
Drawing name:  
**Cover Page**  
 Issue date:  
 27/03/2026

Project stage:  
 Development App.

Drawing no:  
**23.002- DA01**  
 Scale @ A3:  
 Revision:

**POTTER PROJECTS**  
 0408 303 034  
 admin@potterprojects.com  
 1/90 Clarence Street  
 Bellerive TAS 7018





**LEGEND AND NOTES**

- TasWater Water
- TasWater Sewer
- FH Water Hydrant

**SITE INFORMATION**

Title Reference:	131042/21
Property ID:	1892960
Council:	Clarence City Council
Zone:	Light Industrial
Planning Overlays:	- Airport noise exposure area - Airport Obstacle limitation area - Road or railway attenuation area - Flood-prone areas
Covenants:	As noted within the Schedule of Easements
NCC Building Class:	Shop = Class 6; NCC Volume 1 applies
Wind Classification:	N3 Max. design wind gust 50m/s
Shielding:	No Shielding
Terrain Category:	TC1 Open
Soil Classification:	P
Climate Zone:	7

**Corrosion Protection**  
The site is within 350m of a sheltered saltwater bay (Pittwater) and 3.5km to breaking surf (Seven Mile Beach).

Structural steel category:	Medium
Sheet roofing category:	Medium

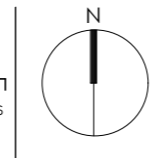
**DEVELOPMENT STANDARDS**

**Front Setbacks:**  
Buildings must have a setback from a frontage of:  
(a) not less than 5.5m;  
(b) not less than existing buildings on the site; or  
(c) not more or less than the maximum and minimum setbacks of the buildings on adjoining properties.

Side & Rear Setback:	0m
Max. Building Height:	10m

Rev.	Amendment	Date

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All dimensions in millimetres unless noted otherwise. Print in colour.



Project:  
**259 Kennedy Drive**  
Cambridge, TAS, 7170  
Bennett's Petroleum

Drawing name:  
**Site Analysis Plan**

Issue date: 27/03/2026

Project stage: Development App.

Drawing no:  
**23.002- DA02**

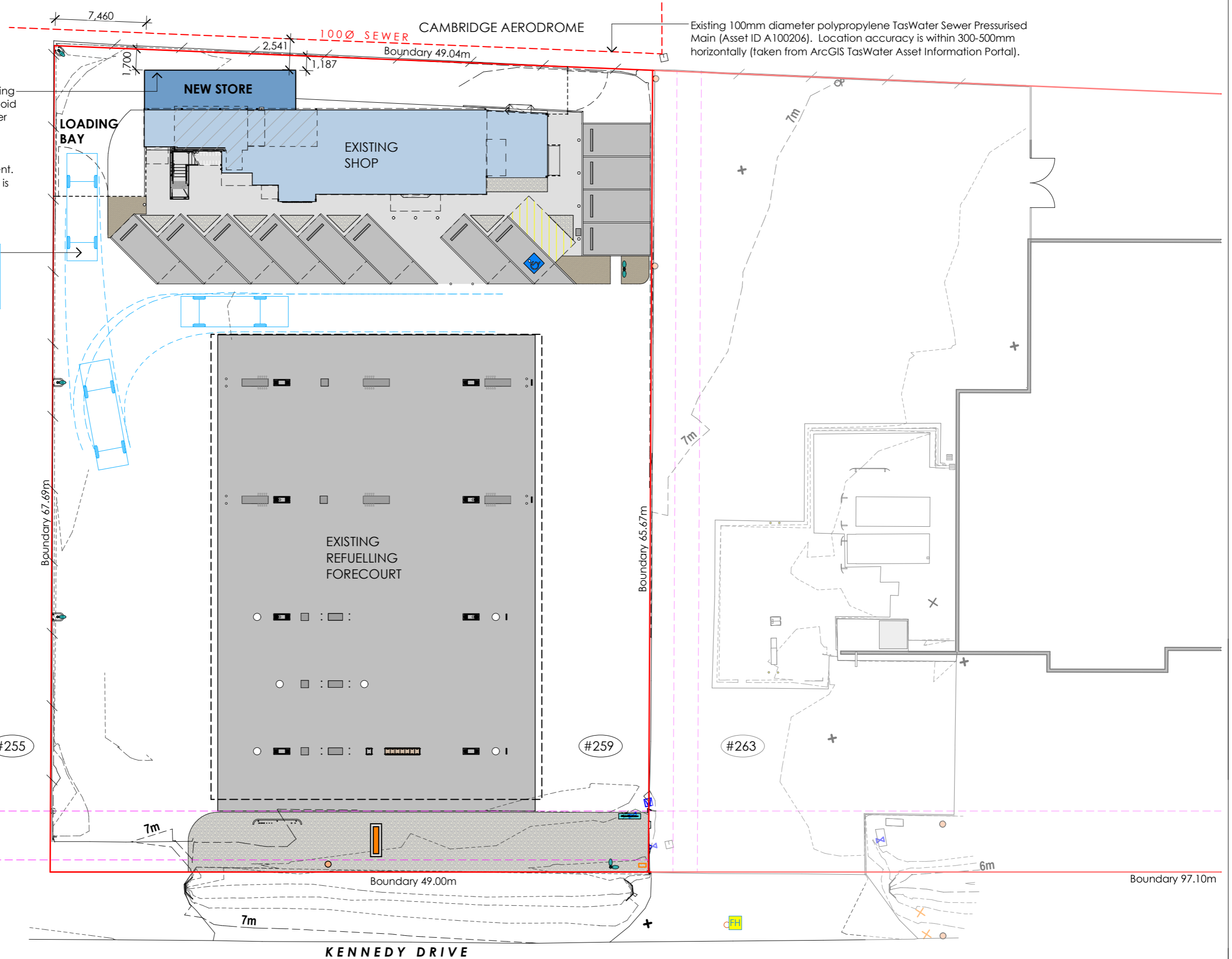
Scale @ A3: 1:750

Revision:

**POTTER PROJECTS**  
0408 303 034  
admin@potterprojects.com  
1/90 Clarence Street  
Bellerive TAS 7018

Provide 3m deep piled footings (matching existing shop foundations) along the northern wall to avoid loading the adjacent TasWater pressurised sewer main. Depth of main cannot be confirmed by conventional survey (CCTV) methods; burial assumed  $\leq 1.2$  m. Footings are conservative to mitigate risk of load transfer or ground movement. A detailed section can be provided if TasWater is able to confirm the asset depth.

**AUSTROADS DESIGN SERVICE VEHICLE (8.8 m)**  
 Radius 9 m  
 Turning speed 0 - 5 km/h



Rev.	Amendment	Date

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 All dimensions in millimetres unless noted otherwise. Print in colour.



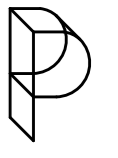
Project:  
 259 Kennedy Drive  
 Cambridge, TAS, 7170  
 Bennett's Petroleum

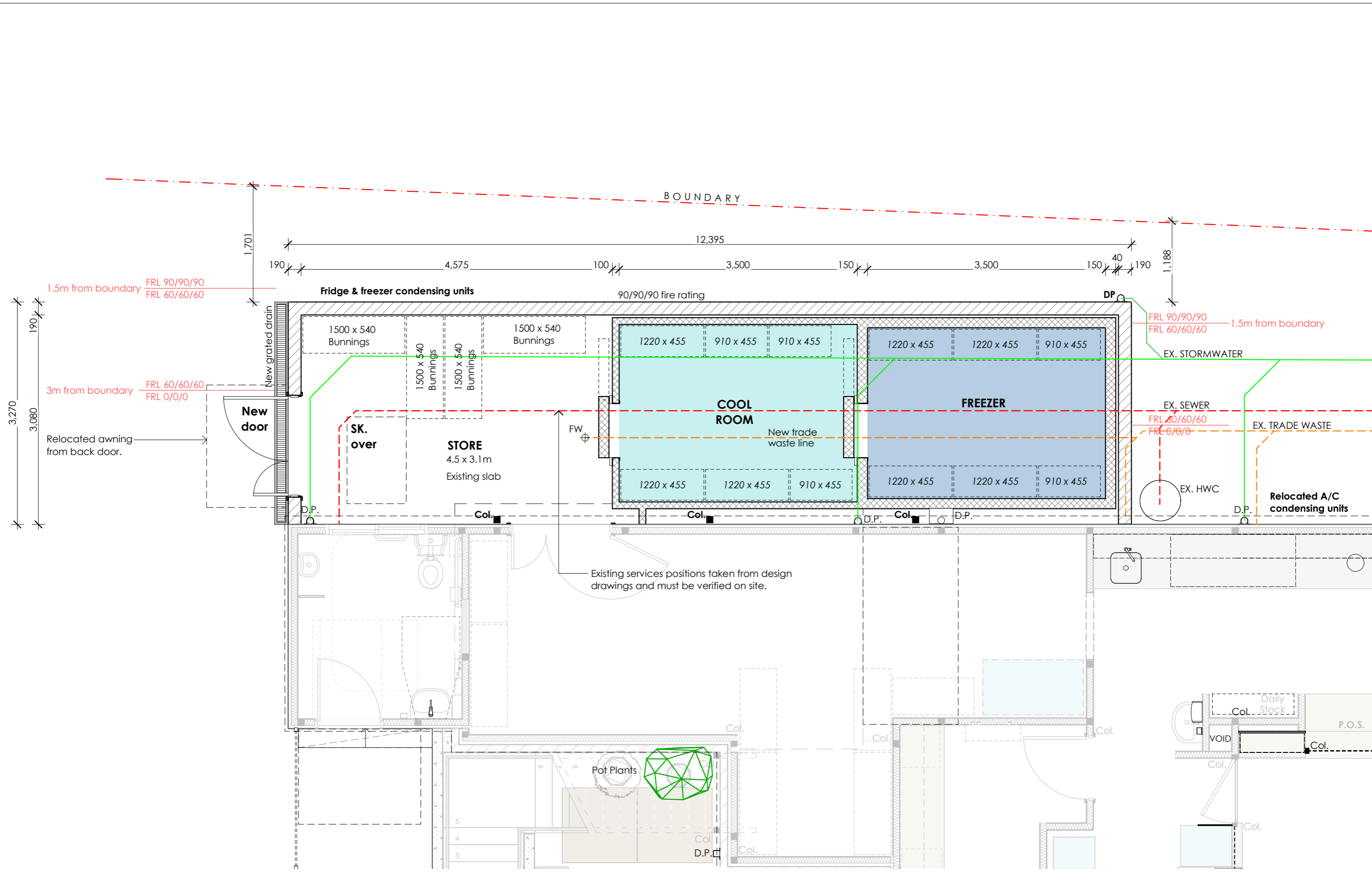
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**Site Plan**  
 Issue date:  
 27/03/2026

Project stage:  
 Development App.

Drawing no:  
**23.002-DA03**  
 Scale @ A3:  
 1:300  
 Revision:

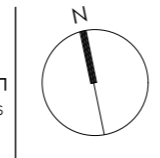
**POTTER PROJECTS**  
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 admin@potterprojects.com  
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Rev.	Amendment	Date

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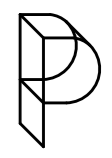
Project:  
 259 Kennedy Drive  
 Cambridge, TAS, 7170  
 Bennett's Petroleum

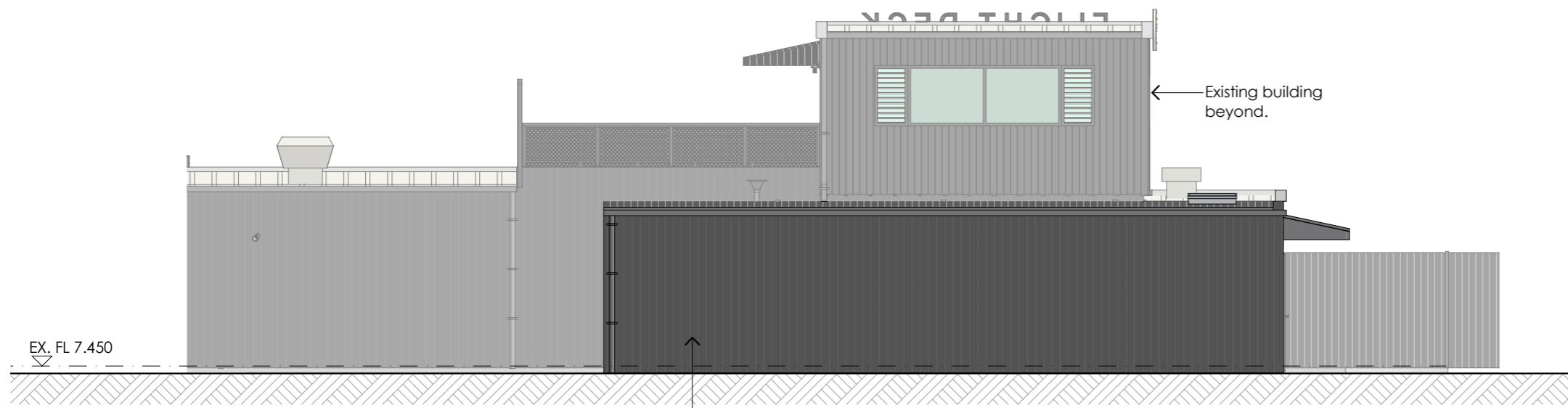
Drawing name:  
**Floor Plan**  
 Issue date:  
 27/03/2026

Project stage:  
 Development App.

Drawing no:  
**23.002-DA04**  
 Scale @ A3:  
 1:50

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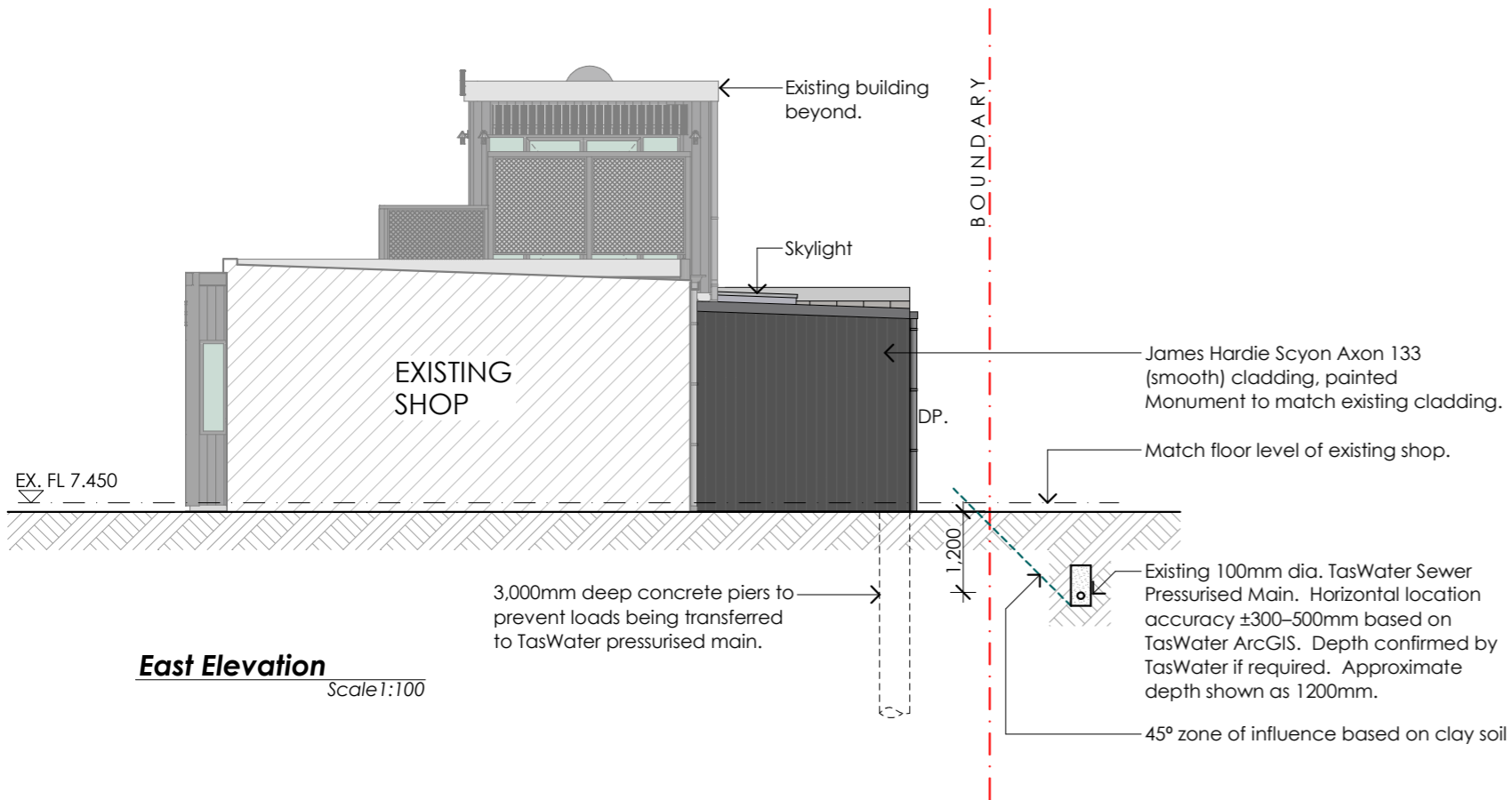




**North Elevation**  
Scale 1:100

James Hardie Scyon Axon 133 (smooth) cladding, painted Monument to match existing cladding.

Existing building beyond.



**East Elevation**  
Scale 1:100

3,000mm deep concrete piers to prevent loads being transferred to TasWater pressurised main.

James Hardie Scyon Axon 133 (smooth) cladding, painted Monument to match existing cladding.

Existing building beyond.

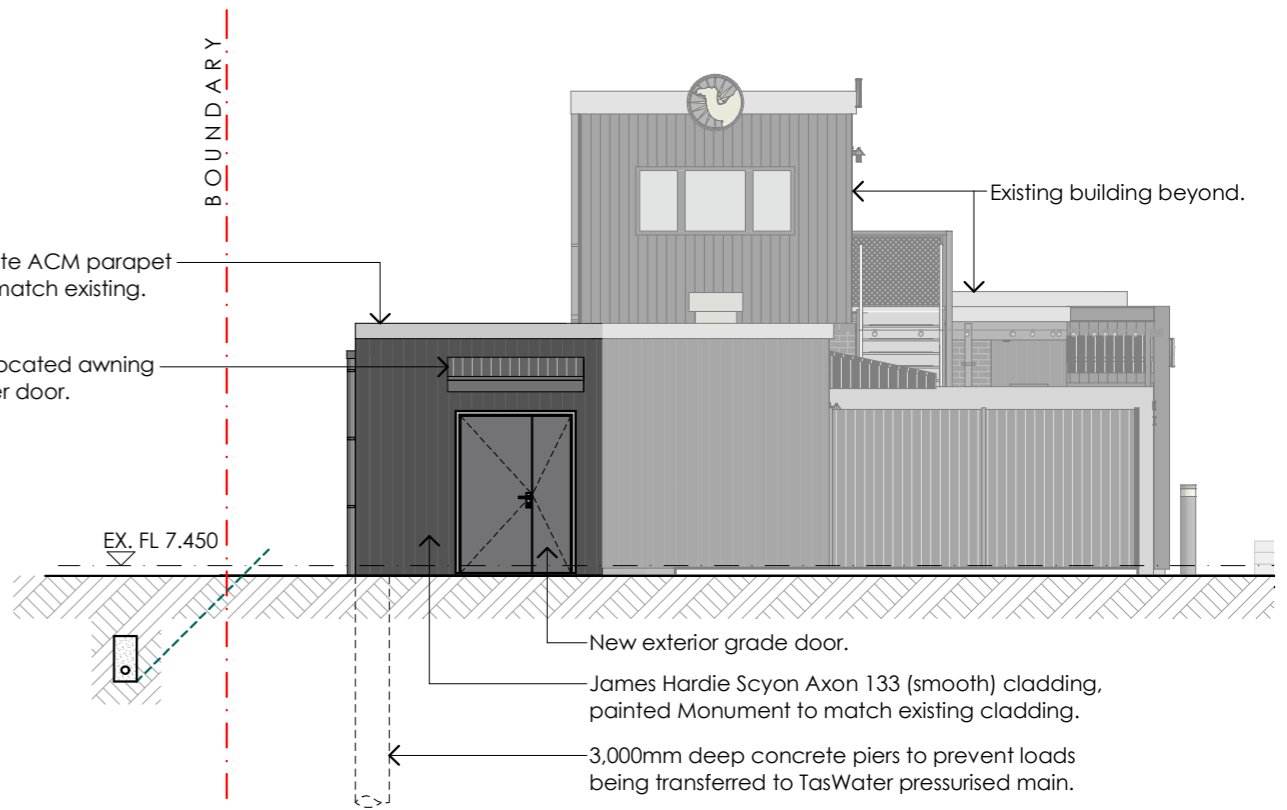
Skylight

BOUNDARY

Match floor level of existing shop.

Existing 100mm dia. TasWater Sewer Pressurised Main. Horizontal location accuracy ±300–500mm based on TasWater ArcGIS. Depth confirmed by TasWater if required. Approximate depth shown as 1200mm.

45° zone of influence based on clay soil type.



**West Elevation**  
Scale 1:100

White ACM parapet to match existing.

Relocated awning over door.

Existing building beyond.

New exterior grade door.

James Hardie Scyon Axon 133 (smooth) cladding, painted Monument to match existing cladding.

3,000mm deep concrete piers to prevent loads being transferred to TasWater pressurised main.

BOUNDARY

Rev.	Amendment	Date

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Project:  
259 Kennedy Drive  
Cambridge, TAS, 7170  
Bennett's Petroleum

Drawing name:  
**Elevations**  
Issue date:  
27/03/2026

Project stage:  
Development App.

Drawing no:  
**23.002- DA05**  
Scale @ A3:  
1:100  
Revision:

**POTTER PROJECTS**  
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