

PLEASE QUOTE

Your Ref:

Our Ref: DA 2025/82

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania  
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690  
Phone: (03) 6430 5700  
Email: burnie@burnie.tas.gov.au  
Web: www.burnie.tas.gov.au

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## NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

### *Advice to Adjoining Land Owner or Occupier*

**Application No: - DA 2025/82**  
**Development Site: - 22 Griffith Street ACTON**  
**CT: 60791/155**  
**Proposal: - Single Dwelling**

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Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

**Burnie City Council Customer Services Counter**  
**Ground Floor, City Offices,**  
**80 Wilson Street, Burnie**

Between the hours of 8.45 am – 4.45 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at [www.burnie.tas.gov.au/permits](http://www.burnie.tas.gov.au/permits)

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

**General Manager,**  
**Burnie City Council,**  
**PO Box 973, Burnie 7320**

or [burnie@burnie.tas.gov.au](mailto:burnie@burnie.tas.gov.au) by no later than 5.00 pm on **22 December 2025**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

**The Tasmanian Civil and Administrative Tribunal,**  
**GPO Box 1311,**  
**HOBART TAS 7001.**

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

Troy McCarthy

**PRINCIPAL PLANNER**

Date of Notice: - **6 December 2025**

**Land Use Planning and Approvals Act 1993**

**Tasmanian Planning Scheme**

**PERMIT APPLICATION**

*Office use only*

Application No \_\_\_\_\_

Date Received \_\_\_\_\_

Permit Pathway - *Permitted/Discretionary*

**Use or Development Site:**

Street Address

22 Griffith Street, Acton

Certificate of  
Title Reference

60791/155

**Applicant**

First Name

Nicholas

Second  
Name

Surname

Brandsema

Postal Address:

8 Brandsema Street  
Turners Beach

Phone No:

6429 8800

Mobile:

Email Address:

admin@nplusb.com.au

I/we consent for all giving of information and the serving of notices in relation to this application to be delivered electronically to the above email address?

YES



NO



Applicants Signature:



**Owner** (note – if more than one owner, all names must be indicated)

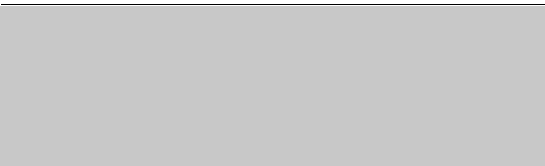
First Name

Director of Housing

Second Name

Surname

Postal Address:



Phone No:



## Instruction for making a permit application

### a) *Use or development?*

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

### b) *Required Information*

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

S54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

### c) *Applicable Provisions and Standards*

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg *clause 8.4.3 (A1 – A4, and P5)*)

### d) *Discretionary Permits*

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

### e) *If the applicant is not the landowner*

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

### f) *Applicant declaration*

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

### g) *Payment of Fees*

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

**Permit Information**

(NB If insufficient space, please attach separate document)

**Proposed Use:**

Use Class      Residence

**Documents included with the permit application to describe the Use**

**Proposed Development**

Use class to which the development applies      Proposed Residence

**Documents included with the permit application to describe the Development**

**Provisions and Standards relied upon for grant of a Permit**

**Value of use and/or development**

**Notification of Landowner/s**

**If land is not in applicant's ownership**

I, Nicholas Brandsema, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant



Date 13/11/2025

**If the permit application involves land owned or administered by the BURNIE CITY COUNCIL**

Burnie City Council consents to the making of this permit application.

General Manager (Signature)

Date

**If the permit application involves land owned or administered by the CROWN**

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature)

Date

**Applicant Declaration**

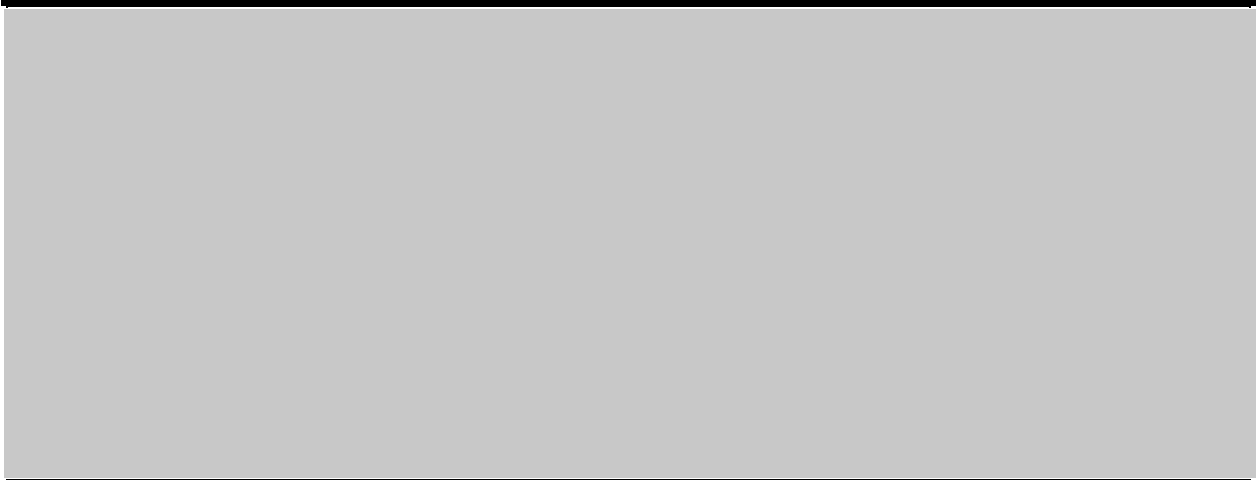
I, Nicholas Brandsema declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant



Date 13/11/2025

**Office use only**



SEARCH OF TORRENS TITLE

VOLUME 60791	FOLIO 155
EDITION 2	DATE OF ISSUE 12-Sep-2022

SEARCH DATE : 12-Mar-2024

SEARCH TIME : 03.23 PM

DESCRIPTION OF LAND

City of BURNIE

Lot 155 on Sealed Plan 60791 (formerly being SP3470)

Derivation : Part of 50,000 Acres Gtd. to The Van Diemens Land Co.

Prior CT 3069/16

SCHEDULE 1

5039, 5052, 5069, 5056 & M948483 DIRECTOR OF HOUSING  
Registered 12-Sep-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP 60791 EASEMENTS in Schedule of Easements (if any)

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

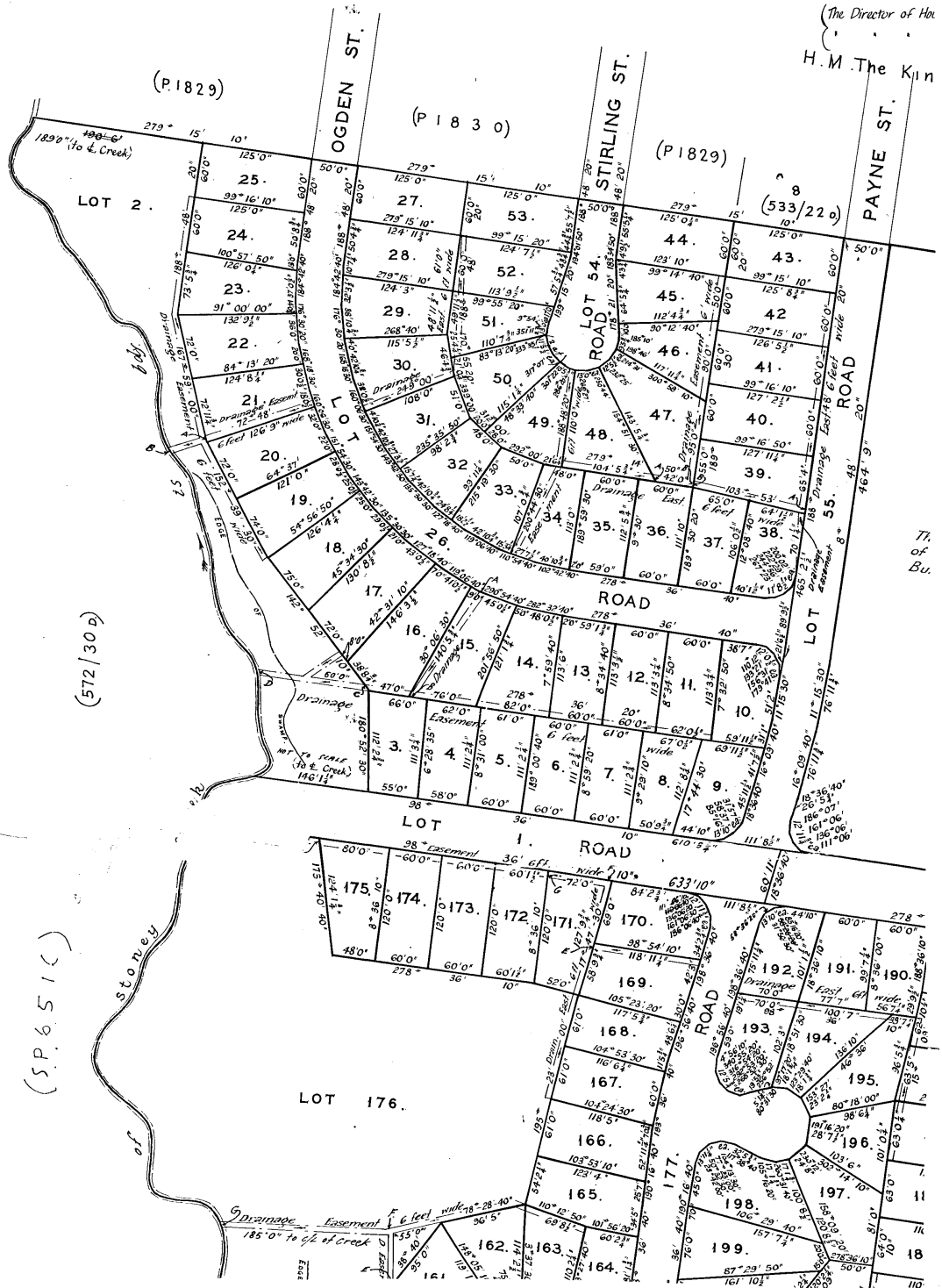
S.P.3470

REGISTERED NUMBER  
60791

TOWN  
ACT

SCALE

The Director of Housing  
H.M. The King



OWN OF BURNIE  
ACTON SUBDIVISION

SCALE = 80 FEET TO AN INCH.

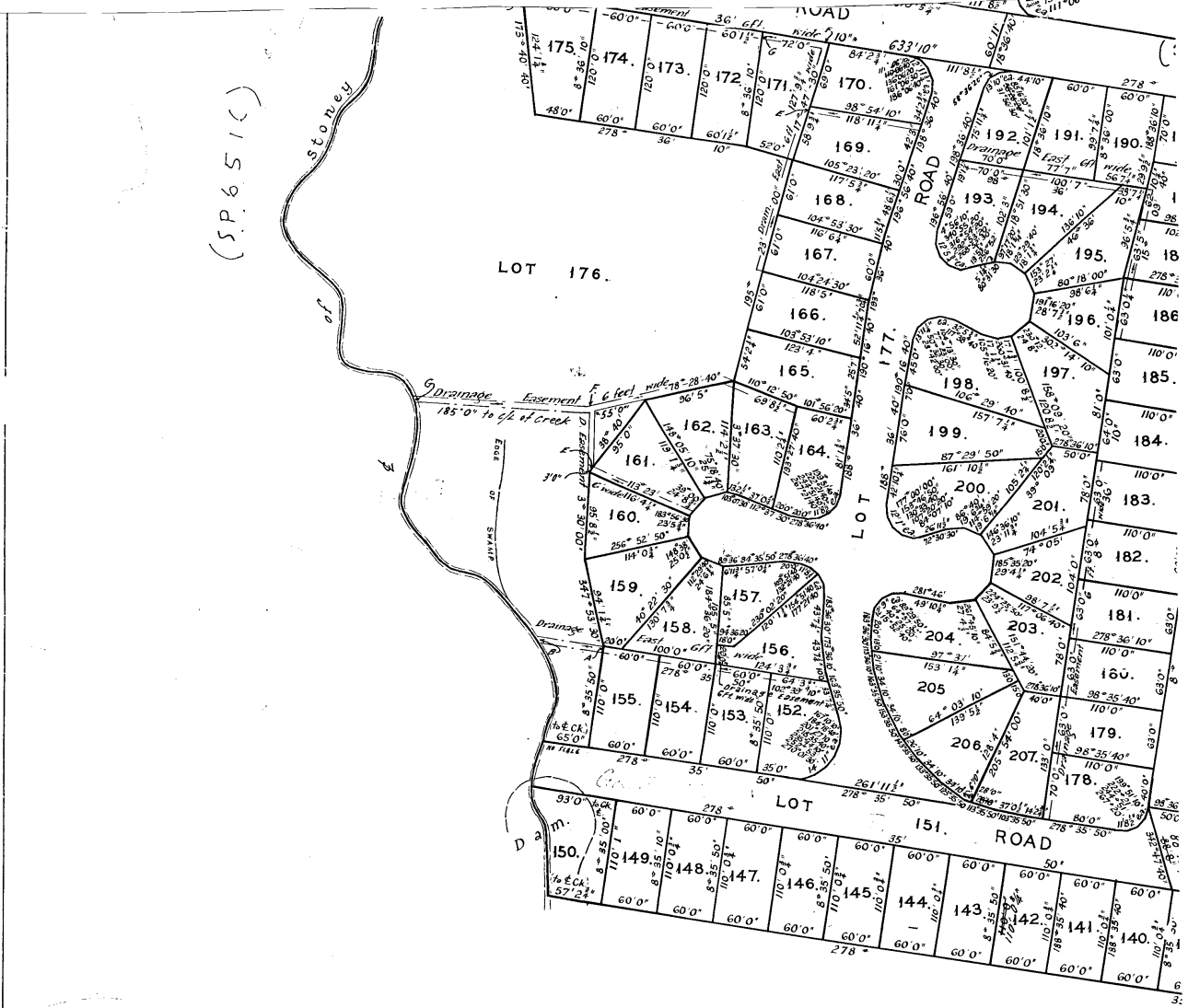
(The Director of Housing Ovr. 2415-43 cr. 2419-6 cr.) Grantee: Part of 50,000 acres Gtd. to V.O.L. Company

SEAL PLAN 3470  
EFFECTIVE FROM 22-3-1971  
M. H. ...  
RECORDER OF TITLES

S.P. 3470  
16709 REGISTERED NUMBER



14 JAN 1971



(S.P. 515 C)

(37/5 ns) (855-9)

REGISTERED NUMBER  
**60791**  
S.P. 3470

Lx. Comps B.E.  
Boys, 11/6/1971

To be filled in by Surveyor  
Date of Instructions 14. 10. 66.  
Survey commenced 24. 10. 66.  
Survey finished 5. 1. 67.  
Error of close 1 in See calcs.

LOT.	AREA.	LOT.	AREA.	LOT.	AREA.	LOT.	AR
1.	0. 3. 21 <sup>1</sup> / <sub>2</sub>	34.	23 <sup>1</sup> / <sub>2</sub>	67.	27 <sup>1</sup> / <sub>2</sub>	100.	2.
2.	0. 3. 12 <sup>1</sup> / <sub>2</sub>	35.	25 <sup>1</sup> / <sub>2</sub>	68.	27 <sup>1</sup> / <sub>2</sub>	101.	2 <sup>1</sup> / <sub>2</sub>
3.	1. 2. 12 <sup>1</sup> / <sub>2</sub>	36.	24 <sup>1</sup> / <sub>2</sub>	69.	31 <sup>1</sup> / <sub>2</sub>	102.	2 <sup>1</sup> / <sub>2</sub>
4.	24 <sup>1</sup> / <sub>2</sub>	37.	25 <sup>1</sup> / <sub>2</sub>	70.	1. 1. 12 <sup>1</sup> / <sub>2</sub>	103.	2 <sup>1</sup> / <sub>2</sub>
5.	24 <sup>1</sup> / <sub>2</sub>	38.	24 <sup>1</sup> / <sub>2</sub>	71.	0. 1. 19 <sup>1</sup> / <sub>2</sub>	104.	2
6.	24 <sup>1</sup> / <sub>2</sub>	39.	28 <sup>1</sup> / <sub>2</sub>	72.	0. 2. 27 <sup>1</sup> / <sub>2</sub>	105.	2.
7.	24 <sup>1</sup> / <sub>2</sub>	40.	28 <sup>1</sup> / <sub>2</sub>	73.	0. 3. 11 <sup>1</sup> / <sub>2</sub>	106.	2.
8.	24 <sup>1</sup> / <sub>2</sub>	41.	28 <sup>1</sup> / <sub>2</sub>	74.	0. 3. 17 <sup>1</sup> / <sub>2</sub>	107.	2.
9.	28 <sup>1</sup> / <sub>2</sub>	42.	27 <sup>1</sup> / <sub>2</sub>	75.	22 <sup>1</sup> / <sub>2</sub>	108.	3 <sup>1</sup> / <sub>2</sub>
10.	26 <sup>1</sup> / <sub>2</sub>	43.	27 <sup>1</sup> / <sub>2</sub>	76.	23 <sup>1</sup> / <sub>2</sub>	109.	2 <sup>1</sup> / <sub>2</sub>
11.	25 <sup>1</sup> / <sub>2</sub>	44.	27 <sup>1</sup> / <sub>2</sub>	77.	29 <sup>1</sup> / <sub>2</sub>	110.	2 <sup>1</sup> / <sub>2</sub>
12.	25 <sup>1</sup> / <sub>2</sub>	45.	25 <sup>1</sup> / <sub>2</sub>	78.	24 <sup>1</sup> / <sub>2</sub>	111.	2 <sup>1</sup> / <sub>2</sub>
13.	25 <sup>1</sup> / <sub>2</sub>	46.	23 <sup>1</sup> / <sub>2</sub>	79.	24 <sup>1</sup> / <sub>2</sub>	112.	2 <sup>1</sup> / <sub>2</sub>
14.	28 <sup>1</sup> / <sub>2</sub>	47.	35 <sup>1</sup> / <sub>2</sub>	80.	24 <sup>1</sup> / <sub>2</sub>	113.	2 <sup>1</sup> / <sub>2</sub>
15.	30 <sup>1</sup> / <sub>2</sub>	48.	27 <sup>1</sup> / <sub>2</sub>	81.	24 <sup>1</sup> / <sub>2</sub>	114.	2 <sup>1</sup> / <sub>2</sub>
16.	35 <sup>1</sup> / <sub>2</sub>	49.	24 <sup>1</sup> / <sub>2</sub>	82.	24 <sup>1</sup> / <sub>2</sub>	115.	2 <sup>1</sup> / <sub>2</sub>
17.	34 <sup>1</sup> / <sub>2</sub>	50.	23 <sup>1</sup> / <sub>2</sub>	83.	24 <sup>1</sup> / <sub>2</sub>	116.	2 <sup>1</sup> / <sub>2</sub>
18.	30 <sup>1</sup> / <sub>2</sub>	51.	24 <sup>1</sup> / <sub>2</sub>	84.	25 <sup>1</sup> / <sub>2</sub>	117.	2.
19.	28 <sup>1</sup> / <sub>2</sub>	52.	26 <sup>1</sup> / <sub>2</sub>	85.	26 <sup>1</sup> / <sub>2</sub>	118.	2.
20.	28 <sup>1</sup> / <sub>2</sub>	53.	27 <sup>1</sup> / <sub>2</sub>	86.	25 <sup>1</sup> / <sub>2</sub>	119.	2 <sup>1</sup> / <sub>2</sub>
21.	27 <sup>1</sup> / <sub>2</sub>	54.	0. 1. 0 <sup>1</sup> / <sub>2</sub>	87.	26 <sup>1</sup> / <sub>2</sub>	120.	2 <sup>1</sup> / <sub>2</sub>
22.	29 <sup>1</sup> / <sub>2</sub>	55.	0. 3. 6 <sup>1</sup> / <sub>2</sub>	88.	25 <sup>1</sup> / <sub>2</sub> 25 <sup>1</sup> / <sub>2</sub>	121.	3 <sup>1</sup> / <sub>2</sub>
23.	29 <sup>1</sup> / <sub>2</sub>	56.	11. 3. 37 <sup>1</sup> / <sub>2</sub>	89.	24 <sup>1</sup> / <sub>2</sub>	122.	3 <sup>1</sup> / <sub>2</sub>
24.	28 <sup>1</sup> / <sub>2</sub>	57.	1. 1. 16 <sup>1</sup> / <sub>2</sub>	90.	24 <sup>1</sup> / <sub>2</sub>	123.	3 <sup>1</sup> / <sub>2</sub>
25.	27 <sup>1</sup> / <sub>2</sub>	58.	0. 3. 29 <sup>1</sup> / <sub>2</sub>	91.	24 <sup>1</sup> / <sub>2</sub>	124.	2 <sup>1</sup> / <sub>2</sub>
26.	1. 0. 11 <sup>1</sup> / <sub>2</sub>	59.	27 <sup>1</sup> / <sub>2</sub>	92.	24 <sup>1</sup> / <sub>2</sub>	125.	2 <sup>1</sup> / <sub>2</sub>
27.	27 <sup>1</sup> / <sub>2</sub>	60.	27 <sup>1</sup> / <sub>2</sub>	93.	24 <sup>1</sup> / <sub>2</sub>	126.	2 <sup>1</sup> / <sub>2</sub>
28.	28 <sup>1</sup> / <sub>2</sub>	61.	27 <sup>1</sup> / <sub>2</sub>	94.	24 <sup>1</sup> / <sub>2</sub>	127.	2 <sup>1</sup> / <sub>2</sub>
29.	26 <sup>1</sup> / <sub>2</sub>	62.	27 <sup>1</sup> / <sub>2</sub>	95.	27 <sup>1</sup> / <sub>2</sub>	128.	2 <sup>1</sup> / <sub>2</sub>
30.	27 <sup>1</sup> / <sub>2</sub>	63.	27 <sup>1</sup> / <sub>2</sub>	96.	22 <sup>1</sup> / <sub>2</sub>	129.	2 <sup>1</sup> / <sub>2</sub>
31.	24 <sup>1</sup> / <sub>2</sub>	64.	27 <sup>1</sup> / <sub>2</sub>	97.	27 <sup>1</sup> / <sub>2</sub>	130.	2 <sup>1</sup> / <sub>2</sub>
32.	24 <sup>1</sup> / <sub>2</sub>	65.	27 <sup>1</sup> / <sub>2</sub>	98.	26 <sup>1</sup> / <sub>2</sub>	131.	2 <sup>1</sup> / <sub>2</sub>
33.	24 <sup>1</sup> / <sub>2</sub>	66.	27 <sup>1</sup> / <sub>2</sub>	99.	25 <sup>1</sup> / <sub>2</sub>	132.	2 <sup>1</sup> / <sub>2</sub>





**SCHEDULE OF EASEMENTS**

**PLAN NO.**

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

SP3470

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

NOW 60791

EASEMENTS

Rights of Drainage

Each lot on the plan is together with such rights of drainage over the drainage easements shewn on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

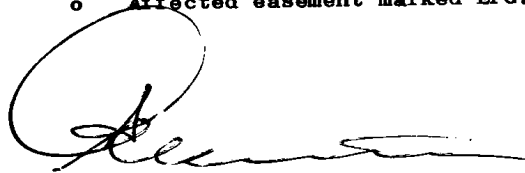
Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shewn on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lots 2\*\*+, 15\*, 16, 21, 34, 39\*, 47\*, 48, 49, 81\*, 91, 102\*, 122, 123\*, 152 to 155, 161, 169, 171<sup>o</sup>, 172 to 175 and 176 \*+o are each subject to a right of drainage over the drainage easement passing through that lot for the Warden, Councillors and Electors of the Municipality of Burnie.

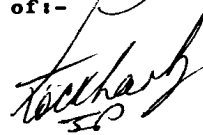
**Interpretation:**

- \* Affected easement marked AB
- + Affected easement marked CD
- o Affected easement marked EFG.



**THE DIRECTOR OF HOUSING.**

Registered proprietor of the land shown on the plan in the presence of:-




This is the schedule of easements attached to the plan of..... **Acton - South**.....  
**Subdivision, Burnie.**.....comprising part of the land in  
.....  
**C/T Vol. 2415 Fol 43**  
.....  
*(Insert Title Reference)*  
Sealed by ..... on ..... 19.....  
.....  
*Council Clerk/Town Clerk*

56158

## Admin | n+b design

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**From:** [REDACTED]  
**Sent:** Wednesday, 15 October 2025 1:07 PM  
**To:** Nick Brandsema  
**Cc:** Andrew Van Tatenhove  
**Subject:** Re: 22 Griffith Street, Acton Flooding Assessment  
**Attachments:** Outlook-ahmwxdec; Outlook-4xwq4zh1

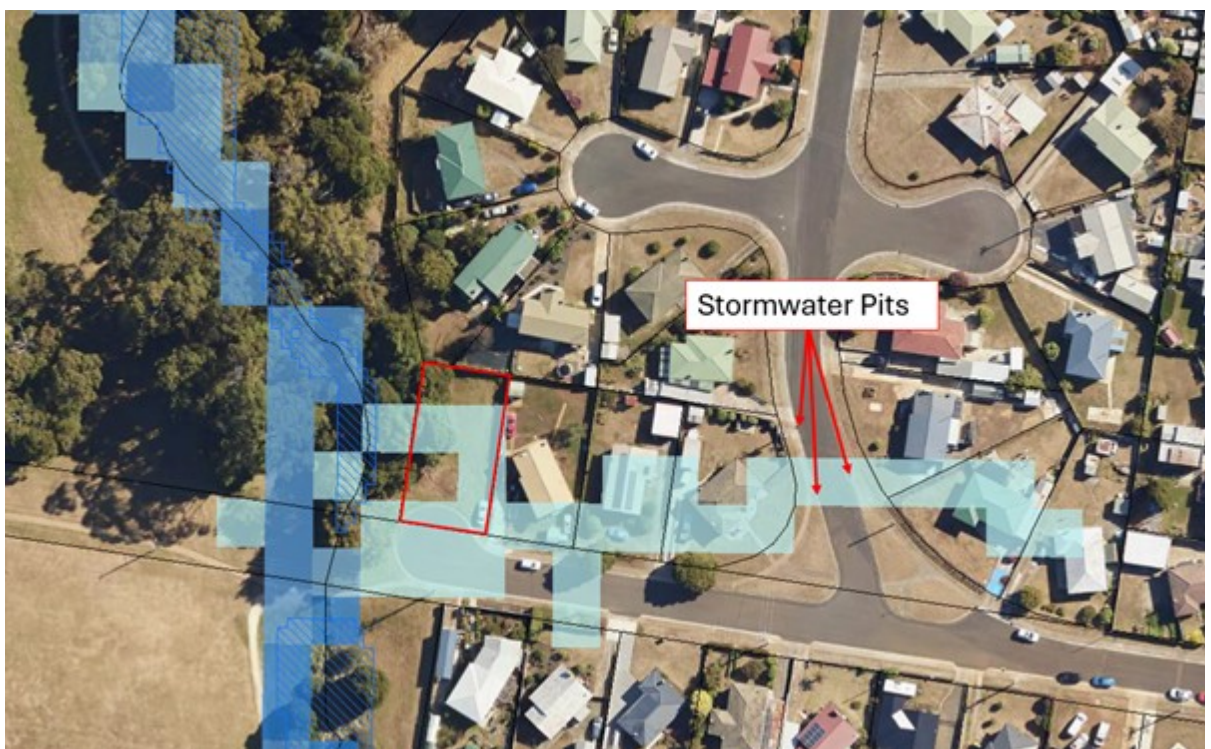
Hi Nick,

Please see comments for flooding at 22 Griffith Street, Acton below. pitt&sherry believe that the risk of flooding to the property is low, and it is our suggestion to provide these comments to council and determine whether they will require a flood study for the site.

If a flood study is required, we are more than happy to develop a memo based on desktop studies of previous modelling. If flood modelling is required, then we could also undertake this – but I expect it would be overkill.

### Comments:

- The property is not within the flood-prone areas hazard overlay and the closest flooding extent is the Shorewell Creek which is approximately 4.5m below the ground level of the property. The risk of flooding from the creek is therefore determined to be low.
- The 1% AEP SES Flood Mapping (attached below) does have an overland flow path going through the site, with depths of approximately 0.05m in the climate change scenario. This flood mapping was done with a coarse grid cell size of 10m, as well as not factoring in the stormwater network or buildings east of the site. In actuality, this flooding will likely be picked up by the existing stormwater network and remain on the road as it discharges towards the creek. The risk of flooding to the property from this flow path is deemed to also be low.
- 



Kind Regards,

**pitt&sherry**

**Caelan Hearne**  
BEng (Hons)

Hydrology and Hydraulics Engineer

**Cammeraygal Country | North Sydney** — Suite 901, Level 9, 1 Elizabeth Plaza, North Sydney NSW 2060



 [Connect on LinkedIn](#) ↗



pitt&sherry acknowledges the Traditional Custodians of the many Countries throughout Australia and their connections to land, sea and community. We acknowledge the contributions and sophistication of Aboriginal and/or Torres Strait Islander knowledge.

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**From:** Nick Brandsema [redacted]  
**Sent:** Wednesday, October 15, 2025 12:16 PM  
**To:** Caelan Hearne [redacted]  
**Subject:** Fw: nplusb flood studies inquiry

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hey Chearne,

Andrew is away at the moment, so I'm hoping you can assist?

Is there anyway they can send us each site in it's own email? That way we can separate them out for our submission and keep the P&S email signature on the email.

Thanks, Nick

**Nick Brandsema - Director**

Wanting to book in a consultation? Book [here](#)

2 December 2025

Phone 1300 748 874  
info@pittsh.com.au  
pittsh.com.au

Nick Brandsema  
N+B Designs  
8 Brandsema Street  
TURNERS BEACH Tasmania 7315

**Located nationally —**  
Melbourne  
Sydney  
Brisbane  
Hobart  
Launceston  
Newcastle  
Devonport

Dear Nick

**Re: 22 Griffith Street, Acton – DA 2025/82**



Please see below for a response to the components of Clause C7.6.1 in regard to proposed development at 22 Griffith Street, Acton. Responses provided are based on the site plan provided on 20/11/2025.

C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area.

**A1: There are no acceptable solutions so performance criteria must be addressed.**

**P1.1**

Buildings and [works](#) within a [waterway and coastal protection area](#) must avoid or minimise adverse impacts on [natural assets](#), having regard to:

- (a) Impacts caused by erosion, siltation, sedimentation and runoff;

Response: The permanent design will be connected to a public stormwater system. as such, no new stormwater outlets are proposed. it is suggested that a construction phase soil and water management plan be adopted and applied during the works phase to further minimise impacts. This would be in accordance with NRM's soil water management guidelines.

- (b) Impacts on riparian or [littoral vegetation](#);

Response: The proposed development is proposed to be placed clear of the streambank. No riparian or littoral vegetation will be disturbed.

- (c) maintaining [natural streambank and streambed condition](#), where it exists;

Response: The proposed development is proposed to be placed clear of the streambank. Existing streambank and streambed condition will remain unchanged.

- (d) Impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;

Response: The proposed development is proposed to be placed clear of the streambank. In-stream habitat will not be affected.

- (e) The need to avoid significantly impeding natural flow and drainage;

Response: The proposed development is proposed to be placed clear of the streambank. Works will not impede natural flow or drainage.

- (f) The need to maintain fish passage, where known to exist;

Response: The proposed development is proposed to be placed clear of the streambank. No fish passage requirements.

- (g) The need to avoid [land filling](#) of wetlands;

Response: No land filling of wetlands is proposed as part of these works.

- (h) The need to group new facilities with existing facilities, where reasonably practical;

Response: There are no existing facilities on the site.

- (i) Minimising cut and fill;

Response: Cut and fill is likely to be minimal and limited to essential requirements. Cut and fill will be clear of the streambank.

- (j) [building](#) design that responds to the particular size, shape, contours or slope of the [land](#);

Response: The design has considered and responded to these factors.

- (k) Minimising impacts on coastal processes, including sand movement and wave action;

Response: There is no effect on coastal processes.

- (l) Minimising the need for future [works](#) for the protection of [natural assets](#), infrastructure and property;

Response: The proposed development is proposed to be placed clear of the streambank. Placing the development clear of the streambank minimises the need for any future works.

- (m) The environmental best practice guidelines in the Wetlands and Waterways [Works](#) Manual; and

Response: There are no works proposed within the waterway. The proposed development includes one tree that is proposed for removal, and an appropriate sediment management plan must be in place in accordance with NRM guidelines. It is also recommended that construction phase soil water management practices are implemented in accordance with the Soil & Water Management on Building & Construction Sites Factsheet. Consideration of these factors would be in accordance with guideline 7 of the wetlands and waterways works manual.

- (n) The guidelines in the Tasmanian Coastal [Works](#) Manual.

Response: The development is not near the coast.

**A3: The development will connect into an existing stormwater line that runs along the rear of the property (see Figure 1) and will not involve a new stormwater point discharge into the watercourse. Therefore, it is acceptable.**



Figure 1: Stormwater asset plan retrieved from Burnie City Council via a BYDA enquiry (accessed: 25/11/2025).

Based on the above, the proposed development has been shown to meet all relevant requirements of the performance criteria P1.1 and acceptable solution A3 of C7.6.1 of the Tasmanian Planning Scheme relating to buildings or works within a waterway and coastal protection area or coastal refugia area.

I trust this letter meets your requirements. If you have any questions, feel free to contact me on 6451 5599

Yours sincerely

Andrew Van Tatenhove  
**Bridges/Civil Engineer**

PROPOSED RESIDENCE

22 GRIFFITH STREET, ACTON

**Drawing Schedule**


SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER SHEET	C	24/10/25
A101	SITE PLAN	C	24/10/25
A102	ELEVATIONS 1 OF 2	C	24/10/25
A103	ELEVATIONS 2 OF 2	C	24/10/25
A104	FLOOR PLAN	C	24/10/25
A105	SETOUT PLAN	C	24/10/25
A106	DRAINAGE PLAN	C	24/10/25
A107	WALL FRAMING PLAN	C	24/10/25
A108	ELECTRICAL PLAN	C	24/10/25
A109	REFLECTED CEILING PLAN	C	24/10/25
A110	ROOF FRAMING PLAN	C	24/10/25
A111	ROOF PLAN	C	24/10/25
A112	SECTION A-A	C	24/10/25
A113	DETAILS	C	24/10/25
A115	WALL TYPES	C	24/10/25
A116	WATERPROOFING 1 OF 2	C	24/10/25
A117	WATERPROOFING 2 OF 2	C	24/10/25
A118	WINDOW & DOOR SCHEDULE	C	24/10/25
A120	LIGHTING CALCULATOR	C	24/10/25
A121	CONSTRUCTION NOTES 1 OF 2	C	24/10/25
A122	CONSTRUCTION NOTES 2 OF 2	C	24/10/25
A123	BAL CONSTRUCTION NOTES	C	24/10/25
A124	3D REPRESENTATIONS	C	24/10/25

**GENERAL INFORMATION**

ACCREDITED DESIGNER: **NICHOLAS BRANDSEMA**  
 ACCREDITATION NUMBER: **047538582**  
 LAND TITLE REFERENCE NUMBER: **PID6165199, TITLE REF 60791/155**  
 ENERGY ASSESSMENT: **TBA**  
 COUNCIL ZONE: **GENERAL RESIDENTIAL**  
 COUNCIL: **BURNIE COUNCIL**

**FLOOR AREAS**  
 DWELLING FLOOR AREA: **134m2 (14 SQUARES)**

**SITE INFORMATION**  
 SITE AREA: **613m2**  
 DESIGN WIND SPEED: **N1**  
 SOIL CLASSIFICATION: **CLASS M**  
 ALPINE AREA: **N/A**  
 CORROSION ENVIRONMENT: **N/A**  
 BUSHFIRE ATTACK LEVEL: **N/A**  
 CLIMATE ZONE: **7**

 <p>22 Fieldings Way Ulverstone, Tasmania Australia 7315</p> <p>m 0417 134 369 e nick@nplusb.com.au License No. 047538582 ABN 946 222 219 16</p>	<p>Issued As <b>Scale A3</b></p> <p><b>PLANNING</b></p> <p><small>©COPYRIGHT These drawings and designs and the copyright there of are the property of nplusb and must not be used, retained or copied without the written permission of nplusb. ABN 946 222 219 16</small></p>	<p>Revision</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>C</td> <td>24/10/25</td> <td>Issued as PLANNING</td> </tr> </tbody> </table> <p><small>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevant NCC &amp; AS</small></p>	No.	Date	Description	C	24/10/25	Issued as PLANNING	<p>Project <b>PROPOSED RESIDENCE</b>                  Location <b>22 GRIFFITH STREET, ACTON</b>                  Client <b>JDR HOMES / HOMES TASMANIA</b></p>	<p>Sheet Title <b>COVER SHEET</b></p> <table border="1"> <thead> <tr> <th>Drawn</th> <th>Issue Date</th> <th>Project No.</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td><b>NJB</b></td> <td><b>24/10/25</b></td> <td><b>TBA</b></td> <td><b>C</b></td> </tr> </tbody> </table>	Drawn	Issue Date	Project No.	Revision	<b>NJB</b>	<b>24/10/25</b>	<b>TBA</b>	<b>C</b>	<p>Sheet Number <b>A100</b> /A121</p>
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**SITE PLAN**

PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS  
SECONDARY CONTOURS SHOWN AT 250mm INTERVALS

ALL RL LEVELS REFER TO FFL LEVEL, SITE DATUM POINT  
**TBA**

**DRIVEWAY**

120mm THICK 25MPa CONCRETE WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING. STYLE AND FINISH TO BE CONFIRMED BY OWNER.

**GENERAL NOTES:**

DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATELY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE COSTRUCTION PROCESS.

**EXCAVATION:**

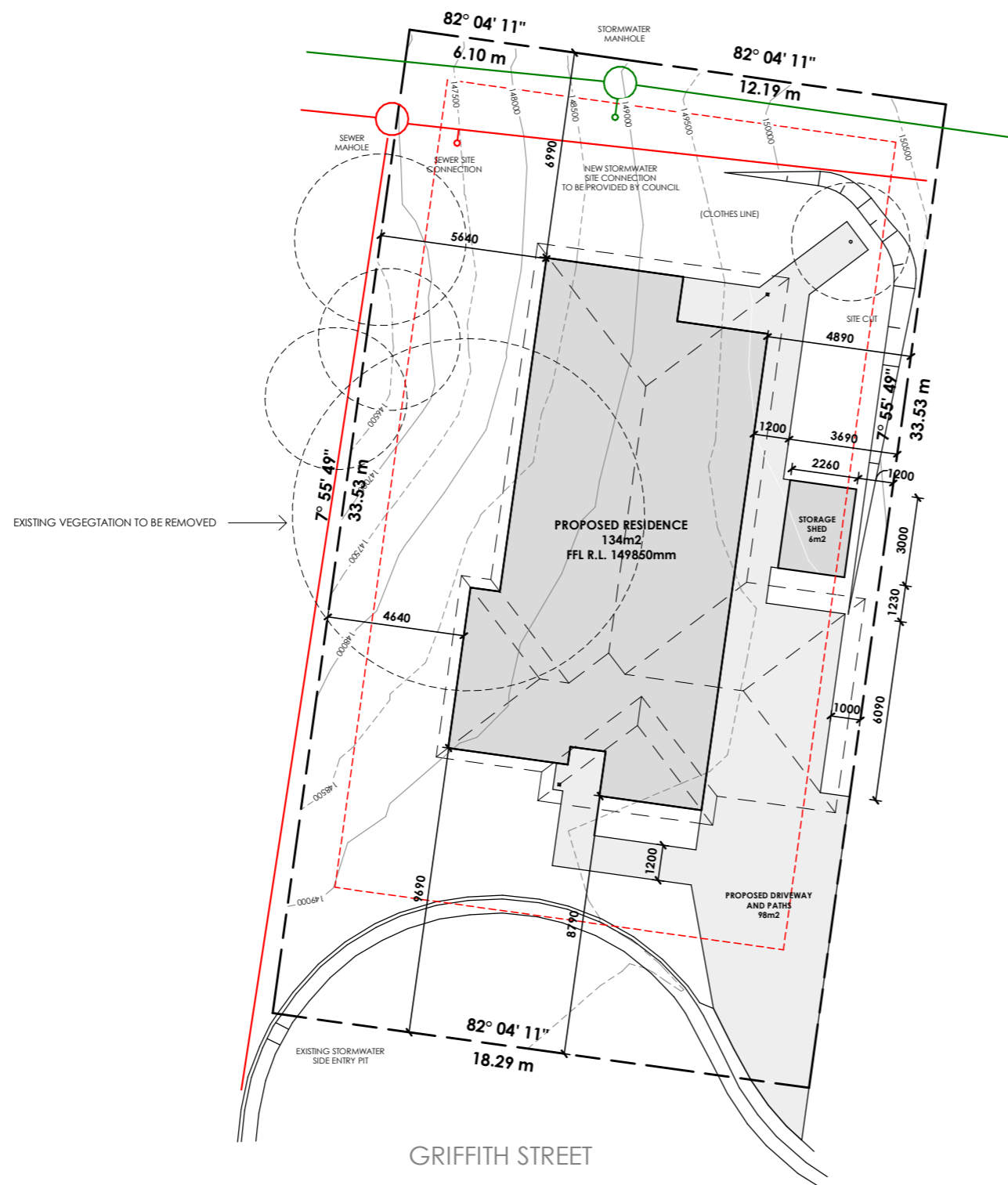
ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESSES AND SERVICES AS INDICATED. MAKE GOOD.

**SETTING OUT:**

THE BUILDER SHALL ACCURATELY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SETOUT.

**PROTECTION WORK**

[PART 6 - PROTECTION WORK OF THE BUILDING ACT 2016]  
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (NOTICE FOR PROPOSED PROTECTION WORK).



 **SITE PLAN**  
Scale 1 : 200



### SOUTH ELEVATION

Scale 1 : 100

#### WALL | FACADE MATERIALS & FINISHES

**WT-1** BRICK VENEER, COLOUR & STYLE TBC

**WT-2** JAMES HARDIE FINE TEXTURE, PAINT TO FINISH  
INSTALLED AS PER MANUFACTURERS SPECIFICATION



#### EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET TRIMMERS LOCATED WITHIN 1200mm OF EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

#### COLORBOND CUSTOM ORB ROOF CLADDING

INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562 COLOUR BY OWNER, COLOUR TO BE "MONUMENT"

#### SELECTED ALUMINIUM FRAMED WINDOWS & DOORS

NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED. ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288 ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



### WEST ELEVATION

Scale 1 : 100

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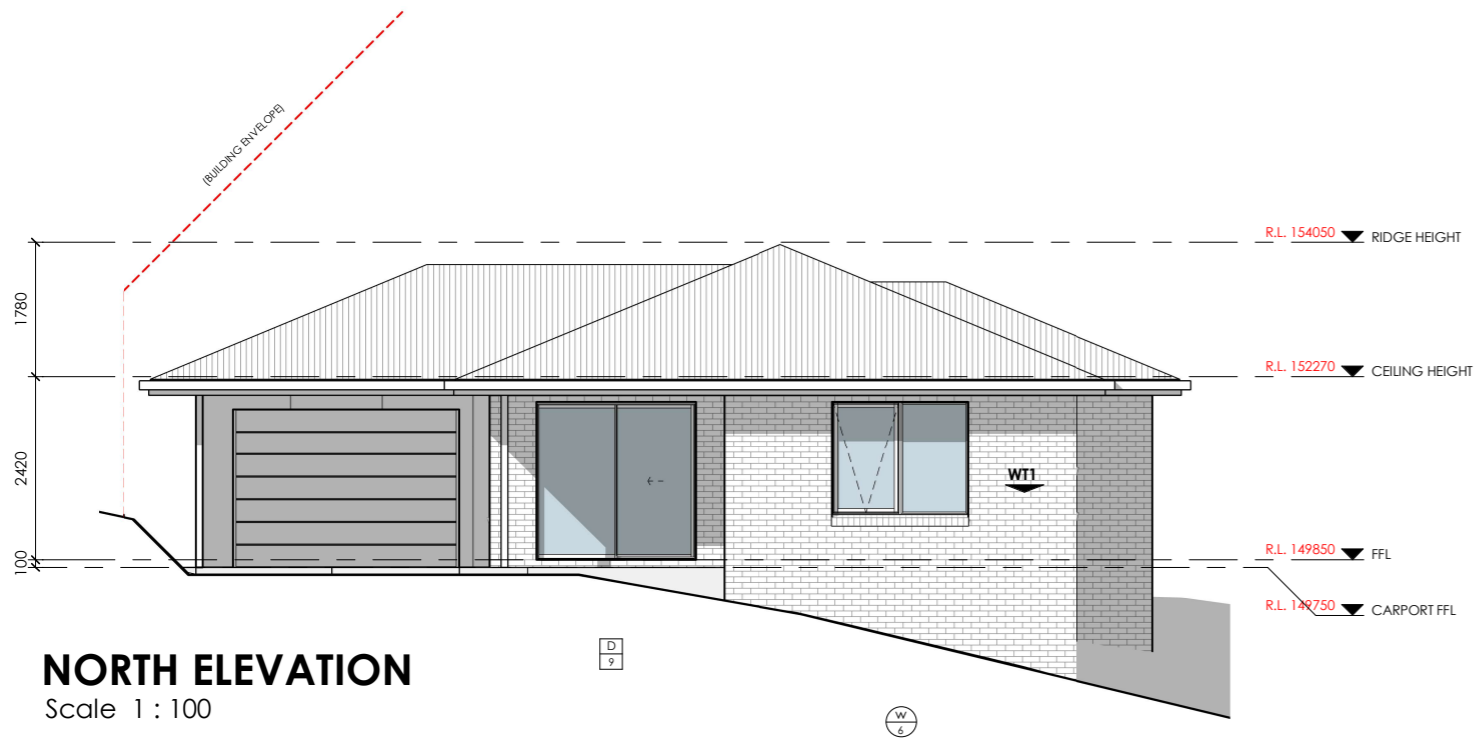
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Location  
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Client  
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Sheet Title  
**ELEVATIONS 1 OF 2**

Drawn Issue Date Project No. Revision  
**NJB 24/10/25 TBA C**

Sheet Number  
**A102**  
/A121



**NORTH ELEVATION**  
Scale 1 : 100

**WALL | FACADE MATERIALS & FINISHES**

**WT-1** BRICK VENEER, COLOUR & STYLE TBC

**WT-2** JAMES HARDIE FINE TEXTURE, PAINT TO FINISH  
INSTALLED AS PER MANUFACTURERS SPECIFICATION



**EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5**

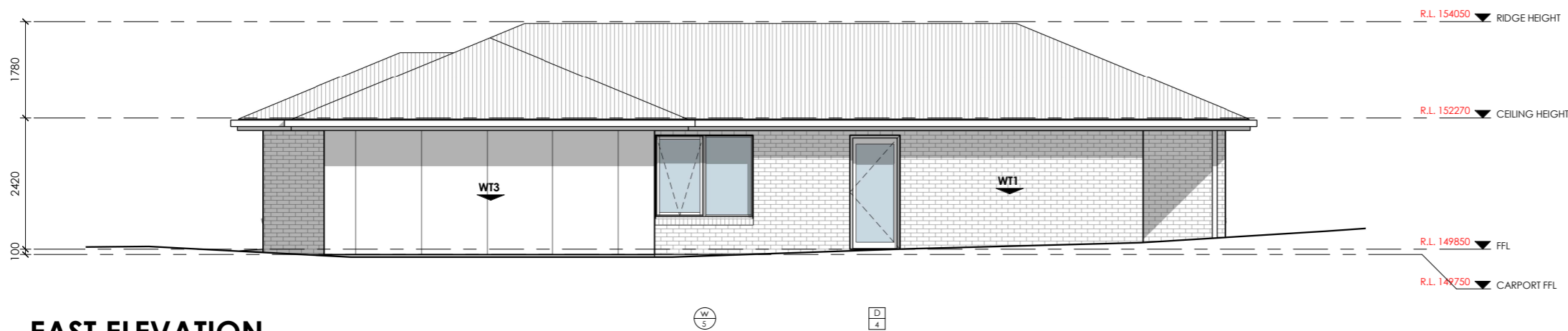
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET  
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**COLORBOND CUSTOM ORB ROOF CLADDING**  
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**SELECTED ALUMINIUM FRAMED WINDOWS & DOORS**  
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &  
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.  
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288  
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



**EAST ELEVATION**  
Scale 1 : 100

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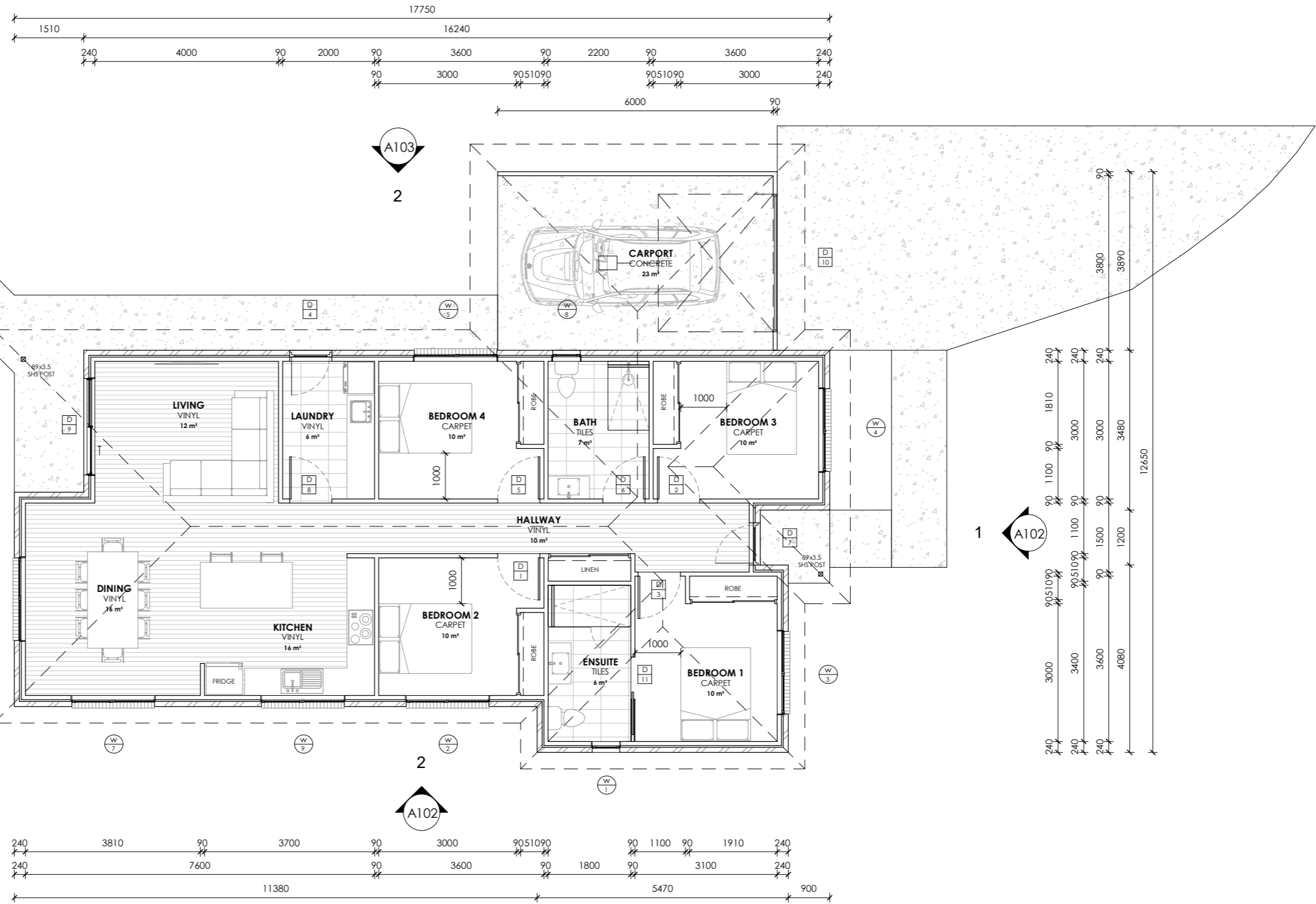
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Sheet Title  
**ELEVATIONS 2 OF 2**

Drawn	Issue Date	Project No.	Revision
NJB	24/10/25	TBA	C

Sheet Number  
**A103**  
/A121



**FLOOR AREAS & FINISHES**

**FLOOR AREA - 134m<sup>2</sup>**

**VINYL**  
**FLOOR AREA APPROX - 54m<sup>2</sup>**  
 5mm SELECTED VINYL PLANK FLOORING

**CARPET**  
**FLOOR AREA APPROX - 40m<sup>2</sup>**  
 SELECTED CARPET AND UNDERLAY

**TILES**  
**FLOOR AREA APPROX - 12m<sup>2</sup>**  
 SELECTED TILES, GROUT, SEALANT, TRIMS  
 SEALED PRIOR WITH A WATERPROOF  
 MEMBRANE SYSTEM

SKIRTING 66x18 PRE PRIMED BEVELLED  
 SKIRTINGBOARD, PAINT TO FINISH.

**NOTES**  
 ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH  
 CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047  
 ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740  
 ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684  
 ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

**FLOOR PLAN**  
 Scale 1 : 100

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**WINDOW & DOOR SCHEDULE NOTES**

FLYSCREENS TO BE FITTED TO ALL OPENABLE WINDOWS AND DOORS (ENTRY EXEMPT).

GLAZING TYPES AVAILABLE IN TASMANIA CAN BE ACCESSED AT WWW.WERS.NET.

**SHOWER SCREENS**

1800H SEMI-FRAMELESS SHOWER SCREENS TO COMPLY WITH BCA TABLE 3.6.5. & AS1288. MINIMUM 4mm THICK GRADE A TOUGHENED SAFETY GLASS, LABELLED TO COMPLY WITH INDUSTRY STANDARDS.

**OPAQUE BANDS**

WHERE GLAZED DOORS OR SIDE PANELS ARE CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, THE GLASS MUST BE MARKED TO MAKE IT READILY VISIBLE AS FOLLOWS:

- MARKING IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT;
- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR;
- THE LOWER EDGE IS NOT MORE THAN 1200mm ABOVE THE FLOOR.

**FLASHINGS TO WALL OPENINGS**

ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS2904. REFER TO DRAWING A117 FOR WINDOW HEAD AND SILL DETAILS. FLASHING TO BE INSTALLED WITH GLAZING MANUFACTURER'S SPECIFICATIONS FOR BRICK VENEER CONSTRUCTION.

**PROTECTION OF OPENABLE WINDOWS**

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH.

**SANITARY COMPARTMENT (WC OR TOILET) DOORS**

SANITARY COMPARTMENT DOORS TO COMPLY WITH BCA 3.8.3.3. "CONSTRUCTION OF SANITARY COMPARTMENTS". SANITARY COMPARTMENT DOORS MUST BE FITTED WITH "LIFT OFF" HINGES (EXCLUDING SLIDING & OUTWARD OPENING DOORS), UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2m, MEASURED IN ACCORDANCE WITH BCA FIGURE 3.8.3.3, BETWEEN THE CLOSEST PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.

PROTECT THE WINDOWS BY ONE OF THE FOLLOWING METHODS:

- A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING; OR
- B) A SCREEN WITH SECURE FITTINGS.

**NOTE:**

ALL WINDOWS & DOORS ARE SHOWN AS REPRESENTATIONAL ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER AND CLIENT TO REVIEW ALL WINDOW & DOOR STYLE'S PRIOR TO ORDERING. THIS INCLUDES DOOR MATERIAL (I.E. ALUMINUM/TIMBER) & COLOUR, FRAME COLOUR, AWNING/SLIDING OPERATION (INCLUDING SLIDING DOORS), GLASS TINT & TRANSOM & MULLION LAYOUT.

**THE DEVICE OR SCREEN MUST:**

- A) NOT PERMIT A 125MM SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND
- B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED BY A DEVICE; OR SCREEN PROTECTING THE OPENING; AND
- C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

**BAL COMPLIANCE**

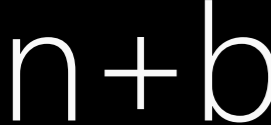
ALL WINDOWS TO BE ALUMINIUM FRAMED. SCREENS TO BE MADE FROM ALUMINIUM FRAME WITH MESH OF 2mm MAX APERTURE. MESH TO BE MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM. WHEN FITTED THE GAP FROM THE EDGE OF THE WINDOW FRAME TO THE EDGE OF THE SCREEN FRAME SHALL NOT BE GREATER THAN 3mm. AS PER AS-3595:2009 5.5.1A

**SAFETY GLAZING NOTE**

WINDOWS AND GLASS MARKED WITH THIS SYMBOL ARE WITHIN 400mm OR CLOSER TO THE GROUND AND AS SUCH THE GLAZING PANEL MARKED WITH THIS SYMBOL SHALL BE 4mm THICK MIN SAFETY GLASS ALL AS PER AS-3959:2009 5.5.2 (c) (iii).

Window Schedule									
Mark	Floor Level	Operation	Size		Sill Height (Height Above FFL)	Location	SHGC	U-Value	Glazing
			Height	Width					
1	FFL	Awning	900	600	1265	ENSUITE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
2	FFL	Awning	1500	1800	665	BEDROOM 2	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
3	FFL	Awning	1500	1800	600	BEDROOM 1	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
4	FFL	Awning	1500	1800	600	BEDROOM 3	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
5	FFL	Awning	1500	1800	600	BEDROOM 4	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
6	FFL	Awning	1500	1800	600	DINING	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
7	FFL	Awning	1500	1800	665	DINING	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
8	FFL	Awning	900	600	1200	CARPORT	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
9	FFL	Awning	900	1800	1265	KITCHEN	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr

Door Schedule				
Mark	Location	Height	Width	Operation
1	BEDROOM 2	2040	920	Internal Hinged
2	BEDROOM 3	2040	920	Internal Hinged
3	BEDROOM 1	2040	920	Internal Hinged
4	LAUNDRY	2100	920	External Hinged
5	BEDROOM 4	2040	920	Internal Hinged
6	BATH	2040	920	Internal Hinged
7	HALLWAY	2100	920	External Hinged
8	LAUNDRY	2040	920	Internal Hinged
9	LIVING	2100	2100	Double Glazed Sliding Door
10	CARPORT	2100	3000	Panelift Garage Door
11	BEDROOM 1	2040	920	Cavity Slider

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