



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0128
Proposed Use or Development:	Residential (extensions)
Address of the Land:	15 Cromwell Crescent, Devonport
Date of Notice:	04/10/2025

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **17/10/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



PA2025.0128 - 15 Cromwell Crescent, Devonport



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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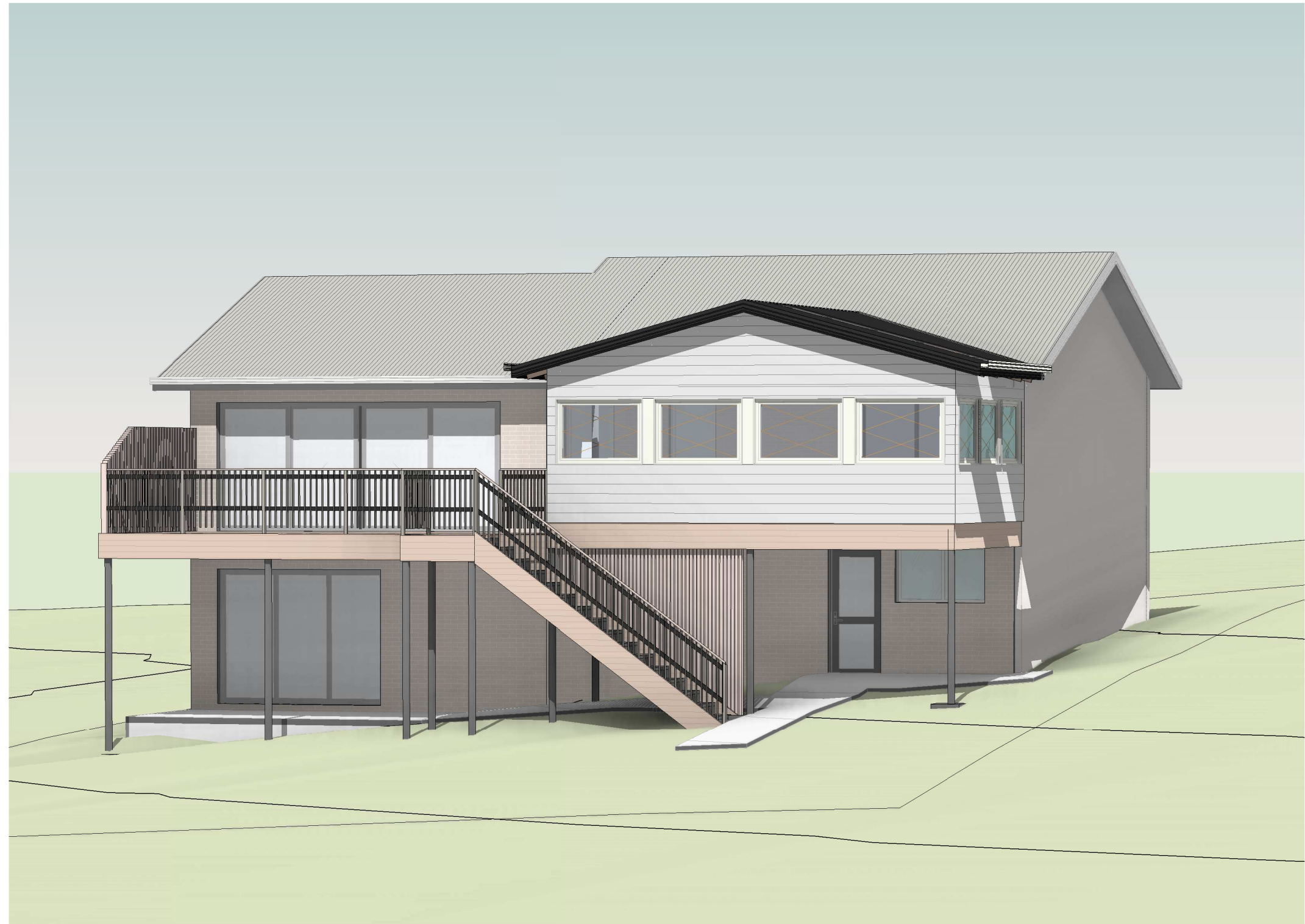
15 Cromwell Crescent, Devonport

PROPOSED DECK

Janice & Daniel Tattersall

INDEX

Page	Content	Rev.	Issue Date	Amendment Rev.
1	COVER PAGE	2	25.08.2025	
2	SITE PLAN - PROPOSED	2	25.08.2025	
3	SHADOW DIAGRAMS	2	25.08.2025	
4	FLOOR PLAN - DIMENSIONS	2	25.08.2025	
5	ELEVATIONS	2	25.08.2025	
6	SCHEDULES	2	25.08.2025	



PROJECT NO.

25-992



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Email: admin@lachlanwalshdesign.com
Phone: 6424 8053
Tasmania Accreditation Number: CC 6162 E

DATE
25.08.2025
DRAWINGS SET
DA
REV. NO.

GENERAL
INFORMATION

LAND TITLE REFERENCE NUMBER
62033/30
COUNCIL
DEVONPORT
PROPERTY ZONE
GENERAL RESIDENTIAL

CLIMATE ZONE
7

DESIGNED WIND CATEGORY
SOIL CLASSIFICATION
CORROSION CONTROL
BUSH FIRE ATTACK LEVEL

XXX
XXX
HIGH

© COPYRIGHT
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS
- ALL PRODUCTS NOTED IN DRAWINGS TO BE CONFIRMED BY CLIENT BEFORE PURCHASING AND/OR INSTALLING OF PRODUCT
- QUANTITIES INDICATED IN DRAWINGS ARE GUIDE ONLY, CONTRACTOR TO CALCULATE AND CONFIRM QUANTITY BEFORE START OF CONSTRUCTION
- CONDITIONS OF USE
This document may only be used by LWD's client (and any other person who LWD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or replicated for any other purpose.

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NOTES

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION, INCLUDING BOUNDARY, FLOOR PLAN DIMENSIONS, FINISHED FLOOR HEIGHTS, AND SITE RLs. CONTRACTOR TO CORRECT, AT OWN EXPENSE, ANY ERRORS FROM INACCURATE SETOUT.

SOIL & WATER MANAGEMENT

CONNECT DOWNPIPES TO COUNCIL STORMWATER OR SITE DISCHARGE AREA AS SOON AS THE ROOF IS INSTALLED. INSTALL SEDIMENT CONTROL BARRIERS DOWN-SLOPE OF EXCAVATED MATERIAL. REMOVE EXCAVATED MATERIAL UPON COMPLETION OR USE IT AS FILL FOR LOW POINTS. APPLY CRUSHED ROCK AT SITE ENTRY TO CONTROL SEDIMENT AND PREVENT DEBRIS TRANSFER TO THE STREET; REAPPLY IF SEDIMENT BUILDS UP. GARDEN BEDS MUST NOT COVER WEEP HOLES, VENTS, OR LIGHTWEIGHT CLADDING (E.G., COLORBOND, WEATHERBOARDS). FINISHED GROUND LEVELS MUST BE 150mm BELOW THE FLOOR SLAB AND GRADED AWAY FOR AT LEAST 1500mm.

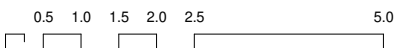
SYMBOLS

- WATER MAIN (Tas Water)
- STORM WATER MAIN (Council)
- SEWER MAIN (Tas Water)
- PROPOSED SEWER MAIN
- PROPOSED STORM WATER MAIN
- WM** WATER METER, INSTALLED BY TAS WATER AT DEVELOPERS COST
- PROPERTY CONNECTION POINT
- PROPOSED SITE REFERENCE LEVEL MARKER
- FH** FIRE HYDRANT
- TN** TAS NETWORKS IN GROUND BOX
- ET** ELECTRICAL TURRET
- P.P.** POWER POLE / LIGHT POLE

AREA SCHEDULE			
Code	Area	Squares	%
DECK	61.30 m ²	6.6	31%
e' RESIDENCE	136.30 m ²	14.7	69%
Property Area		668.59	m ²



SITE PLAN
SCALE: 1:100



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PAGE NO. **2**
 PROJECT PROPOSED DECK
 LOCATION 15 Cromwell Crescent, Devonport
 CLIENT Janice & Daniel Tattersall

PAGE TITLE SITE PLAN - PROPOSED
 DRAWINGS SCALE 1 : 200

DRAWN BY J.van Ommen
 CHECKED BY L. WALSH
 ISSUE DATE 25.08.2025
 DRAWINGS SET DA
 REV. NO. 2

No.	DATE	DESCRIPTION	AMENDMENT
1	25.08.2025	Concept	
2	25.08.2025	Planning Permit	

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

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SHADOW PLAN - 9am (21st June)
 SCALE: 1:400




SHADOW PLAN - 12noon (21st June)
 SCALE: 1:400




SHADOW PLAN - 3pm (21st June)
 SCALE: 1:400







NOTES

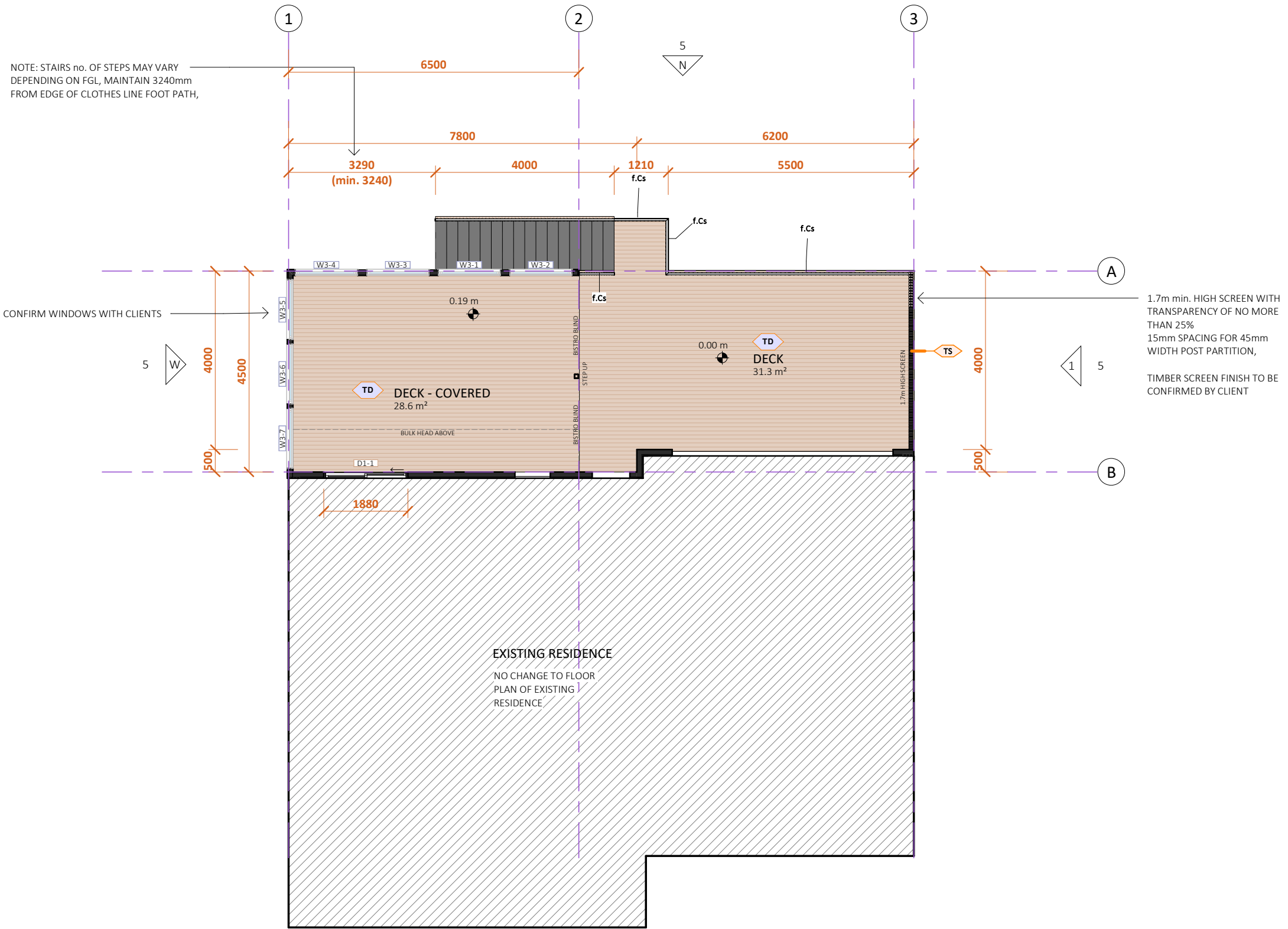
CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

SYMBOLS

-  1.00m FINISHED FLOOR LEVEL MARKER
-  1.00m SITE REFERENCE LEVEL MARKER
-  WALL DIMENSION (mm)
-  OPENINGS DIMENSION (mm)
-  GRID LINE
-  ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)



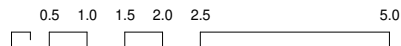
FLOOR FINISH SCHEDULE

Code	Description	Area
TD	90 x 19mm Merbau Decking, Clear Sealent over, Check BAL rating to in sure timber is compliant	61.9 m ²

RAILING SCHEDULE

Code	Note	Length
f.Cs	1m Vertical Balustrade, specified by client	13.6 m
Grand total:	3	13.6 m

FLOOR PLAN
SCALE: 1:100



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PAGE NO. **4**
 PROJECT PROPOSED DECK
 LOCATION 15 Cromwell Crescent, Devonport
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PAGE TITLE FLOOR PLAN - DIMENSIONS
 DRAWINGS SCALE 1 : 100

DRAWN BY J. van Ommen
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 ISSUE DATE 25.08.2025
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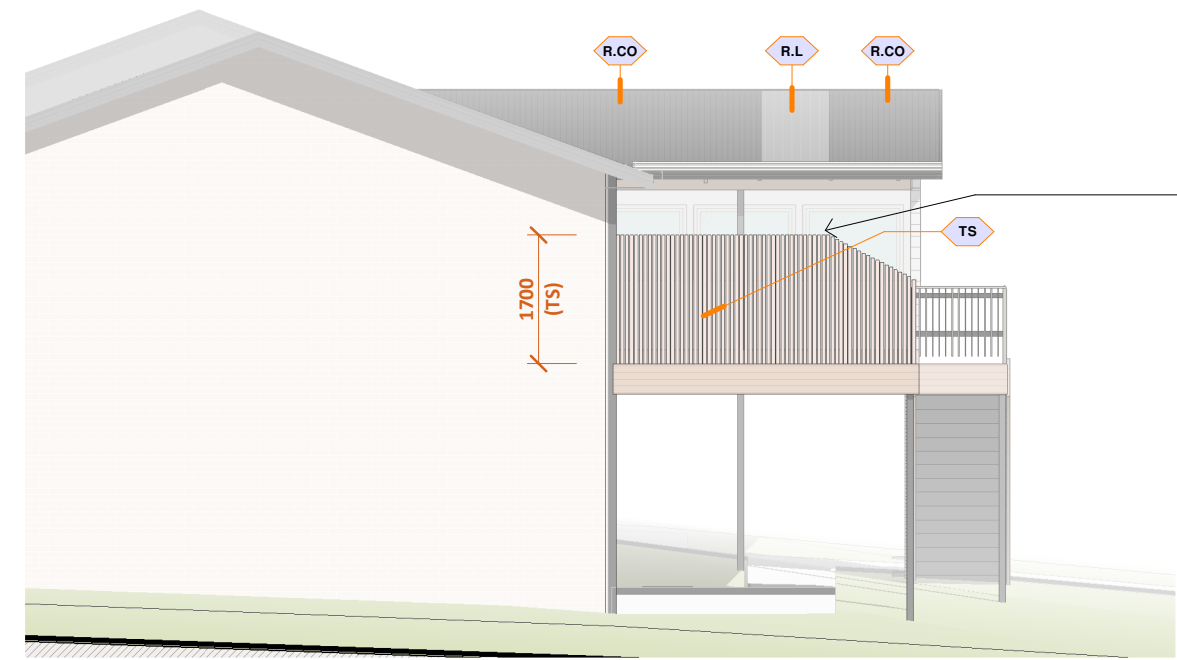
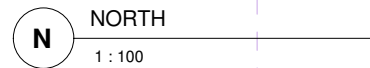
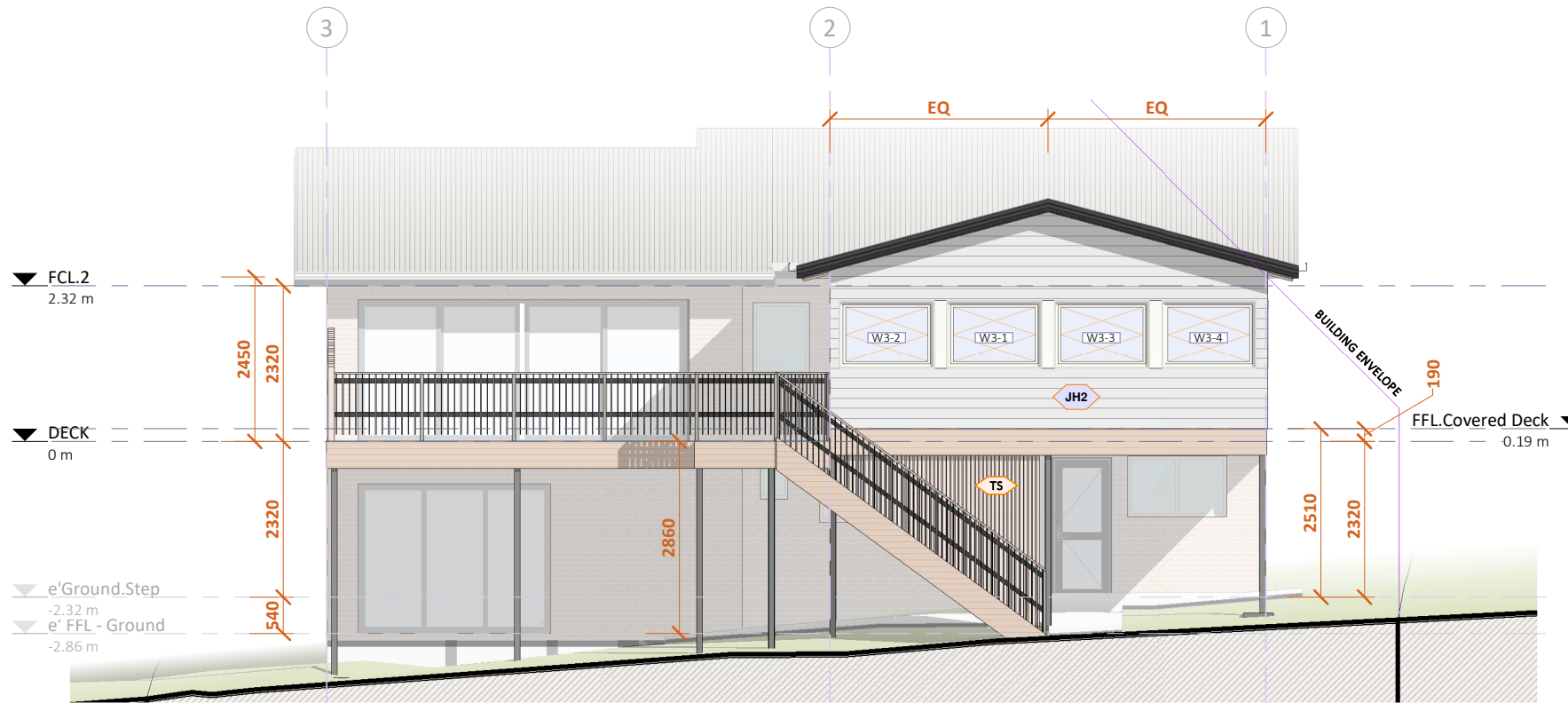
NOTES

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288, REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE. INSTALLED ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECS

FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

- ▼ 1.00m GOUND AND FLOOR LEVEL HIGHT MARKER
- W1- WINDOW No. (REFER TO SCHEDULE)
- D1- DOOR No. (REFER TO SCHEDULE)
- Ⓐ GRID LINE
- OPAQUE WINDOW



EXTERNAL WALL SCHEDULE

Code	Model	Area
JH2	James Hardie Scyon - Linea Weatherboard	24.2 m ²
Bs.E	110 Single Brick Ebony Eco Smooth	54.0 m ²
TS	Timber Wall Screen	12.8 m ²

ROOF FINISH SCHEDULE

CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	206.5 m ²
R.L	Laserlite roof sheathing	6.9 m ²

FASCIA SCHEDULE

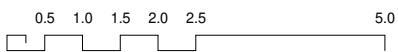
Code	Model	Colour	Length
CF	Novaline® Fascia	CP Monument	16.39 m
RC	Ridge Capping	CP Shale Grey	6.93 m

GUTTER SCHEDULE

Code	Type	Colour	Length
G.T	Lysaght Trimline	CP Dover White	8.46 m

Eave gutter min. 1:500 or steeper

DOWNPIPES		
Type	Specification	Total



1.7m min. HIGH SCREEN WITH TRANSPARENCY OF NO MORE THAN 25%
15mm SPACING FOR 45mm WIDTH POST PARTITION
SCREEN TAPERED TO FRONT DECK RAIL HEIGHT

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PAGE NO. **5**
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PAGE TITLE **ELEVATIONS**
 DRAWINGS SCALE **1 : 100**
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PAGE NO. **5**

SCHEDULES

WINDOW SCHEDULE									
Mark	Height	Width	Head Height	Opening Type	Frame	Glazing	Hardware	W. Colour	Area
W3-1	1000	1400	2100	Verticle Swivel Pivot	F1	G1	H2+H4	CP Dover White	1.40 m ²
W3-2	1000	1400	2100	Verticle Swivel Pivot	F1	G1	H2+H4	CP Dover White	1.40 m ²
W3-3	1000	1400	2100	Verticle Swivel Pivot	F1	G1	H2+H4	CP Dover White	1.40 m ²
W3-4	1000	1400	2100	Verticle Swivel Pivot	F1	G1	H2+H4	CP Dover White	1.40 m ²
W3-5	1000	1350	2100	Verticle Swivel Pivot	F1	G2	H2+H4	CP Dover White	1.35 m ²
W3-6	1000	1350	2100	Verticle Swivel Pivot	F1	G2	H2+H4	CP Dover White	1.35 m ²
W3-7	1000	1350	2100	Verticle Swivel Pivot	F1	G2	H2+H4	CP Dover White	1.35 m ²
DECK: 7									9.65 m ²
Grand total: 7									9.65 m ²

WINDOW FINISH & HARDWARE

ALL GLAZED WINDOWS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE SPECIFICATION

- F.1** Aluminium Residential Window Frame, Powdercoat finish
- F.2** Aluminium Residential Window Frame, Powdercoat finish, + External Window Reveal refer to E. Window Trim Schedule

GLAZING

CODE SPECIFICATION

- G.1** Double Glazed, Clear
- G.2** Double Glazed, Opaque

HARDWARE

CODE SPECIFICATION

- H.1** Chain Winder 'Awning', 125mm max. opening for windows that are 2m or greater from finished ground, colour match window frame
- H.2** Flyscreen to open portion of window, type to be compliant to BAL rating is relevant to project
- H.3** Sliding Window Hardware by manufacturer

DOOR FINISH & HARDWARE

ALL GLAZED DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE SPECIFICATION

- F.1** HUME Timber Frame 'Hinge', Pre Primed, Paint finish colour to match wall
- F.2** HUME Timber Cavity Sliding Unit, Pre Primed, Paint finish colour to match wall
- F.3** Aluminium Door Frame, Powdercoat finish, colour 'Monument'
- F.4** Hume Smartrobe Track Assembly, colour to match wall

DOOR PANEL

CODE SPECIFICATION

- D.1** HUME Timber Honeycomb Internal Door, Pre Primed, 35mm
- D.2** Aluminium Sliding, Powdercoat finish, colour 'Monument'
- D.3** Automatic Garage Door, Powdercoat finish, colour to match wall
- D.4** Aluminium Hinged, Powdercoat finish, colour 'Monument' Glass infill
- D.5** HUME Timber Solid Core External Door, Pre Primed, 35mm

COLOUR & FINISH

CODE SPECIFICATION

- C.1** Powdercoat finish 'Monument'
- C.2** Paint finish 'Vivid White'

GLAZING

CODE SPECIFICATION

- G.1** Single Glazed, Clear
- G.2** Single Glazed, Opaque
- G.3** Double Glazed, Clear

HARDWARE

CODE SPECIFICATION

- H.1** Susie Round Door Handle, Colour 'Black' (or similar Approved)
- H.2** Lever set & Lock by door supplier, colour to match door
- H.3** Milos Flush Pull Handle (252 x 44mm) colour 'Black' (or similar Approved)

PROJECT NO. 25-992



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PAGE NO. 6

PROJECT PROPOSED DECK
 LOCATION
 15 Cromwell Crescent, Devonport
 CLIENT
 Janice & Daniel Tattersall

PAGE TITLE SCHEDULES
 DRAWINGS SCALE

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1	25.08.2025	Concept	
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PAGE NO. **6**