



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2026.0019
Proposed Use or Development:	Residential (outbuilding) and vegetation removal
Address of the Land:	8 Yellowstone Dr, Tugrah
Date of Notice:	28/02/2026

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **17/03/2026**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



8 Yellowstone Drive



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 25-02-2026 12:22:14



**Devonport
City Council**

8 YELLOWSTONE DR, TUGRAH

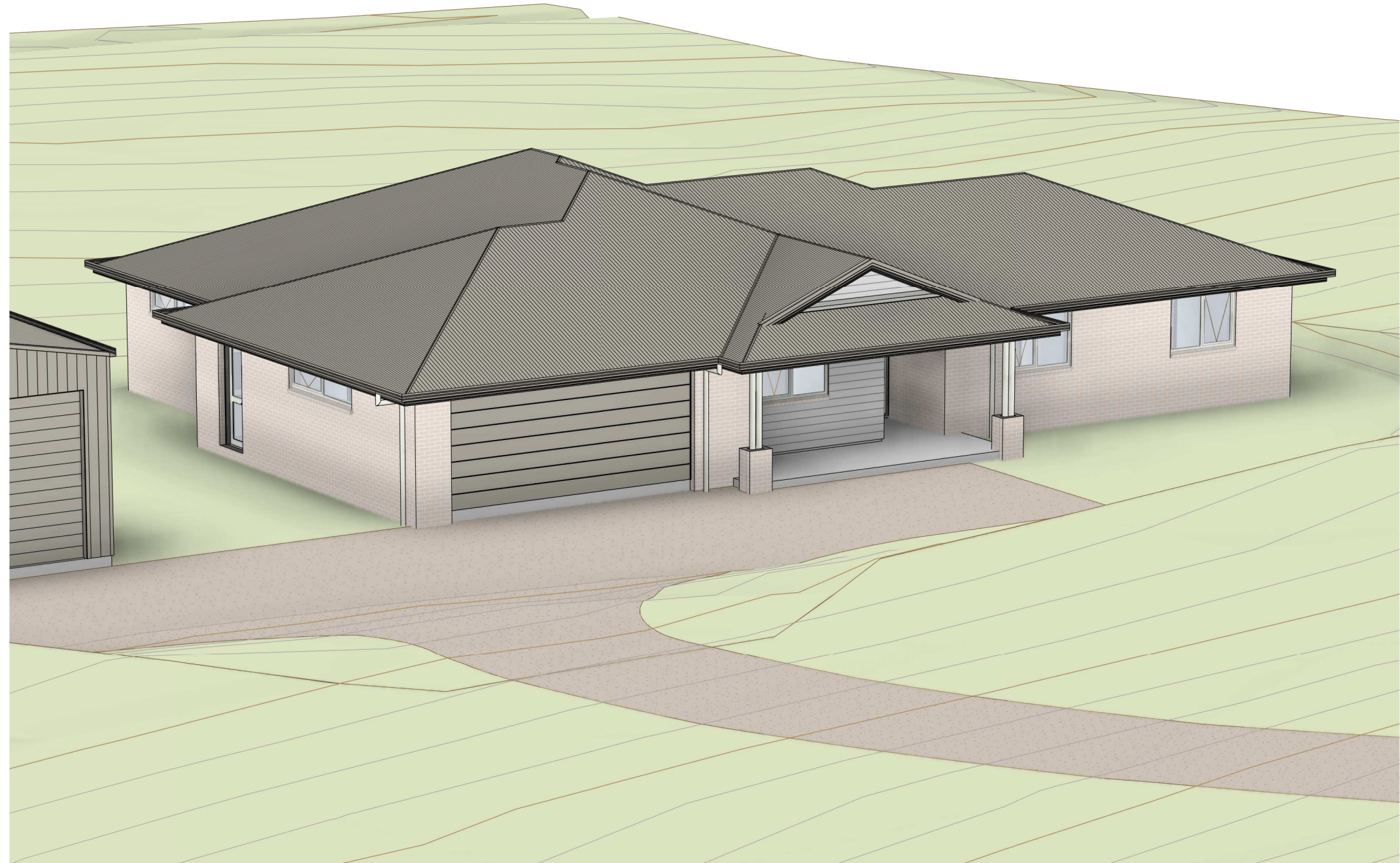
PROPOSED RESIDENCE & SHED

HAYDEN CAMPBELL

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PROJECT NO.

25-1017



LACHLAN WALSH DESIGN

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Phone: 6424 8053
Tasmania Accreditation Number: CC 6162 E

DATE
10.02.26
DRAWINGS SET
DA
REV. NO.

GENERAL
INFORMATION

LAND TITLE REFERENCE NUMBER
186824 / 8
COUNCIL
DEVONPORT CITY COUNCIL
PROPERTY ZONE
RURAL LIVING

CLIMATE ZONE
7

DESIGNED WIND CATEGORY
SOIL CLASSIFICATION
CORROSION CONTROL
BUSH FIRE ATTACK LEVEL

N2
H1
LOW
19

© COPYRIGHT
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS
- ALL PRODUCTS NOTED IN DRAWINGS TO BE CONFIRMED BY CLIENT BEFORE PURCHASING AND/OR INSTALLING OF PRODUCT
- QUANTITIES INDICATED IN DRAWINGS ARE GUIDE ONLY, CONTRACTOR TO CALCULATE AND CONFIRM QUANTITY BEFORE START OF CONSTRUCTION
- CONDITIONS OF USE
This document may only be used by LWD's client (and any other person who LWD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or replicated for any other purpose.

11/02/2026 1:56:44 PM

(TBC)

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NOTES

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION, INCLUDING BOUNDARY, FLOOR PLAN DIMENSIONS, FINISHED FLOOR HEIGHTS, AND SITE RLs. CONTRACTOR TO CORRECT, AT OWN EXPENSE, ANY ERRORS FROM INACCURATE SETOUT.

SOIL & WATER MANAGEMENT

CONNECT DOWNPIPES TO COUNCIL STORMWATER OR SITE DISCHARGE AREA AS SOON AS THE ROOF IS INSTALLED. INSTALL SEDIMENT CONTROL BARRIERS DOWN-SLOPE OF EXCAVATED MATERIAL. REMOVE EXCAVATED MATERIAL UPON COMPLETION OR USE IT AS FILL FOR LOW POINTS. APPLY CRUSHED ROCK AT SITE ENTRY TO CONTROL SEDIMENT AND PREVENT DEBRIS TRANSFER TO THE STREET; REAPPLY IF SEDIMENT BUILDS UP. GARDEN BEDS MUST NOT COVER WEEP HOLES, VENTS, OR LIGHTWEIGHT CLADDING (E.G., COLORBOND, WEATHERBOARDS). FINISHED GROUND LEVELS MUST BE 150mm BELOW THE FLOOR SLAB AND GRADED AWAY FOR AT LEAST 1500mm.

SYMBOLS

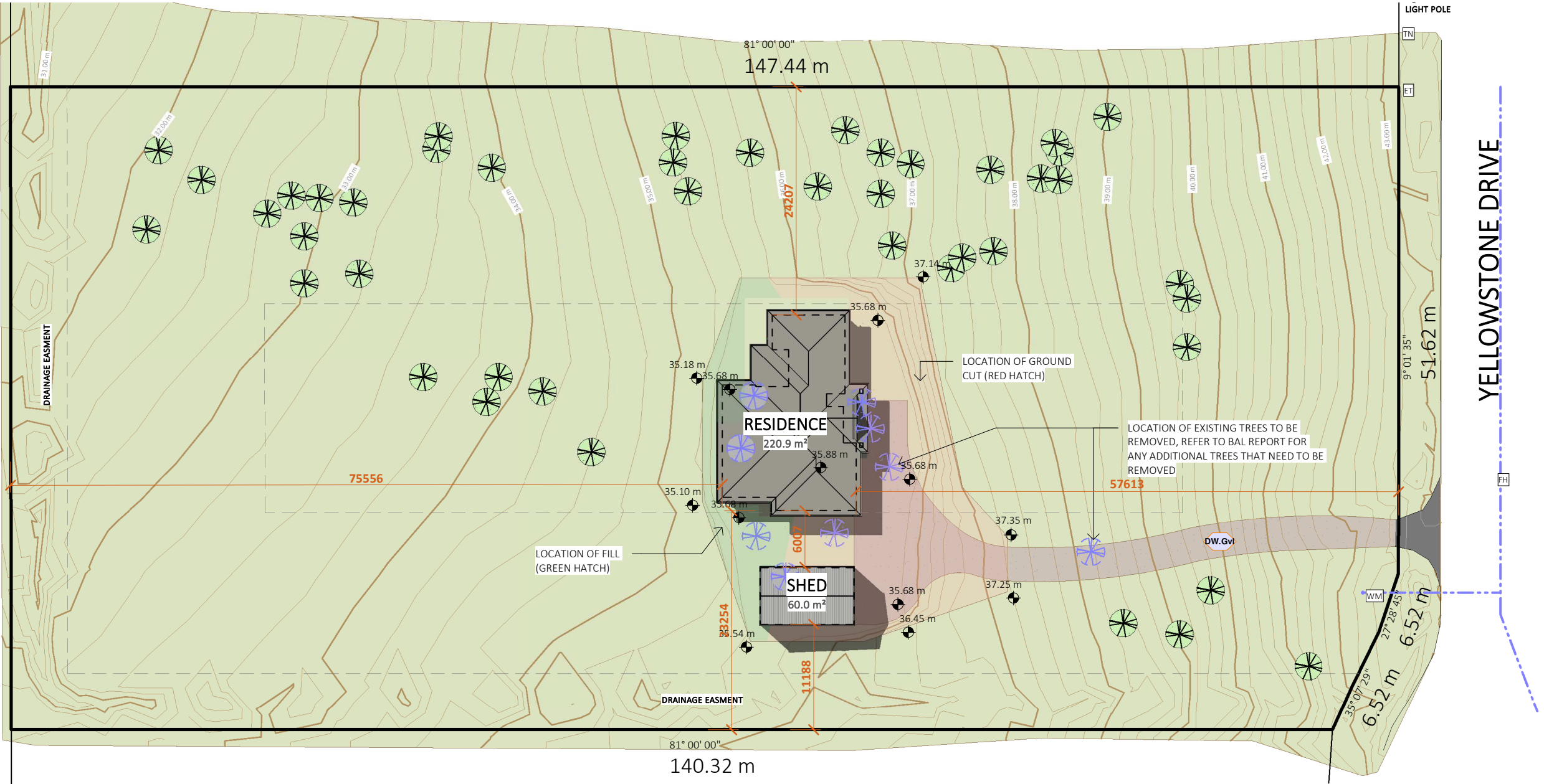
- WATER MAIN (Tas Water)
- STORM WATER MAIN (Council)
- SEWER MAIN (Tas Water)
- PROPOSED SEWER MAIN
- PROPOSED STORM WATER MAIN
- WM** WATER METER, INSTALLED BY TAS WATER AT DEVELOPERS COST
- PROPERTY CONNECTION POINT
- PROPOSED SITE REFERENCE LEVEL MARKER
- FH** FIRE HYDRANT
- TN** TAS NETWORKS IN GROUND BOX
- ET** ELECTRICAL TURRET
- P.P.** POWER POLE / LIGHT POLE

SITE FINISH

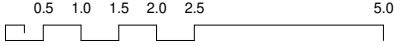
Code	Description	Area
DW.Gvl	Driveway/pathway - Gravel finish, (confirm with client)	347.6 m ²

AREA SCHEDULE

Code	Area	Squares	%
RESIDENCE	220.92 m ²	23.8	79%
SHED	60.00 m ²	6.5	21%
Property Area		Unit	
		1	Hectare



SITE PLAN
SCALE: 1:100



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PAGE NO. 2
 PROJECT PROPOSED RESIDENCE & SHED
 LOCATION 8 YELLOWSTONE DR, TUGRAH
 CLIENT HAYDEN CAMPBELL

PAGE TITLE SITE PLAN - PROPOSED
 DRAWINGS SCALE 1 : 500
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.







DRAWN BY J. van Ommen
CHECKED BY L. WALSH
 ISSUE DATE 10.02.26
 DRAWINGS SET DA
 REV. NO. 2

No.	DATE	DESCRIPTION	AMENDMENT
1	19.12.25	Concept 1 - Client Review	
1.1	04.02.26	Concept 2 - Client Review	
2	10.02.26	Planning Permit	

NOTES

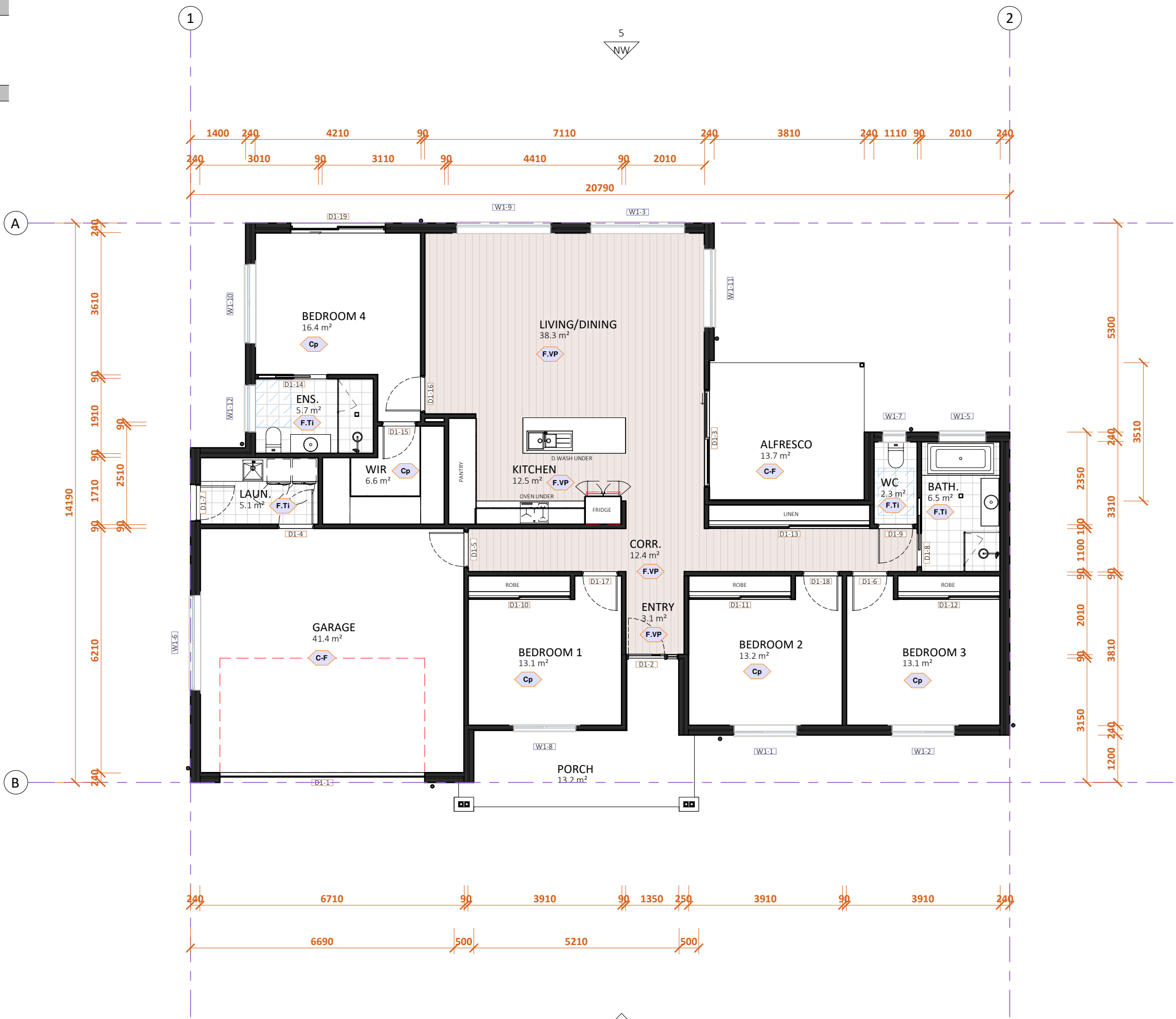
CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS
 ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION
 ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

SYMBOLS

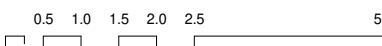
-  1.00m FINISHED FLOOR LEVEL MARKER
-  1.00m SITE REFERENCE LEVEL MARKER
-  WALL DIMENSION (mm)
-  OPENINGS DIMENSION (mm)
-  GRID LINE
-  ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)

FLOOR FINISH SCHEDULE

Code	Description	Area
C-F	Concrete Float Finish, Clear Finish Concrete	55.3 m ²
F.Cp	Carpet (selected by client) on Dunlop Foam Underlay	62.3 m ²
F.Ti	Selected Tile with 3mm Joint Spacing, Mapei Kerabond (or similar) adhesive, ultracolour plus grout to selected colour	19.5 m ²
F.VP	Selected Vinyl Flooring	66.3 m ²



FLOOR PLAN
 SCALE: 1:100



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PAGE NO. **3**
 PROJECT PROPOSED RESIDENCE & SHED
 LOCATION 8 YELLOWSTONE DR, TUGRAH
 CLIENT HAYDEN CAMPBELL

PAGE TITLE **FLOOR PLAN - DIMENSIONS**
 DRAWINGS SCALE **1 : 100**
CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY **J.van Ommen**
 CHECKED BY **L. WALSH**
 ISSUE DATE **10.02.26**
 DRAWINGS SET **DA**
 REV. NO. **2**

No. DATE DESCRIPTION AMENDMENT
 1 19.12.25 Concept 1 - Client Review
 1.1 04.02.26 Concept 2 - Client Review
 2 10.02.26 Planning Permit

PAGE NO. **3**

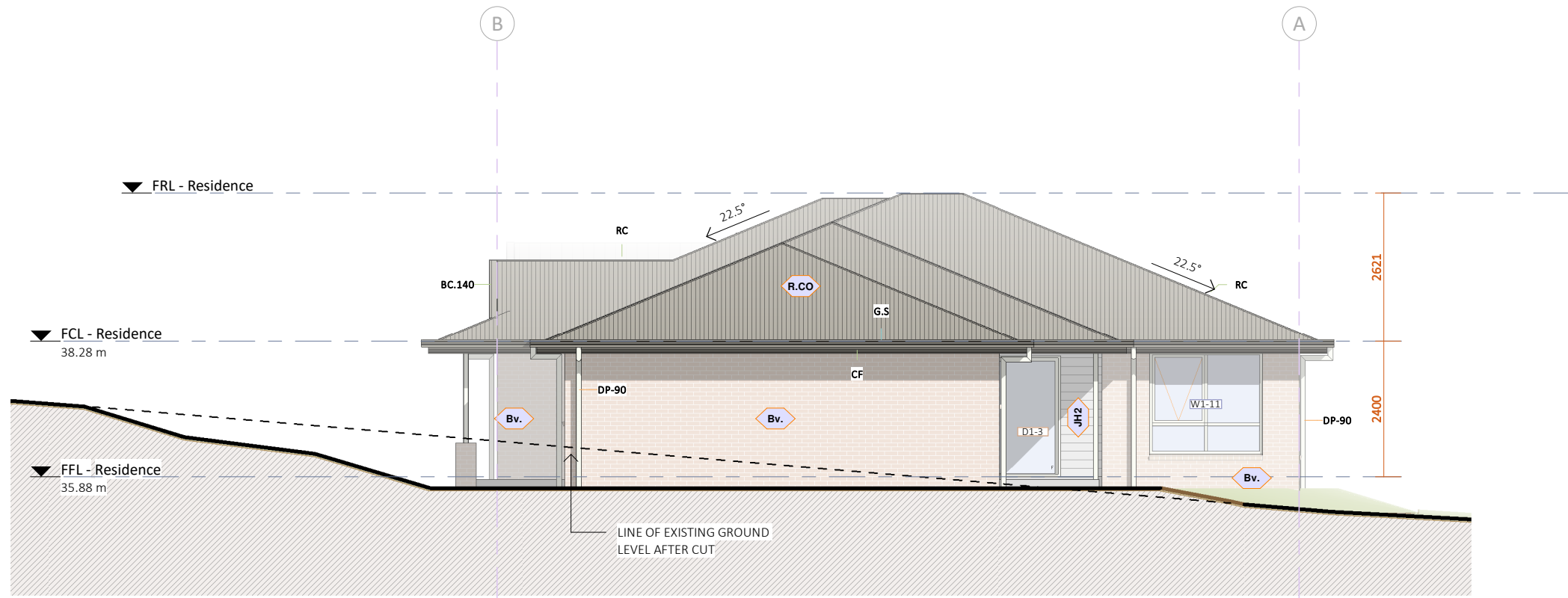
NOTES

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288, REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE. INSTALLED ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECS

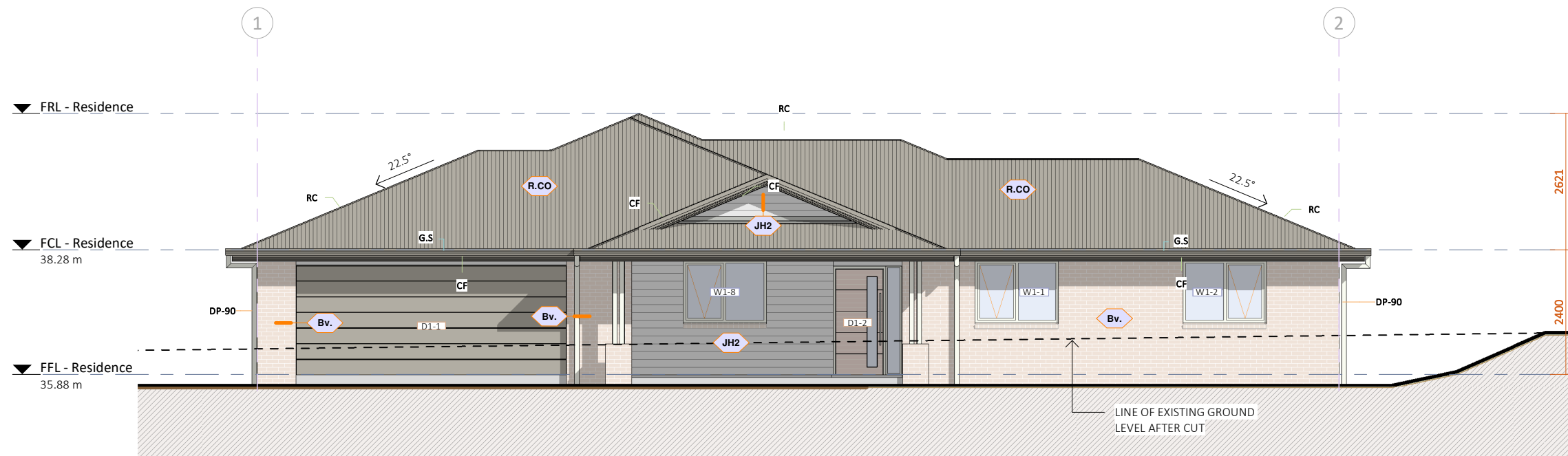
FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INSTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

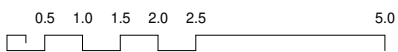
- ▼ 1.00m GROUND AND FLOOR LEVEL HIGHT MARKER
- W1- WINDOW No. (REFER TO SCHEDULE)
- D1- DOOR No. (REFER TO SCHEDULE)
- A GRID LINE
- OPAQUE WINDOW



NE NORTH-EAST
1 : 100



SE SOUTH-EAST
1 : 100



EXTERNAL WALL SCHEDULE			
Code	Model	Area	
JH2	James Hardie Scyon - Linea Weatherboard	26.9 m ²	
Bv.R	240 Brick Veneer Reclaimed	137.0 m ²	
W.CO	Colorbond Vertical Orientation	102.9 m ²	
		2.1 m ²	

ROOF FINISH SCHEDULE		
CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	306.9 m ²
R.Td	Colorbond Trimdek	61.9 m ²

FASCIA SCHEDULE			
Code	Model	Colour	Length
TF	Apron Flashing 150L x 100H	CP Shale Grey	3.42 m
BC.140	Barge 140L x 75H	CP Dune	17.65 m
CF	Novaline® Fascia	CP Dune	80.38 m
RC	Ridge Capping	CP Dune	90.13 m
VF	Valley Flashing	CP Dune	35.25 m

GUTTER SCHEDULE			
Eave gutter min. 1:500 or steeper			
Code	Type	Colour	Length
G.S	Lysaght Sheerline	CP Dune	95.43 m

DOWNPIPES		
Type	Specification	Total
DP-90	90Ø PVC Downpipe, painted finish to match wall	8

25-1017

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PAGE NO. **4**

PROJECT PROPOSED RESIDENCE & SHED
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PAGE TITLE ELEVATIONS 1 of 2
 DRAWINGS SCALE 1 : 100

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PAGE NO. **4**

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FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

- ▼ 1.00m GROUND AND FLOOR LEVEL HIGHT MARKER
- W1- WINDOW No. (REFER TO SCHEDULE)
- D1- DOOR No. (REFER TO SCHEDULE)
- Ⓐ GRID LINE
- OPAQUE WINDOW

EXTERNAL WALL SCHEDULE		
Code	Model	Area
JH2	James Hardie Scyon - Linea Weatherboard	26.9 m ²
Bv.R	240 Brick Veneer Reclaimed	137.0 m ²
W.CO	Colorbond Vertical Orientation	102.9 m ²
		2.1 m ²

ROOF FINISH SCHEDULE		
CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	306.9 m ²
R.Td	Colorbond Trimdek	61.9 m ²

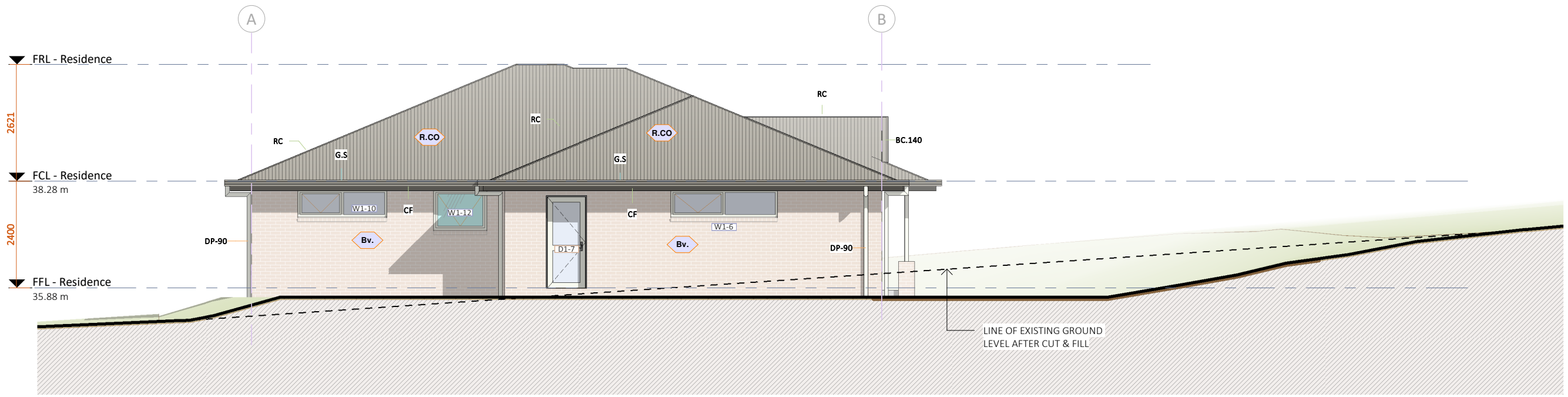
FASCIA SCHEDULE			
Code	Model	Colour	Length
TF	Apron Flashing 150L x 100H	CP Shale Grey	3.42 m
BC.140	Barge 140L x 75H	CP Dune	17.65 m
CF	Novaline® Fascia	CP Dune	80.38 m
RC	Ridge Capping	CP Dune	90.13 m
VF	Valley Flashing	CP Dune	35.25 m

GUTTER SCHEDULE		
Eave gutter min. 1:500 or steeper		
Code	Type	Colour
G.S	Lysaght Sheerline	CP Dune

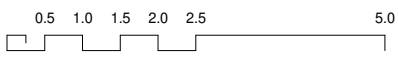
DOWNPIPES		
Type	Specification	Total
DP-90	90Ø PVC Downpipe, painted finish to match wall	8



NW NORTH-WEST
1 : 100



SW SOUTH-WEST
1 : 100



25-1017

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PAGE NO. 5

PROJECT PROPOSED RESIDENCE & SHED
 LOCATION 8 YELLOWSTONE DR, TUGRAH
 CLIENT HAYDEN CAMPBELL

PAGE TITLE ELEVATIONS 2 of 2

DRAWINGS SCALE 1 : 100

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY J.van Ommen
CHECKED BY L. WALSH

ISSUE DATE 10.02.26
DRAWINGS SET DA

REV. NO. 2

No.	DATE	DESCRIPTION	AMENDMENT
1	19.12.25	Concept 1 - Client Review	
1.1	04.02.26	Concept 2 - Client Review	
2	10.02.26	Planning Permit	

PAGE NO. **5**

SCHEDULES

WINDOW SCHEDULE										
Mark	Height	Width	Sill Height	Head Height	Area	Opening Type	Frame	Glazing	Hardware	Colour
W1-1	1200	1600	1000	2200	1.92 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-2	1200	1600	1000	2200	1.92 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-3	1800	2400	400	2200	4.32 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-5	900	1200	1300	2200	1.08 m ²	Awning	F.A	D.O	H1+H2	CP Dover White
W1-6	600	2400	1600	2200	1.44 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-7	900	600	1300	2200	0.54 m ²	Awning	F.A	D.O	H1+H2	CP Dover White
W1-8	1200	1600	1000	2200	1.92 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-9	1800	2400	400	2200	4.32 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-10	600	2000	1600	2200	1.20 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-11	1800	2000	400	2200	3.60 m ²	Awning	F.A	D	H1+H2	CP Dover White
W1-12	900	1200	1300	2200	1.08 m ²	Awning	F.A	D.O	H1+H2	CP Dover White
FFL - Residence: 11					23.34 m ²					
Grand total: 11					23.34 m ²					

WINDOW FINISH & HARDWARE

ALL GLAZED WINDOWS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE	SPECIFICATION
F.A	Aluminium Residential Window Frame, Powdercoat finish
F.PVC	uPVC Window Frame
F.T	Timber Window Frame, Painted finish

GLAZING

CODE	SPECIFICATION
D	Double Glazed, Clear
D.O	Double Glazed, Opaque

HARDWARE

CODE	SPECIFICATION
H.1	Chain Winder 'Awning', 125mm max. opening for windows that are 2m or greater from finished ground, colour match window frame
H.2	Flyscreen to open portion of window, type to be compliant to BAL rating is relevant to project
H.3	Sliding Window Hardware by manufacturer

DOOR SCHEDULE

Mark	Height	Width	Area	Opening Type	Door Panel	Frame	Glazing	Colour	Hardware
D1-1	2100	5200	10.92 m ²	Sectional Garage Door	D3				
D1-2	2040	920	1.88 m ²	External Hinge	D5	F.A	S		H2
D1-3	2100	2400	5.04 m ²	External Glass Sliding	D2	F.A	D	C1	H2
D1-4	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-5	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-6	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-7	2040	870	1.77 m ²	External Glass Hinge	D4	F.A	S	C1	H2
D1-8	2040	820	1.67 m ²	Double Cavity Slider - Flush Jamb	D1	F2		C2	H3
D1-9	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-10	2040	2590	5.28 m ²	Sliding Robe/Linen					
D1-11	2040	2590	5.28 m ²	Sliding Robe/Linen					
D1-12	2040	2590	5.28 m ²	Sliding Robe/Linen					
D1-13	2040	4090	8.34 m ²	Sliding Robe/Linen					
D1-14	2040	820	1.67 m ²	Double Cavity Slider - Flush Jamb	D1	F2		C2	H3
D1-15	2040	820	1.67 m ²	Hinge	D1	F1		C2	H1
D1-16	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-17	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-18	2040	870	1.77 m ²	Hinge	D1	F1		C2	H1
D1-19	2100	2400	5.04 m ²	2 Panel Slider	D2	F.A	D		H2
FFL - Residence: 19			66.29 m ²						
Grand total: 19			66.29 m ²						

DOOR SCHEDULE with SIDELIGHT

Mark	OPENING (exc. sidelight & highlight)			Sidelight Spec		Highlight Height	Sidelight Sill Height	Overall Width		Overall Size
	Height	Width	Area	Width A	Width B			HEIGHT	WIDTH	Opening Area
D1-2	2040	920	1.88 m ²	300	0	0	0	2090	1220	2.55 m ²
FFL - Residence: 1										2.55 m ²
Grand total: 1										2.55 m ²

DOOR FINISH & HARDWARE

ALL GLAZED DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE	SPECIFICATION
F.T	HUME Timber Frame 'Hinge', Pre Primed, Paint finish colour to match wall
F.Tc	HUME Timber Cavity Sliding Unit, Pre Primed, Paint finish colour to match wall
F.A	Aluminium Door Frame, Powdercoat finish, colour 'Monument'
F.RT	Hume Smartrobe Track Assembly, colour to match wall

DOOR PANEL

CODE	SPECIFICATION
D.1	HUME Timber Honeycomb Internal Door, Pre Primed, 35mm
D.2	Aluminium Sliding, Powdercoat finish, colour 'Monument'
D.3	Automatic Garage Door, Powdercoat finish, colour to match wall
D.4	Aluminium Hinged, Powdercoat finish, colour 'Monument' Glass infill
D.5	HUME Timber Solid Core External Door, Pre Primed, 35mm

COLOUR & FINISH

CODE	SPECIFICATION
C.1	Powdercoat finish 'Monument'
C.2	Paint finish 'Vivid White'

GLAZING

CODE	SPECIFICATION
S	Single Glazed, Clear
S.O	Single Glazed, Opaque
D	Double Glazed, Clear
D.O	Double Glazed, Opaque

HARDWARE

CODE	SPECIFICATION
H.1	Susie Round Door Handle, Colour 'Black' (or similar Approved)
H.2	Lever set & Lock by door supplier, colour to match door
H.3	Milos Flush Pull Handle (252 x 44mm) colour 'Black' (or similar Approved)

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PAGE NO. 6

PROJECT PROPOSED RESIDENCE & SHED
 LOCATION
8 YELLOWSTONE DR, TUGRAH
 CLIENT
HAYDEN CAMPBELL

PAGE TITLE SCHEDULES
 DRAWINGS SCALE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

11/02/2026 1:56:48 PM

DRAWN BY J.van Ommen
CHECKED BY L. WALSH
 ISSUE DATE
10.02.26
 DRAWINGS SET
DA
 REV. NO.
2

No.	DATE	DESCRIPTION	AMENDMENT
1	19.12.25	Concept 1 - Client Review	
1.1	04.02.26	Concept 2 - Client Review	
2	10.02.26	Planning Permit	

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NOTES

CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS
 ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION
 ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

SYMBOLS

- FINISHED FLOOR LEVEL MARKER
- 1.00m SITE REFERENCE LEVEL MARKER
- 1.00m WALL DIMENSION (mm)
- # OPENINGS DIMENSION (mm)
- # GRID LINE
- (A) ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)
- 03 N

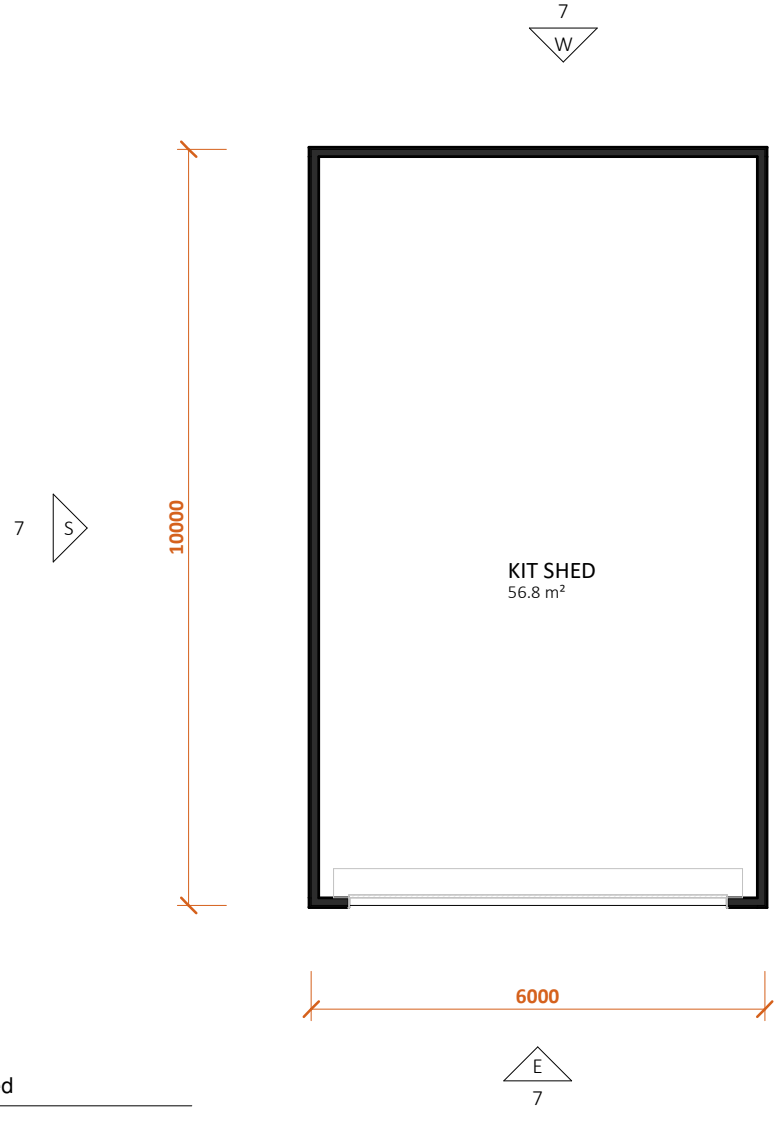
NOTES

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288, REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE. INSTALLED ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECS

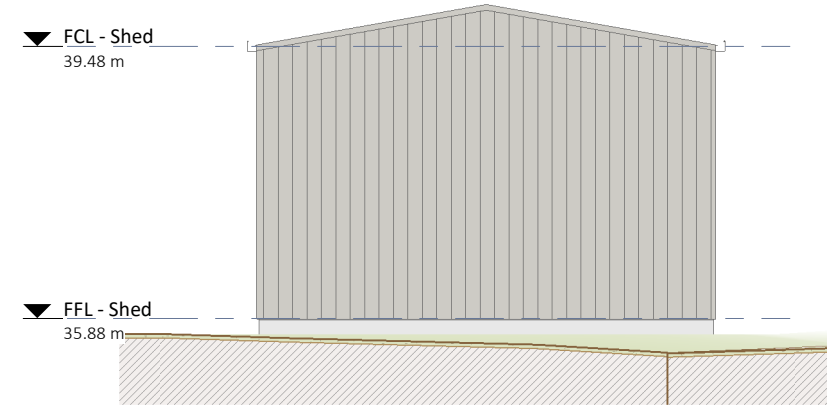
FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

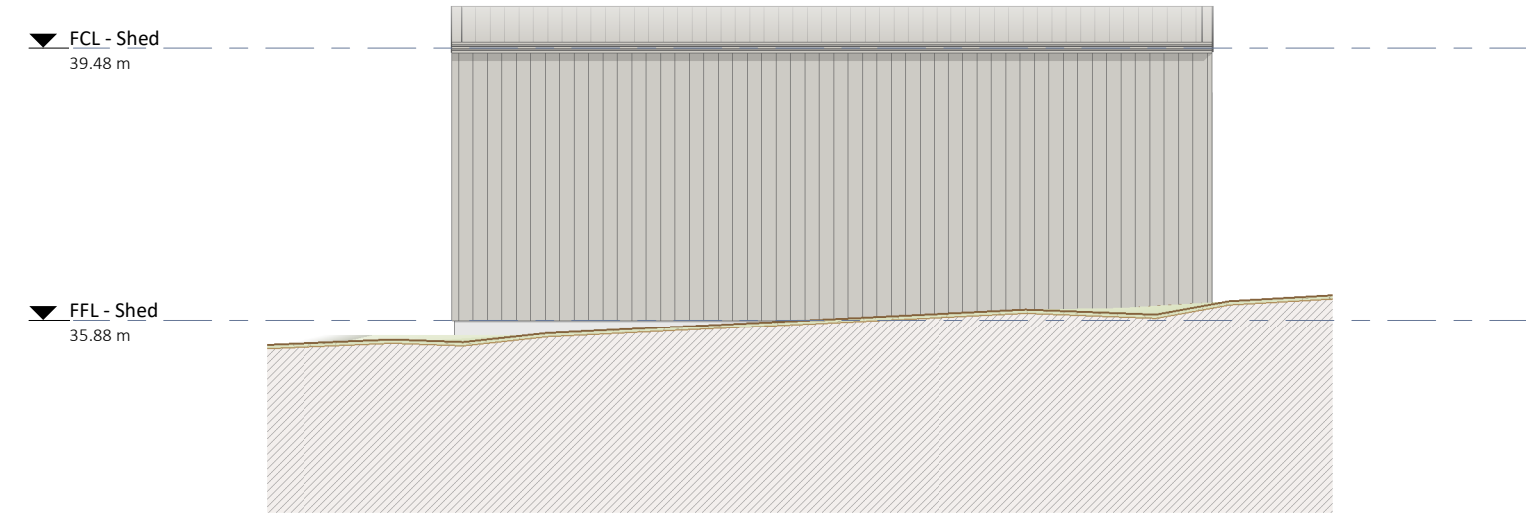
- 1.00m GOUND AND FLOOR LEVEL HIGHT MARKER
- W1- WINDOW No. (REFER TO SCHEDULE)
- D1- DOOR No. (REFER TO SCHEDULE)
- (A) GRID LINE
- OPAQUE WINDOW



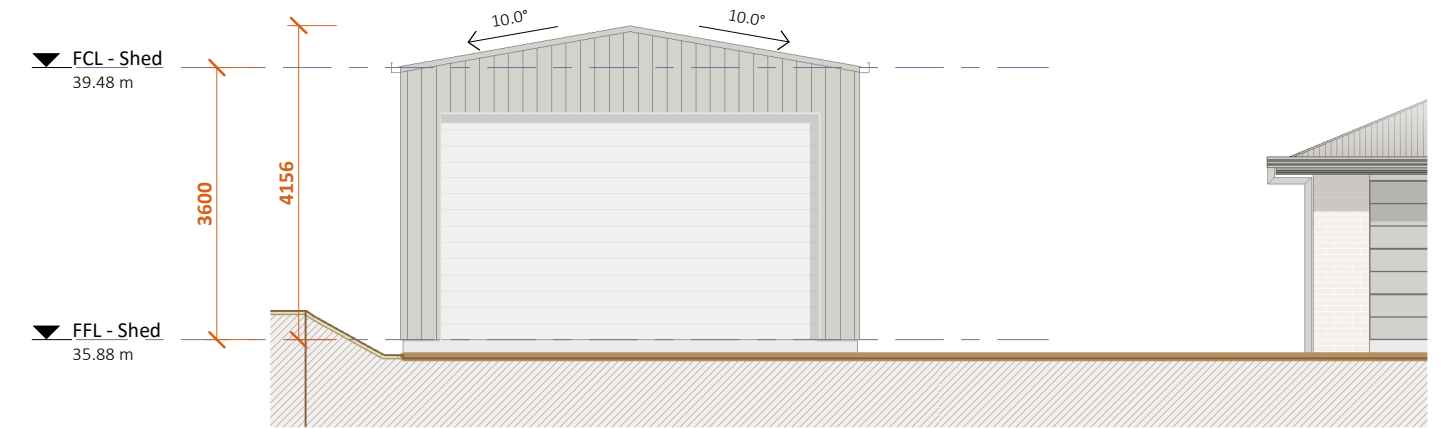
1 FFL - Shed
1 : 100



W Elevation - West
1 : 100



S Elevation - South
1 : 100



E Elevation - East
1 : 100

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 Tasmania Accreditation Number: CC 6162 E

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PROJECT PROPOSED RESIDENCE & SHED
LOCATION 8 YELLOWSTONE DR, TUGRAH
CLIENT HAYDEN CAMPBELL

PAGE TITLE SHED PLANS
DRAWINGS SCALE 1 : 100
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY J. van Ommen
CHECKED BY L. WALSH
ISSUE DATE 10.02.26
DRAWINGS SET DA
REV. NO. 2

No.	DATE	DESCRIPTION	AMENDMENT
1	19.12.25	Concept 1 - Client Review	
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