

## DEVELOPMENT APPLICATION

<b>APPLICATION NUMBER:</b>	PLN-25-193
<b>PROPOSED DEVELOPMENT:</b>	Verandah roof and deck roof
<b>LOCATION:</b>	7 Christie Avenue Moonah
<b>APPLICANT:</b>	Matthew Bax Architects
<b>ADVERTISING START DATE:</b>	19/09/2025
<b>ADVERTISING EXPIRY DATE:</b>	3/10/2025

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website ([www.gcc.tas.gov.au](http://www.gcc.tas.gov.au)) until **3/10/2025**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to [gccmail@gcc.tas.gov.au](mailto:gccmail@gcc.tas.gov.au).

Representations must be received by no later than 11.59 pm on **3/10/2025**, or for postal and hand delivered representations, by 5.00 pm on **3/10/2025**.

Project Address : Lot 247, number 7 Christie Avenue, West Moonah

Land Title reference number : Volume 13144, Folio 247

Owner : Mr P Langiu

Designer : Matthew Bax

**Drawings :**

- A001 Site Plan
- A002 Existing Conditions & Demolition Plan
- A003 Proposed Awning Plans & Elevations
- A004 Proposed Verandah Plans & Elevations

**Areas :**

- Lot Area : 558m<sup>2</sup>
- Existing Floor Area : 191m<sup>2</sup>
- Existing Deck Area : 37.5m<sup>2</sup>
- New External Roofed Area : 55.7m<sup>2</sup>
- Plot Ratio : 44.2%

Soil Classification : Not taken

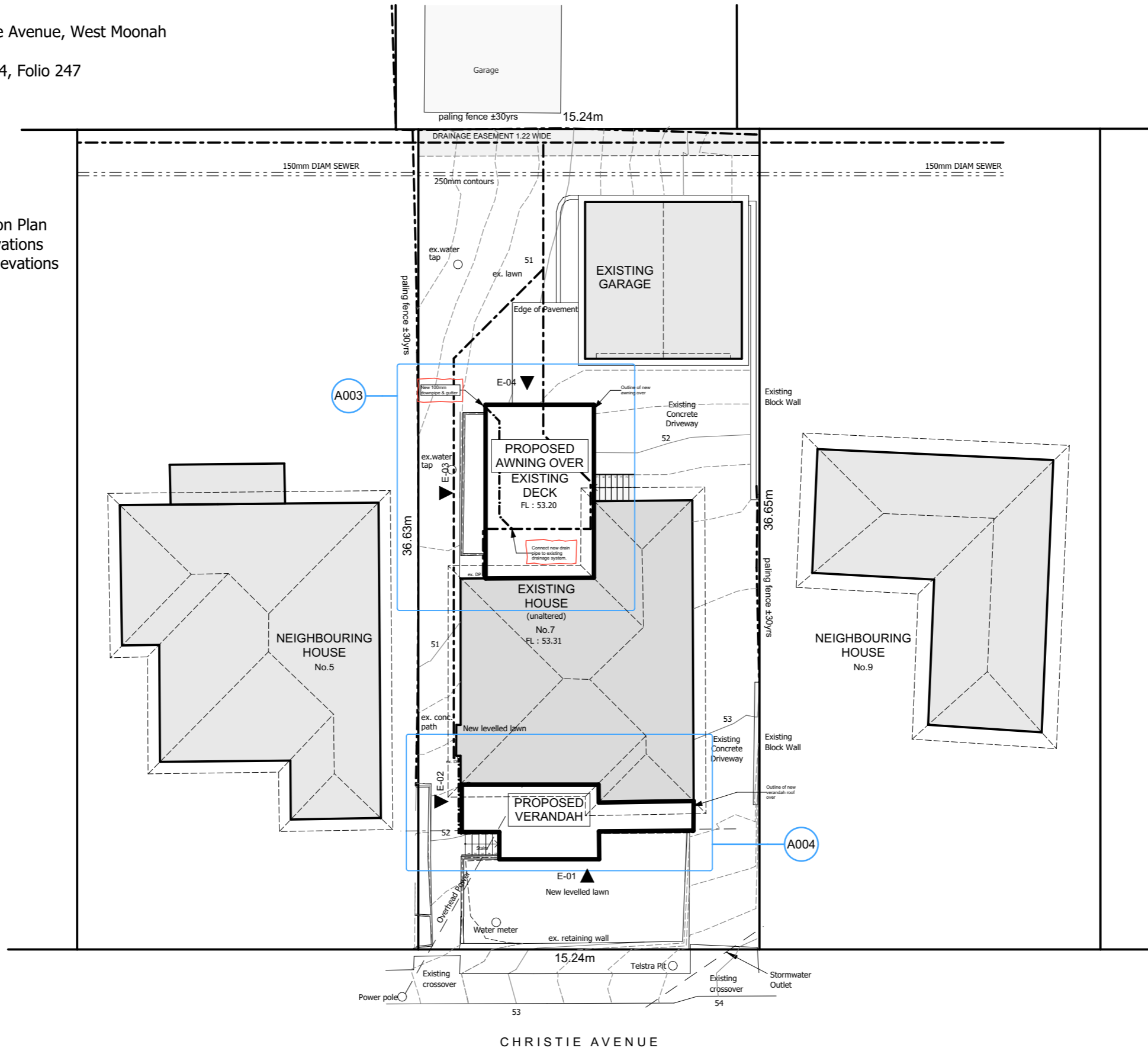
Wind Classification : Not taken

Climate Zone : 7

Bushfire Attack Level : BAL-LOW

Alpine Area : N/A

Corrosion Environment : N/A



CHRISTIE AVENUE



Revision	Date	Project Title	Drawing Title	Drawn	Checked
A	08/07/2025	<b>New Deck Awning &amp; Verandah 7 Christie Ave, Moonah</b>	<b>MATTHEW BAX ARCHITECT</b>	<b>Site Plan</b>	Scale 1:200 @ A3
B	10/07/2025				
C	21/08/2025				
<b>GENERAL NOTES</b> DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS		Client <b>Peter Langiu</b>	7 CHRISTIE AVENUE (LOT 247): 558m <sup>2</sup> APPROX. PROPERTY ID: 2952654 VOLUME: 156543/151	Date July 2025	File Number <b>2505</b>
		ph 0408 522 661 e matt@matthewbaxarchitect.com.au w www.matthewbaxarchitect.com.au	Drawing No <b>A001</b>	Printed:	

Project Address : Lot 247, number 7 Christie Avenue, West Moonah

Land Title reference number : Volume 13144, Folio 247

Owner : Mr P Langiu

Designer : Matthew Bax

**Drawings :**

- A001 Site Plan
- A002 Existing Conditions & Demolition Plan
- A003 Proposed Awning Plans & Elevations
- A004 Proposed Verandah Plans & Elevations

**Areas :**

- Lot Area : 558m<sup>2</sup>
- Existing Floor Area : 191m<sup>2</sup>
- Existing Deck Area : 37.5m<sup>2</sup>
- New External Roofed Area : 55.7m<sup>2</sup>
- Plot Ratio : 44.2%

Soil Classification : Not taken

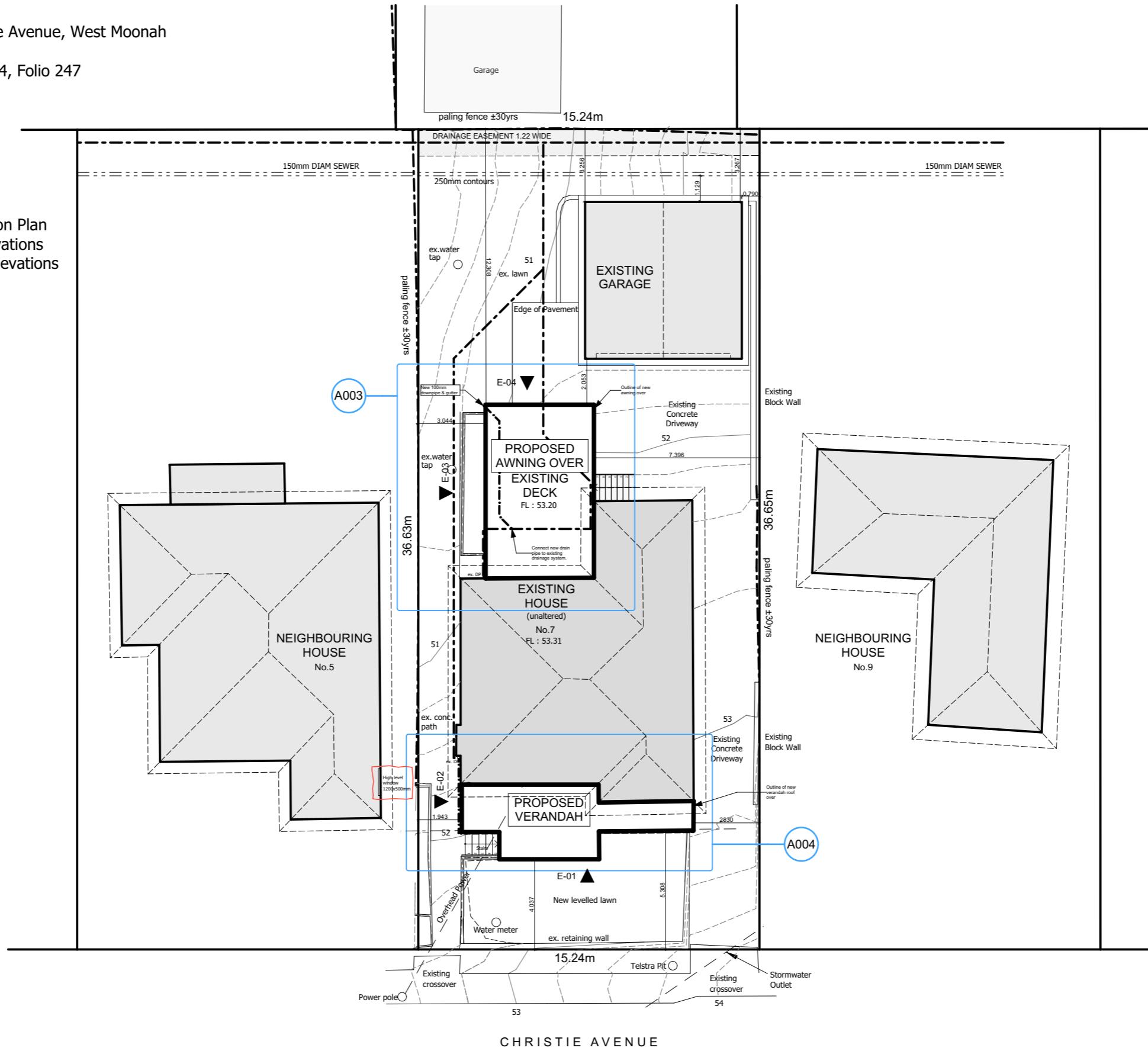
Wind Classification : Not taken

Climate Zone : 7

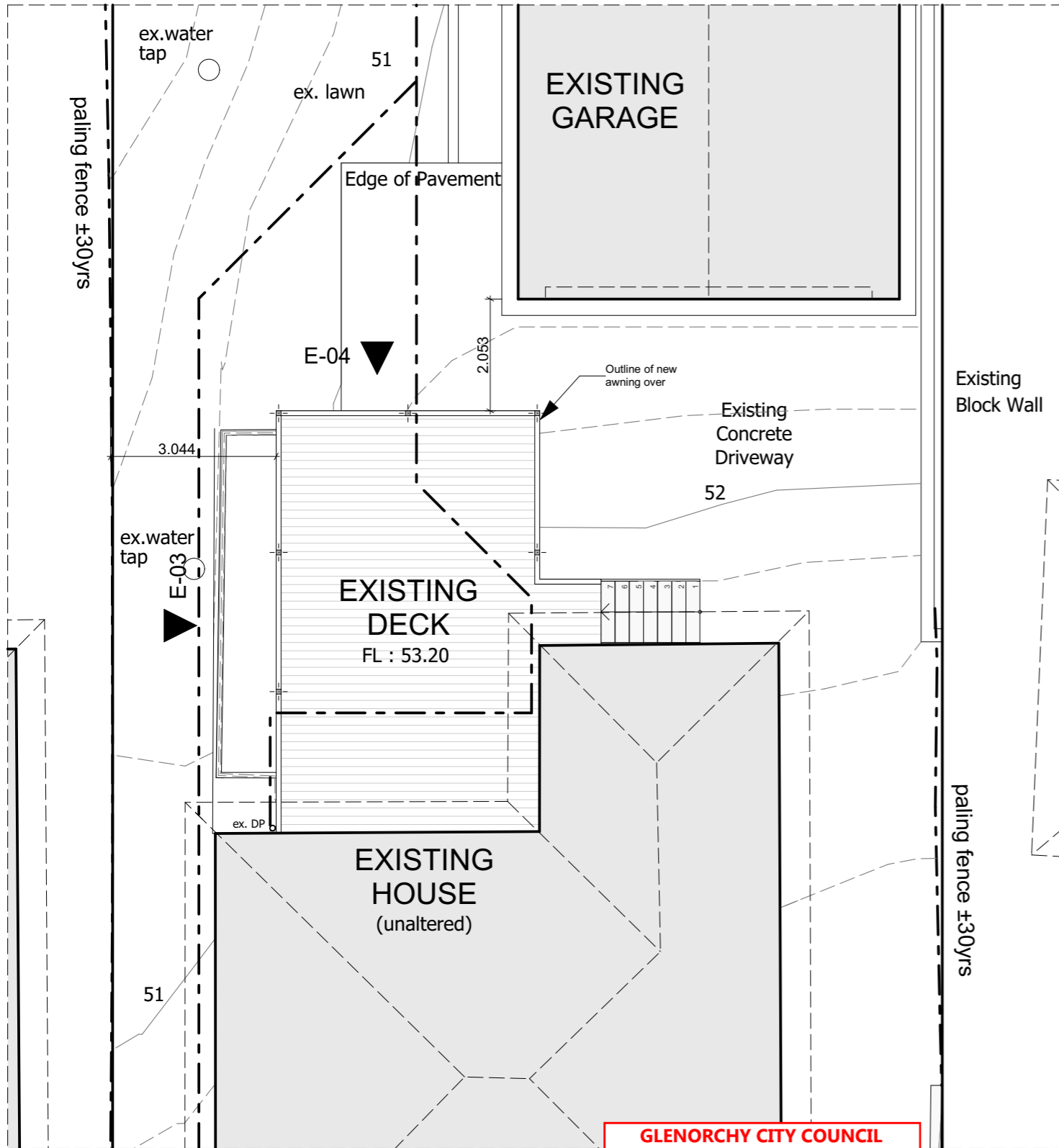
Bushfire Attack Level : BAL-LOW

Alpine Area : N/A

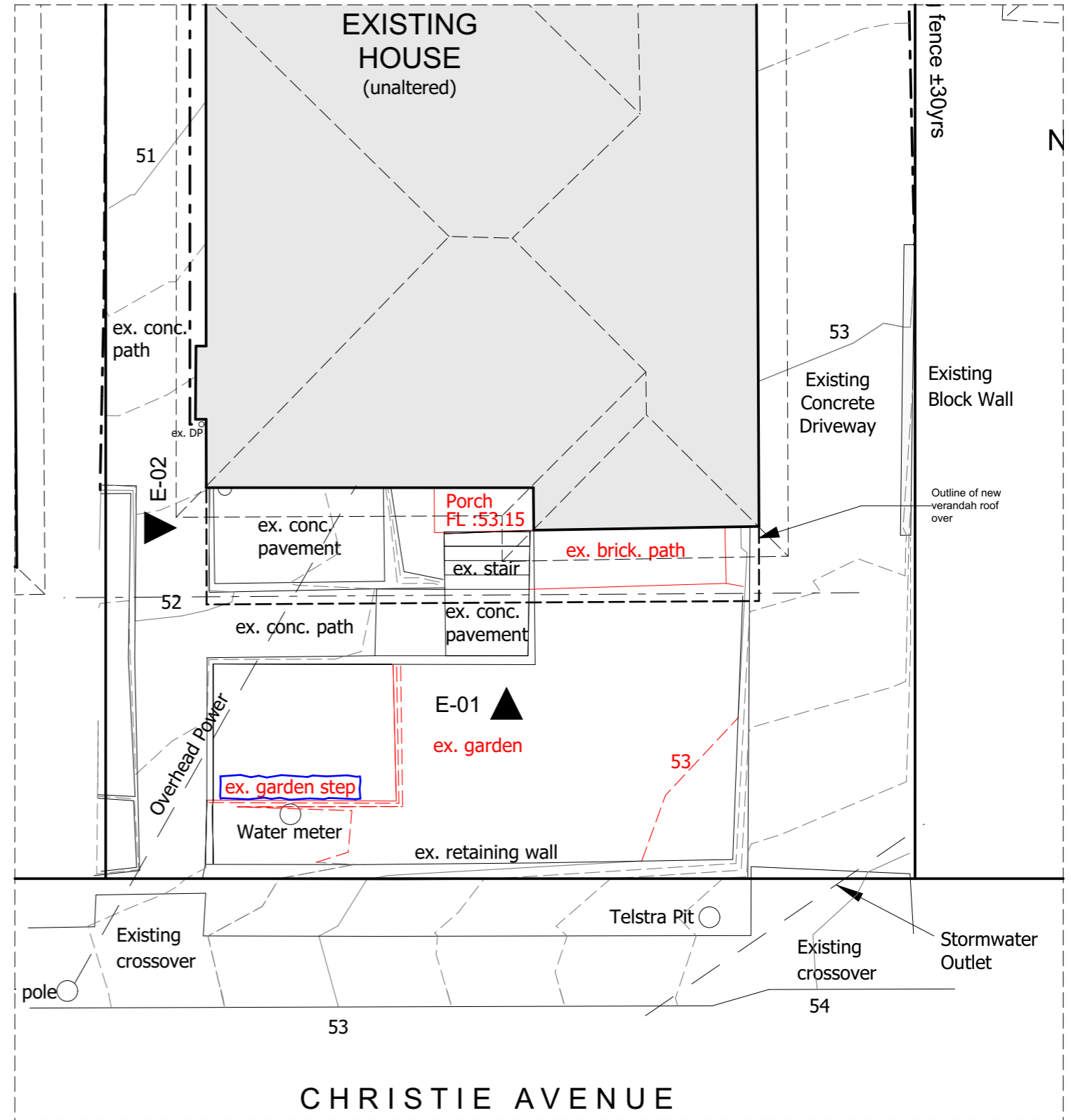
Corrosion Environment : N/A



Revision	Date	Project Title	Drawing Title	Drawn	Checked
A	08/07/2025	New Deck Awning & Verandah 7 Christie Ave, Moonah	Site Plan	Scale 1:200 @ A3	
B	10/07/2025				
C	21/08/2025				
D	29/08/2025				
E	15/09/2025				
<b>GENERAL NOTES</b> DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS		Client Peter Langiu	7 CHRISTIE AVENUE (LOT 247): 558m <sup>2</sup> APPROX. PROPERTY ID: 2952654 VOLUME: 156543/151	File Number <b>2505</b>	Drawing No <b>A001</b>
		ph 0408 522 661 e matt@matthewbaxarchitect.com.au w www.matthewbaxarchitect.com.au		Printed:	



EXISTING CONDITIONS AWNING PLAN 1:100



EXISTING CONDITIONS VERANDAH PLAN 1:100

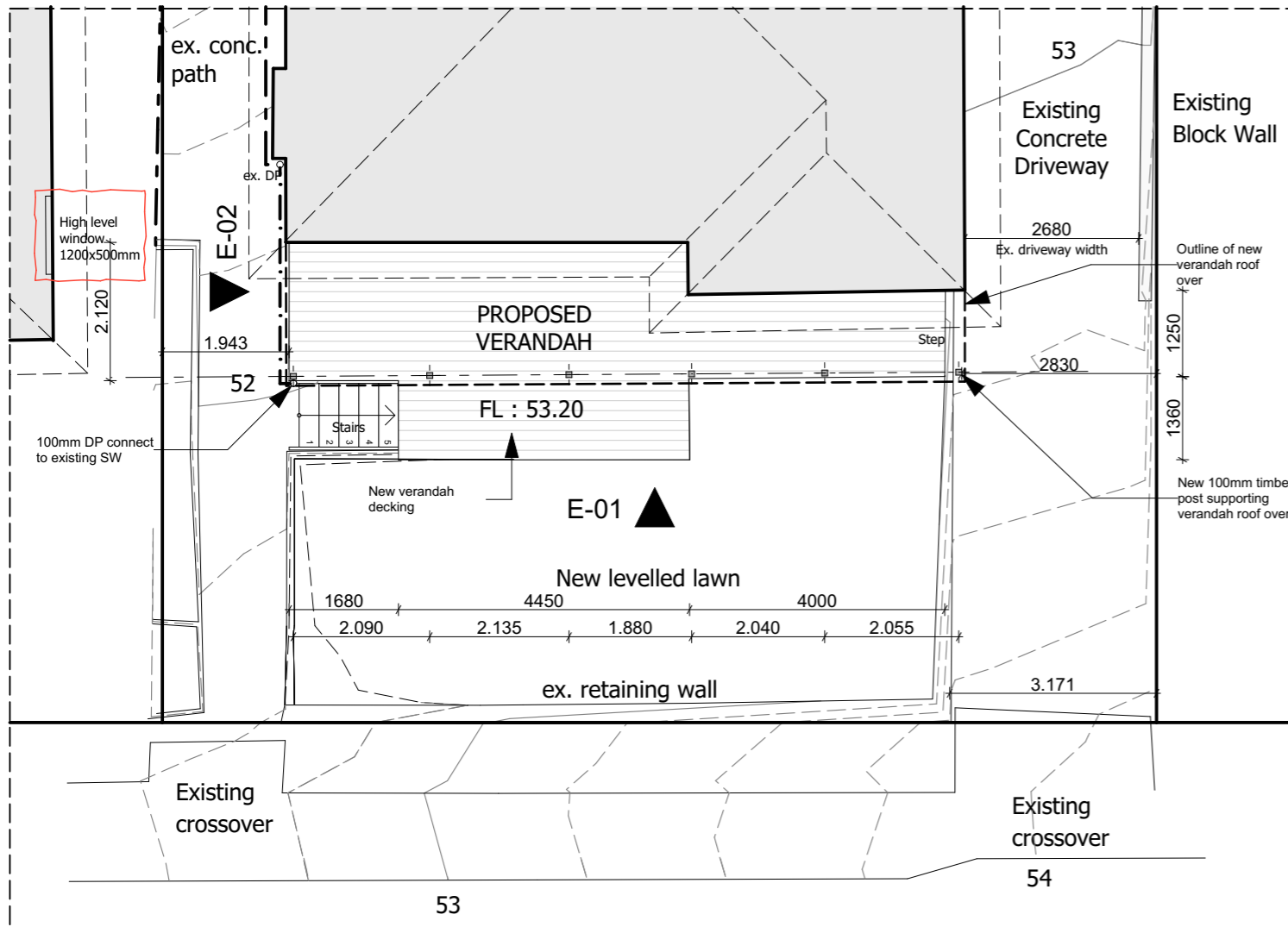
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No ..PLN-25-193  
DATE RECEIVED 21 August 2025

Revision	Date	Project Title	Drawing Title	Drawn	Checked
A	08/07/2025	New Deck Awning & Verandah 7 Christie Ave, Moonah	<b>Existing Conditions &amp; Demolition Plan</b> 7 CHRISTIE AVENUE (LOT 247): 558m2 APPROX. PROP. EXT. ROOF AREA: 55.7m <sup>2</sup> PLOT RATIO: NO CHANGE PROPERTY ID: 2952654 VOLUME: 156543/151	Scale 1:100 @ A3	Date July 2025
B	10/07/2025				
C	21/08/2025				
<b>GENERAL NOTES</b> DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			File Number <b>2505</b>		
Client Peter Langiu			Drawing No <b>A002</b>		Printed:

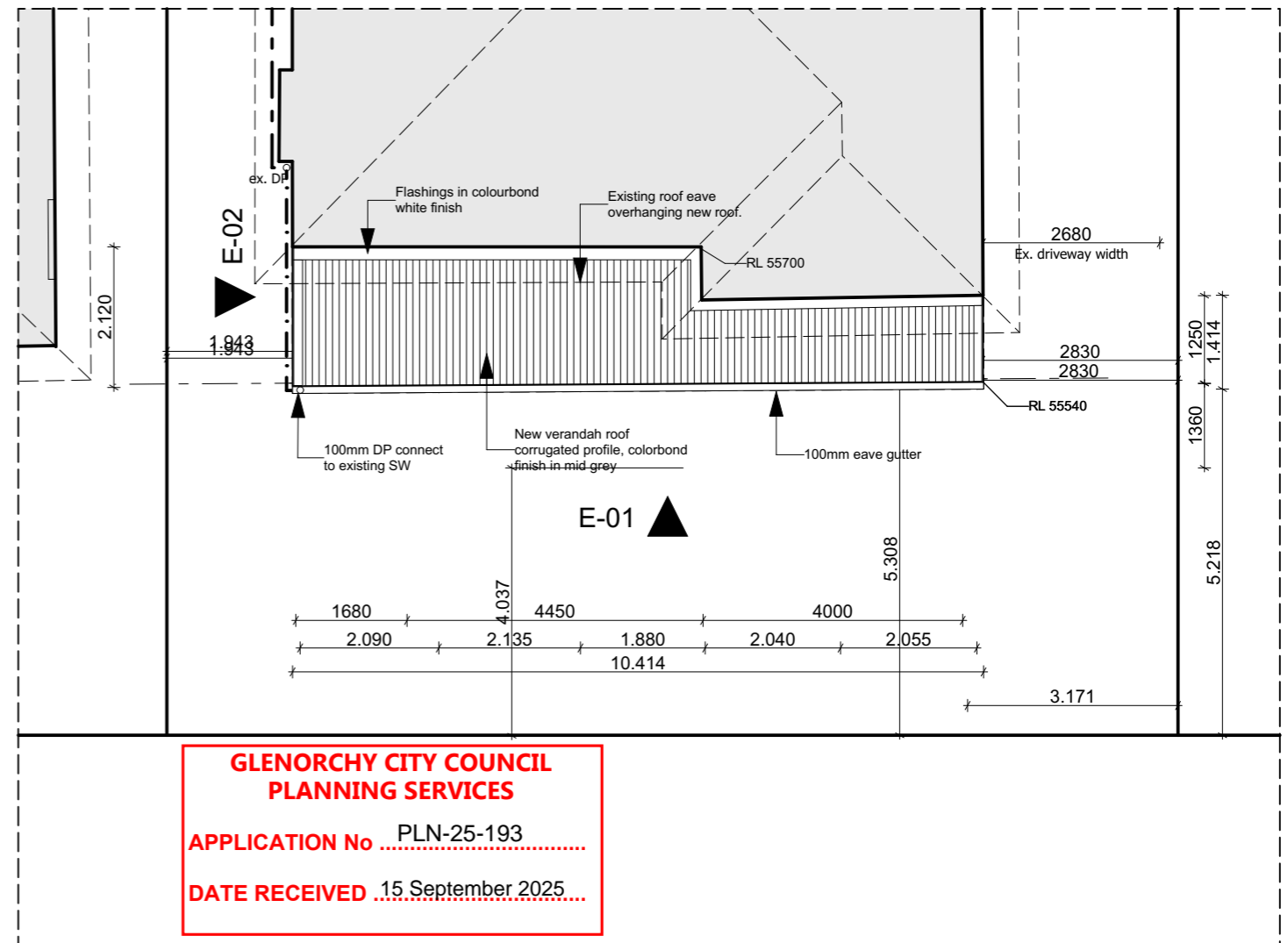
**MATTHEW BAX**  
ARCHITECT

ph 0408 522 661  
e matt@matthewbaxarchitect.com.au  
w www.matthewbaxarchitect.com.au





PROPOSED VERANDAH PLAN 1:100

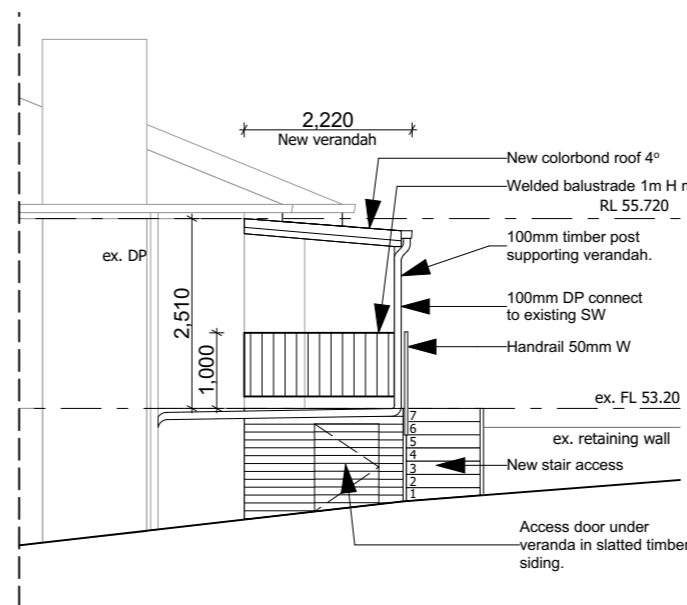


PROPOSED VERANDAH ROOF PLAN 1:100

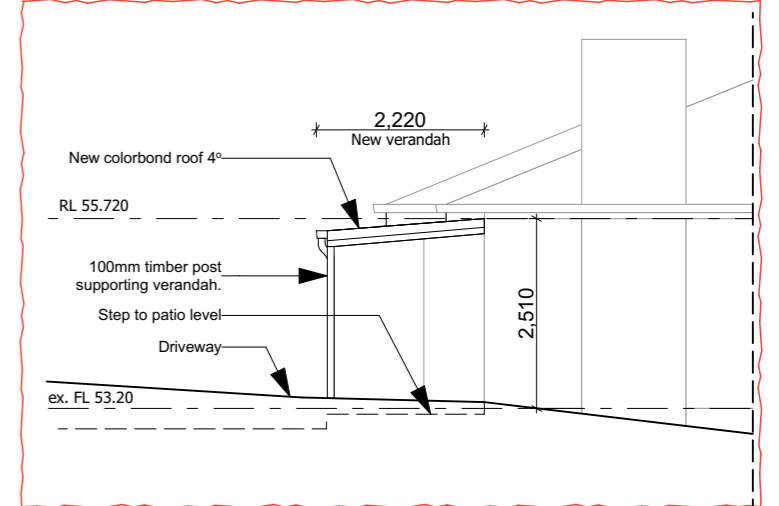
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No ..... PLN-25-193  
DATE RECEIVED ..15 September 2025.....



NORTH-WEST ELEVATION 1:100

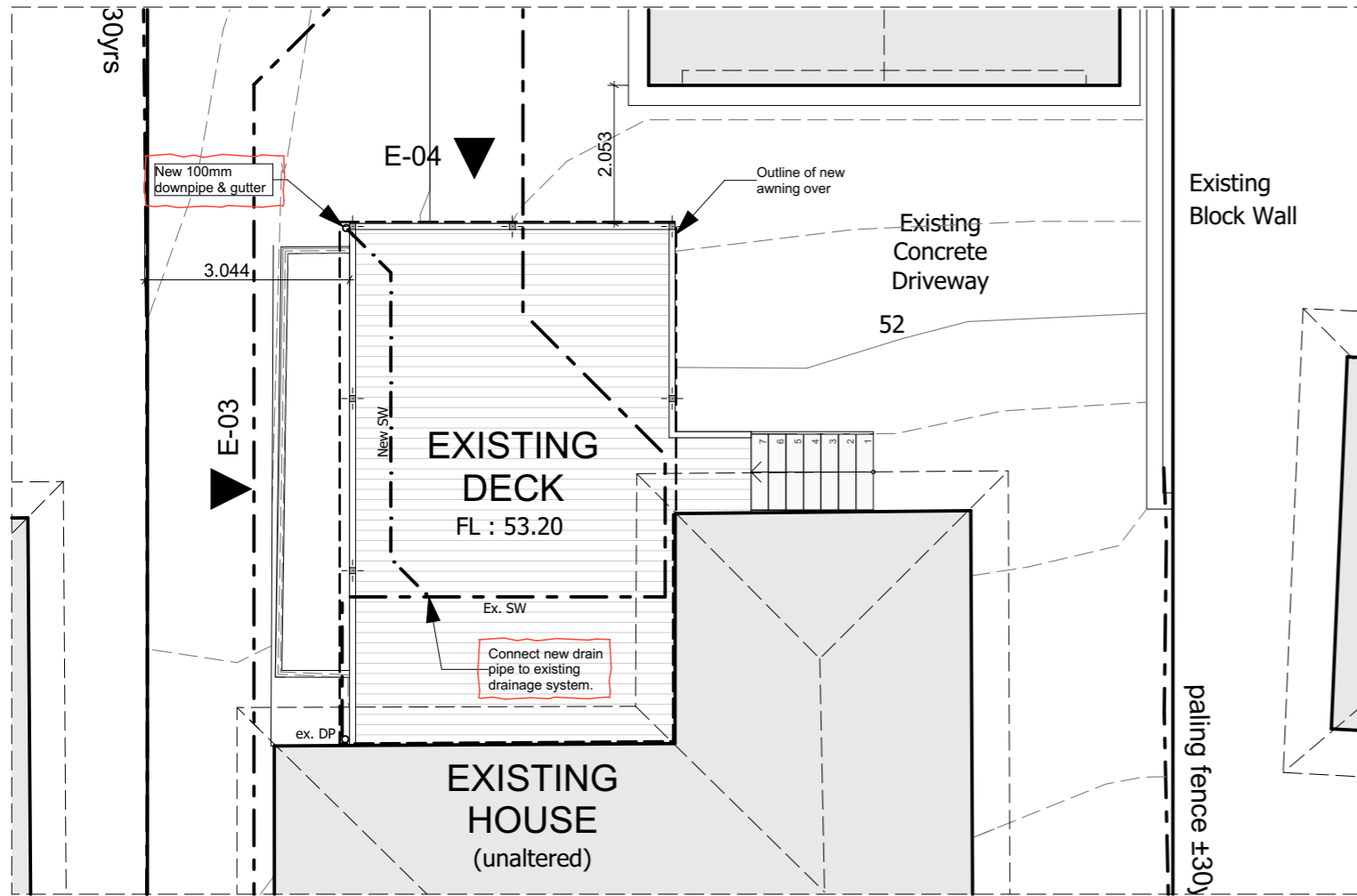


NORTH-EAST ELEVATION 1:100

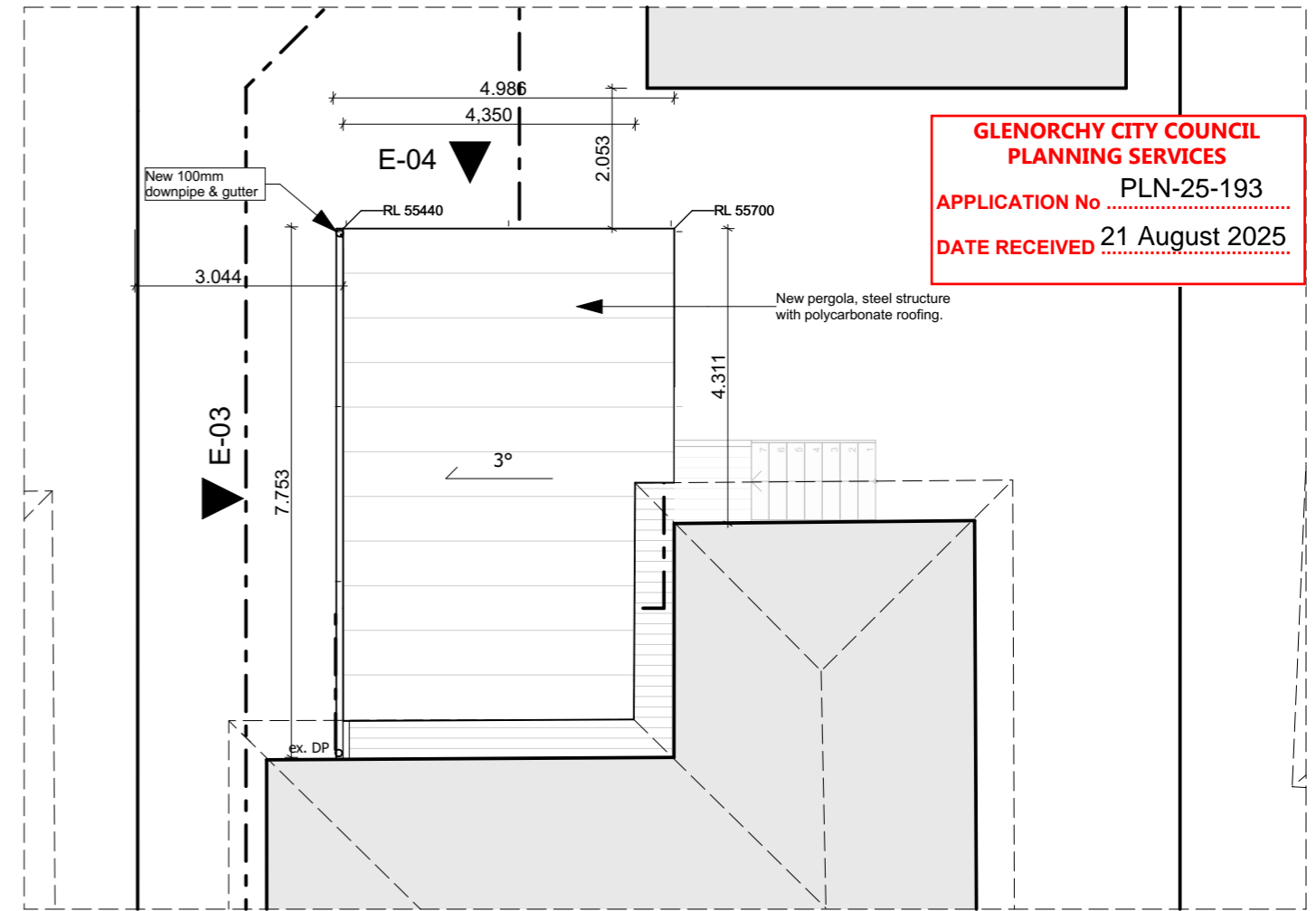


SOUTH-WEST ELEVATION 1:100

Revision	Date	Project Title	Drawing Title	Drawn	Checked	
A	08/07/2025	New Deck Awning & Verandah 7 Christie Ave, Moonah	<b>Proposed Verandah</b>	7 CHRISTIE AVENUE (LOT 247): 558m2 APPROX. PROP. EXT. ROOF AREA: 55.7m <sup>2</sup> PLOT RATIO: NO CHANGE PROPERTY ID: 2952654 VOLUME: 156543/151	Scale	
B	10/07/2025				1:100 @ A3	
C	21/08/2025				Date	
D	29/08/2025				July 2025	
E	15/09/2025				File Number	
<b>GENERAL NOTES</b> DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Drawing No <b>A004</b>	Drawing No <b>2505</b>	Printed:	
Client Peter Langiu			ph 0408 522 661 e matt@matthewbaxarchitect.com.au w www.matthewbaxarchitect.com.au			

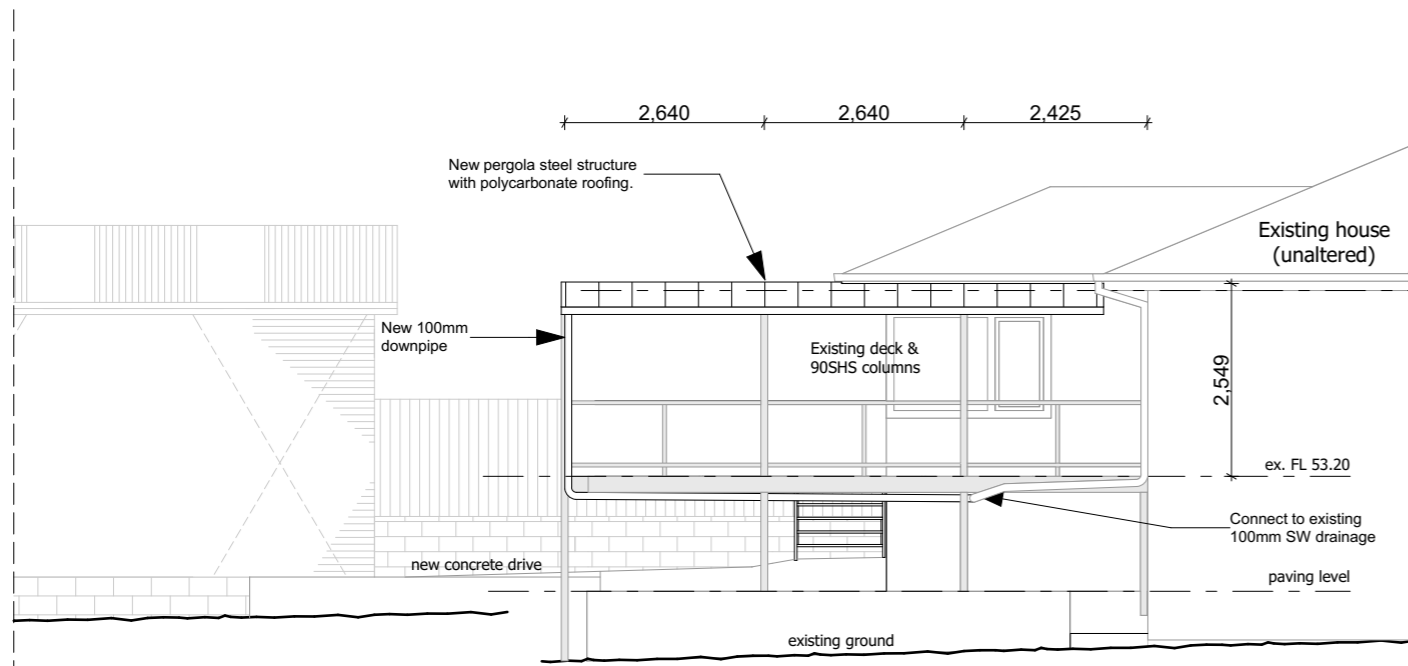


PROPOSED AWNING FLOOR PLAN 1:100

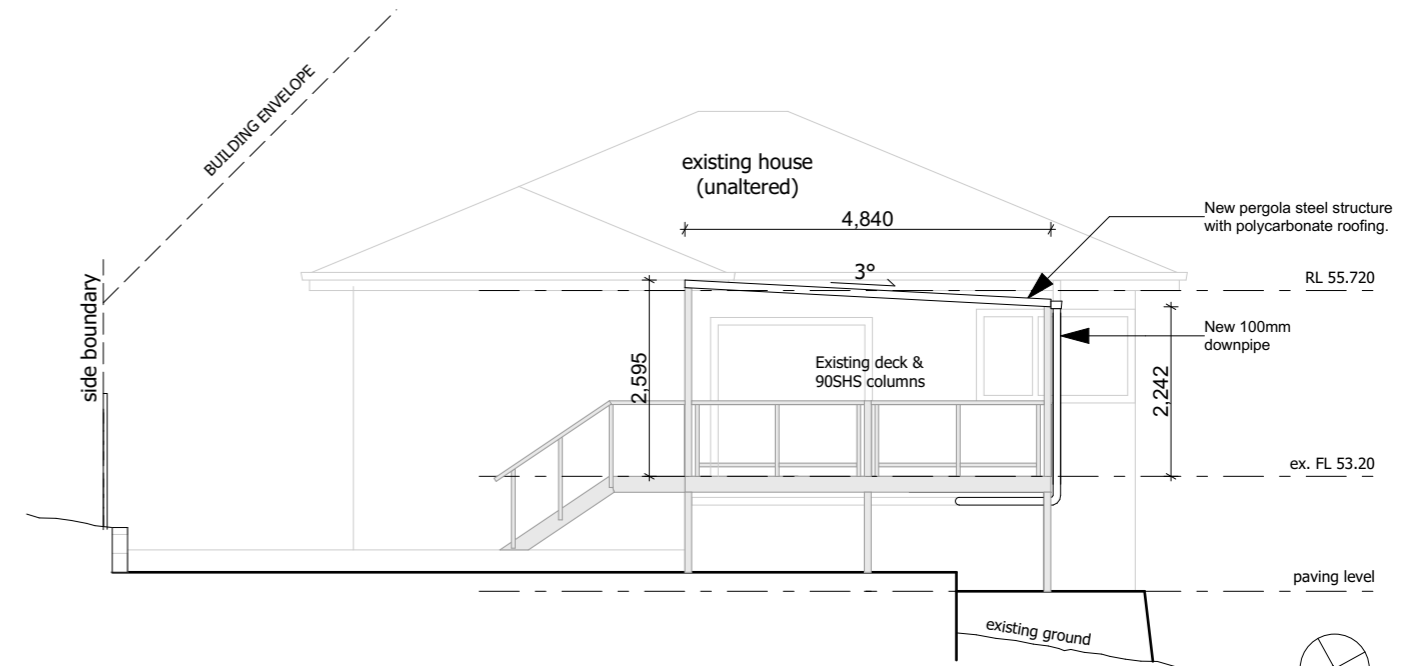


PROPOSED AWNING ROOF PLAN 1:100

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
 APPLICATION No PLN-25-193  
 DATE RECEIVED 21 August 2025



NORTH-EAST ELEVATION 1:100



SOUTH-EAST ELEVATION 1:100

Revision	Date	Project Title	Drawing Title	Drawn	Checked
A	TP Client Review	New Deck Awning & Verandah 7 Christie Ave, Moonah	<b>Proposed Deck Awning</b> 7 CHRISTIE AVENUE (LOT 247): 558m2 APPROX. PROP. EXT. ROOF AREA: 55.7m <sup>2</sup> PLOT RATIO: NO CHANGE PROPERTY ID: 2952654 VOLUME: 156543/151	Scale 1:100 @ A3	Date July 2025
B	Town Planning Issue				
C	Town Planning RFI				
<b>GENERAL NOTES</b> DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS		Client Peter Langiu	ph 0408 522 661 e matt@matthewbaxarchitect.com.au w www.matthewbaxarchitect.com.au	File Number <b>2505</b>	Drawing No <b>A003</b>
				Printed:	