

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-227
PROPOSED DEVELOPMENT:	Residential (Multiple dwellings x 2)
LOCATION:	8 Merton Street Glenorchy
APPLICANT:	Construct Creative Pty Ltd
ADVERTISING START DATE:	10/03/2026
ADVERTISING EXPIRY DATE:	24/03/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **24/03/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **24/03/2026**, or for postal and hand delivered representations, by 5.00 pm on **24/03/2026**.

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

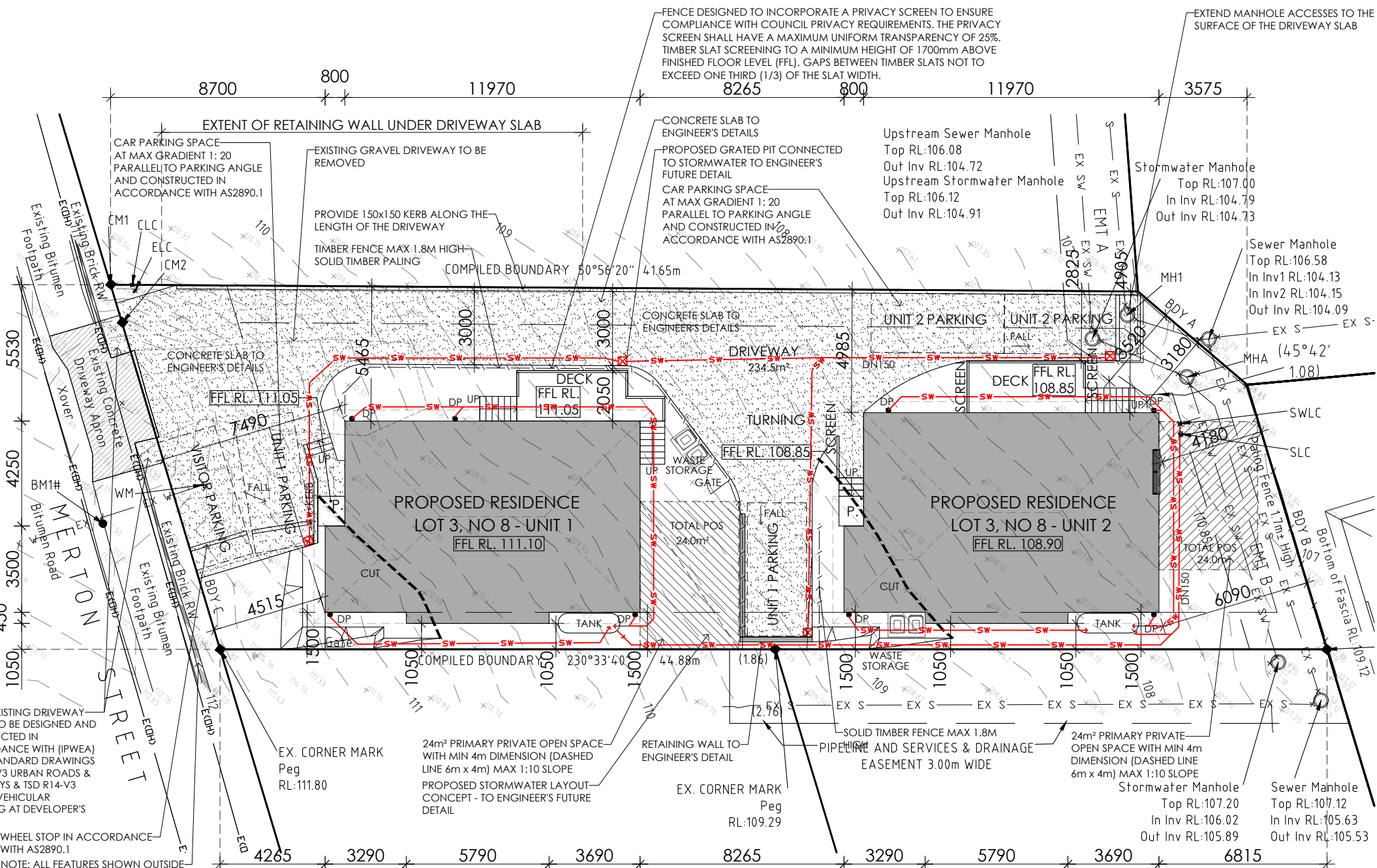
- LIST DATA IMPORT**
- TasWater-SewerLateralLine
 - TasWater-SewerMain
 - TasWater-SewerMaintenanceHole
 - TasWater-SewerPressurisedMain
 - TasWater-WaterHydrant
 - TasWater-WaterLateralLine
 - TasWater-WaterMain
 - CadastralParcel-OwnerInformation

WIDEN EXISTING DRIVEWAY APRON TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH (IPWEA) LGAT- STANDARD DRAWINGS TSD R09-V3 URBAN ROADS & DRIVEWAYS & TSD R14-V3 TYPE KC VEHICULAR CROSSING AT DEVELOPER'S COST

12. BOUNDARIES ARE COMPILED ONLY FROM SP187107 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
 13. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
 14. 3D DATA TURNED OFF IN LAYER CONTROL.
 - 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D
- DP 90mm DOWNPIPE

NOTE: ALL PROPOSED STORMWATER TO BE DISCHARGED TO EXISTING INFRASTRUCTURE

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THE SITE IN ACCORDANCE WITH COUNCIL REQUIREMENTS



- GPS DATA SCALE LOCATION**
JOB CONTROL POINT
POINT NO: 1
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.00041234
 E: 521078.299
 N: 5522704.817
 RL: 112.30
 EPU = 0.04±
- W1 -1.79W x0.91H Top RL: 109.07 Ground Floor Window
 W2 -0.45W x0.91H Top RL: 109.07 Ground Floor Window
 D3 -0.8W x###H Top RL: 109.06 Ground Floor Door
 W4 -0.59W x0.91H Top RL: 109.07 Ground Floor Window
 W5 -1.49W x0.91H Top RL: 109.07 Ground Floor Window
- ### denotes: Unable to locate windows due to obstruction of line of sight from instrument.
- BDY A - COMPILED BOUNDARY 91°03' 5.82m
 BDY B - COMPILED BOUNDARY 123°45' 11.20m
 BDY C - COMPILED BOUNDARY 303°51' 15.43m
 EMT A - PIPELINE AND SERVICES & DRAINAGE EASEMENT 3.00m WIDE
 EMT B - PIPELINE AND SERVICES & DRAINAGE EASEMENT 3.00m WIDE & VARIABLE WIDTH

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 1
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.00041234
 E: 521078.299
 N: 5522704.817
 RL: 112.30
 EPU = 0.04±

- LEGEND**
- ELC = Electricity Lot Connection
 - CLC = Communication Lot Connection
 - WM = Water Meter
 - RW = Retaining Wall
 - SLC = Sewer Lot Connection
 - SWLC = Stormwater Lot Connection
 - BM# = BENCH MARK R/Set in
 - Kerb# RL:112.30
 - CM1 = EX. CORNER MARK Peg RL:110.77
 - CM2 = EX. CORNER MARK Peg RL:111.55
 - CM3 = EX. CORNER MARK SH Nail in Fence RL:107.50
 - MH1 = Sewer Manhole Top RL:107.01 In Inv RL:104.28 Out Inv RL:104.22
 - MHA = Stormwater Manhole Top RL:106.67 In InvA RL:104.68 In InvB RL:104.69 Out Inv RL:104.56

- SOLID TIMBER PALING FENCE 1.8mm HIGH
- PRIVACY SCREENS - MAX 25% UNIFORM TRANSPARENCY TO COUNCIL COMPLIANCE - TIMBER SLAT TO MIN 1700mm ABOVE FLOOR LEVEL. GAPS TO BE 1/3 OF TIMBER WIDTH = 25%

- NOTES**
- SITE PREPARATION**
 THE SITE IS TO BE DISTURBED AS MINIMALLY AS POSSIBLE TO THE EXTENT REQUIRED TO CARRY OUT THE BUILDING WORKS.
 EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC PART 3.2.
 UN-RETAINED EMBANKMENT GRADIENTS SHALL BE IN ACCORDANCE WITH NCC TABLE 3.2.1.
 DRAINAGE SHALL BE IN ACCORDANCE WITH NCC PART 3.3.2.
 THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- ATTENTION OF OWNER**
 THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE FOR ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.
- SOIL AND WATER MANAGEMENT NOTES:**
 DRAINAGE LINES ARE TO BE INSTALLED PRIOR TO THE PLACEMENT OF ROOF AND GUTTERING. ONCE DWELLING IS ROOFED, CONNECT IMMEDIATELY. APPLY TEMPORARY COVERING TO DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR 14 DAYS OR MORE DURING CONSTRUCTION (EG. WATERPROOF BLANKET, VEGETATION OR MULCH)
- PROTECT ANY NEARBY OR ON-SITE DRAINAGE PITS FROM SEDIMENT BY INSTALLING SEDIMENT TRAPS AROUND THEM.
 LIMIT ENTRY/EXIT TO ONE POINT AND STABILISE. INSTALL FACILITIES TO REMOVE DIRT/ MUD FROM VEHICLE WHEELS BEFORE THEY LEAVE THE SITE.
 SITE TO BE VEGETATED AND PLANTED ACCORDING TO THE HOBART REGIONAL SOIL AND WATER MANAGEMENT CODE OF PRACTICE.
- BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS** PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH DOCUMENTATION LISTED ON THE COVER PAGE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
 -THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 - LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION

IMPORTANT!
 SITE INFORMATION AS DRAWN IS APPROXIMATE ONLY. FINAL SITE INFORMATION IS SUBJECT TO A DETAILED CONTOUR SURVEY BY LICENSED SURVEYOR.

SOIL CLASSIFICATION: P
 WIND CLASSIFICATION: N2

SITE COVERAGE	
SITE AREA	650.2 m ²
AREA PER DWELLING	325.1 m ²
PROPOSED BUILDING FOOTPRINT	202.9 m ²
PROPOSED SITE COVERAGE	31.21 %

PROPOSED SITE PLAN

GLENORCHY CITY COUNCIL PLANNING SERVICES
 APPLICATION No PLN-25-227
 DATE RECEIVED 2 March 2026



JOB ADDRESS: 8 Merton Street Glenorchy	CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: N. Nguyen	DATE: July 2025
CHECKED:	DATE:
SCALE: 1:200	REV: G
	SHEET: 2 of 19
	DESIGN TYPE: Custom
	DRAWING NO: 0227

02	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: DESCRIP
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	D COUN
			E COUNCIL RFI
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			G COUNCIL RFI

BY:	DATE:
NN	20/1/26
NN	22/1/26
IB	10/2/26
IB	2/3/26

AREAS UNIT 1:	
FLOOR AREA:	98.2 m ²
PORCH:	1.3 m ²
TOTAL AREA:	99.5 m ²
DECK:	14.2 m ²

LEGEND:

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE

BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

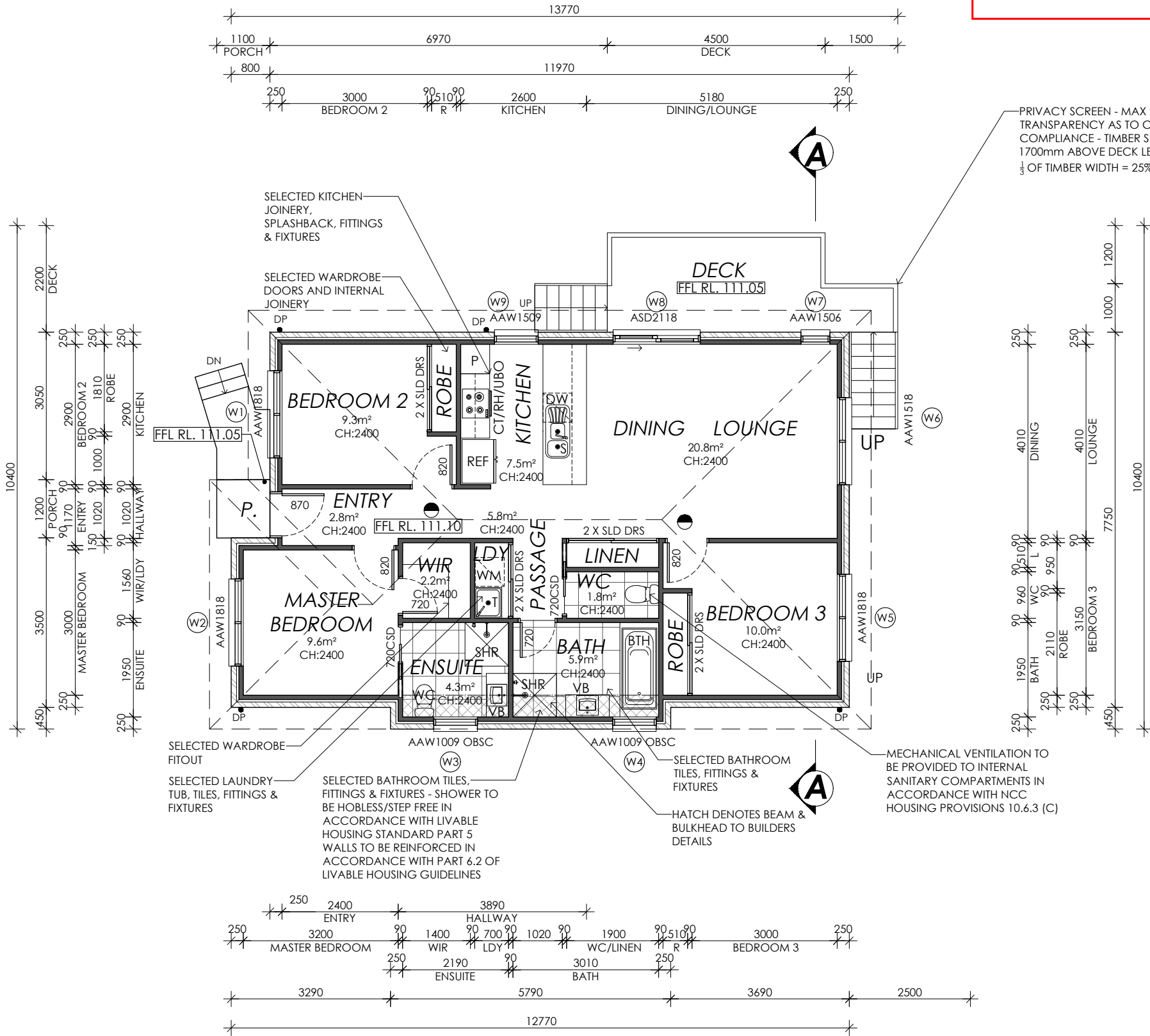
CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.

DP 90mm DOWNPIPE

SUB FLOOR VENTILATION

Zone C	6000
Subfloor wall length	41940
Area of ventilation	251640000
Vent size 230x76	17480
Number of vents	15

PROPOSED FLOOR PLAN UNIT 1
FLOOR AREA: 99.5m²



Framing NCC H1D6
All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3), and Part 8.4 of the ABCB Housing provisions.

Note:
Builder and subcontractors to verify all dimension and levels prior to the commencement of any work. Give 24hrs minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with Engineer's and Surveyor's drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineer's drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important notice for attention of Owners: the Owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the Owners responsibility to maintain the site in accordance with this document.

Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

General:
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas)

Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

PRELIMINARY

CREATIVE HOMES HOBART
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

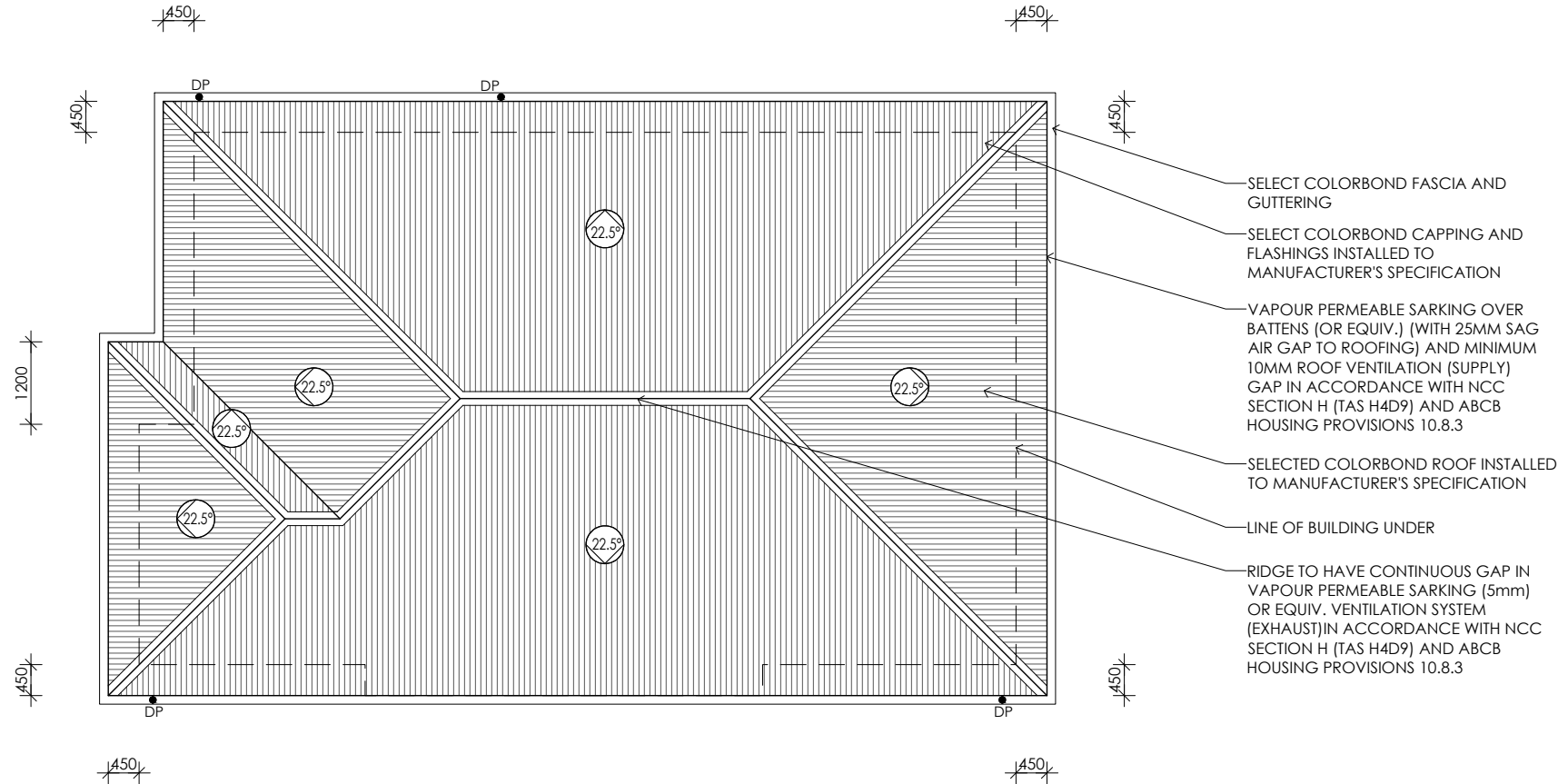
JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 3 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:100	REV: G	

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03	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: D	DESCRIPTION: COUNCIL RFI	BY: NN	DATE: 20/1/26
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			F	COUNCIL RFI	IB	10/2/26
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PROPOSED ROOF PLAN UNIT 1

PRELIMINARY



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Energy efficiency:
Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with BCA 2019 Part 3.12

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● DP 90mm DOWNPIPE

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04



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**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
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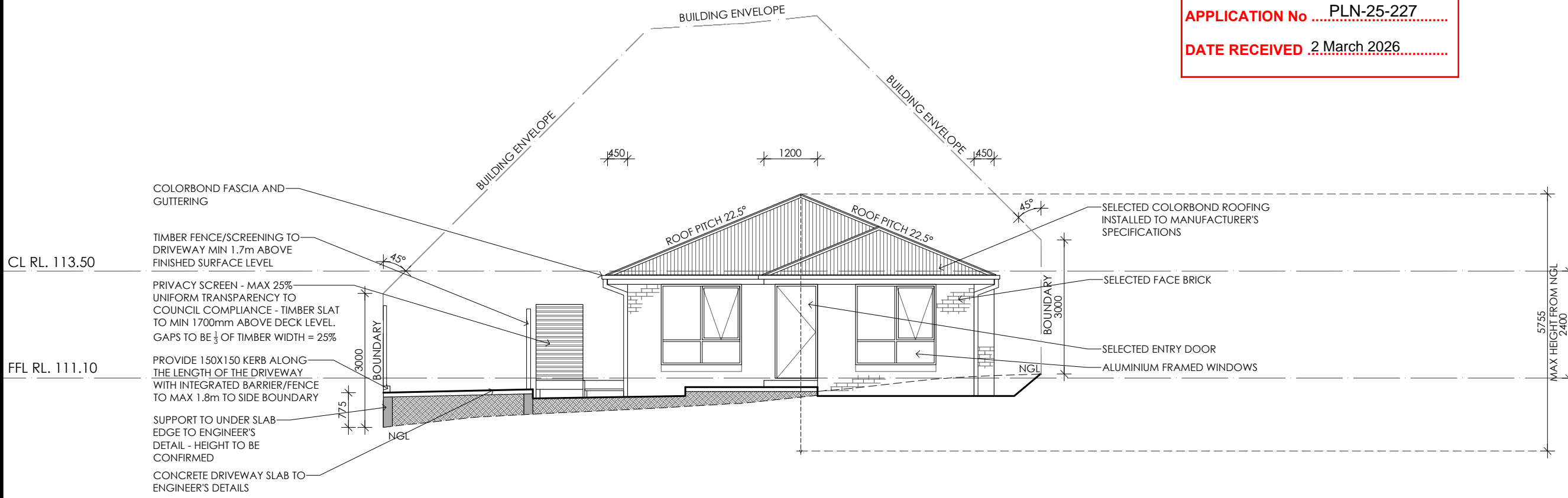
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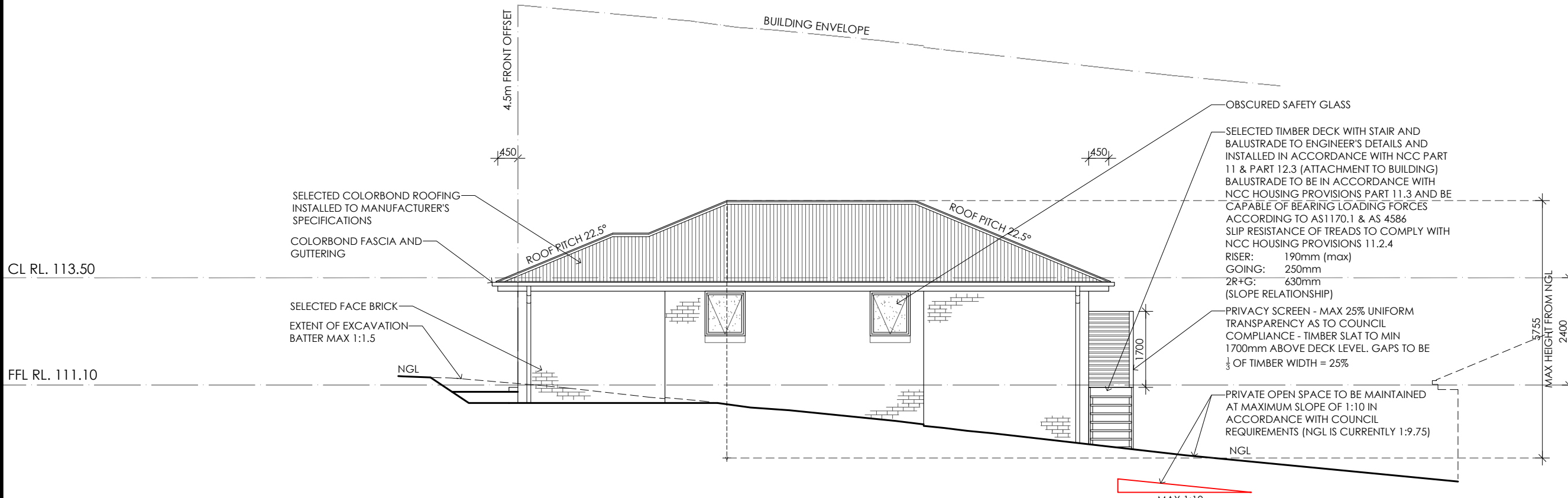
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SOUTH WESTERN ELEVATION



SOUTH EASTERN ELEVATION

UNIT 1

PRELIMINARY

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05	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: D	DESCRIPTION: COUNCIL RFI	BY: NN	DATE: 20/1/26
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CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-227
DATE RECEIVED 2 March 2026

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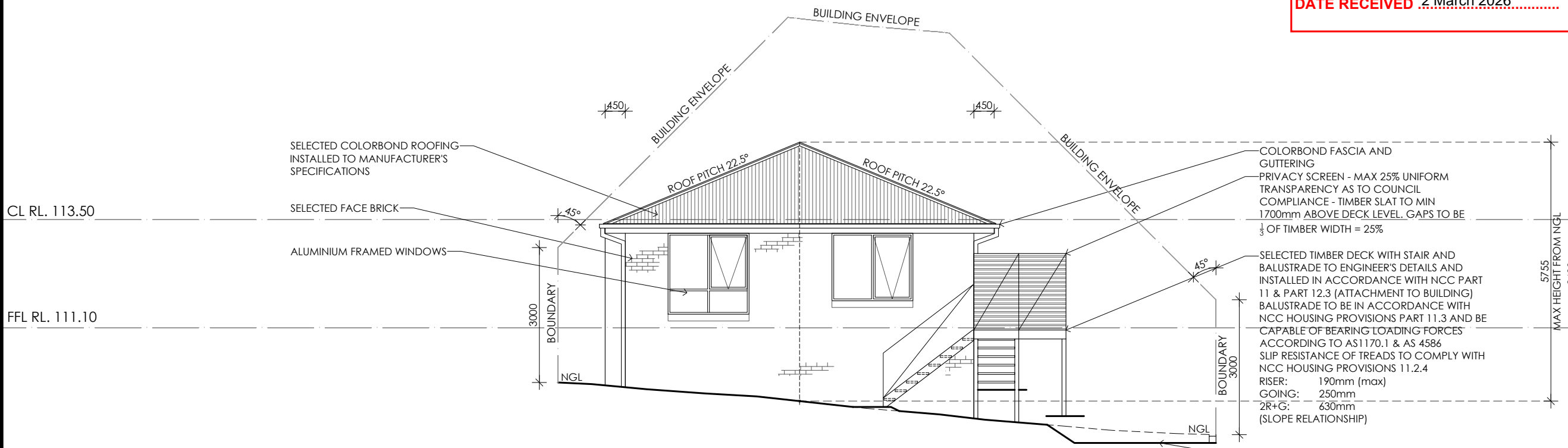
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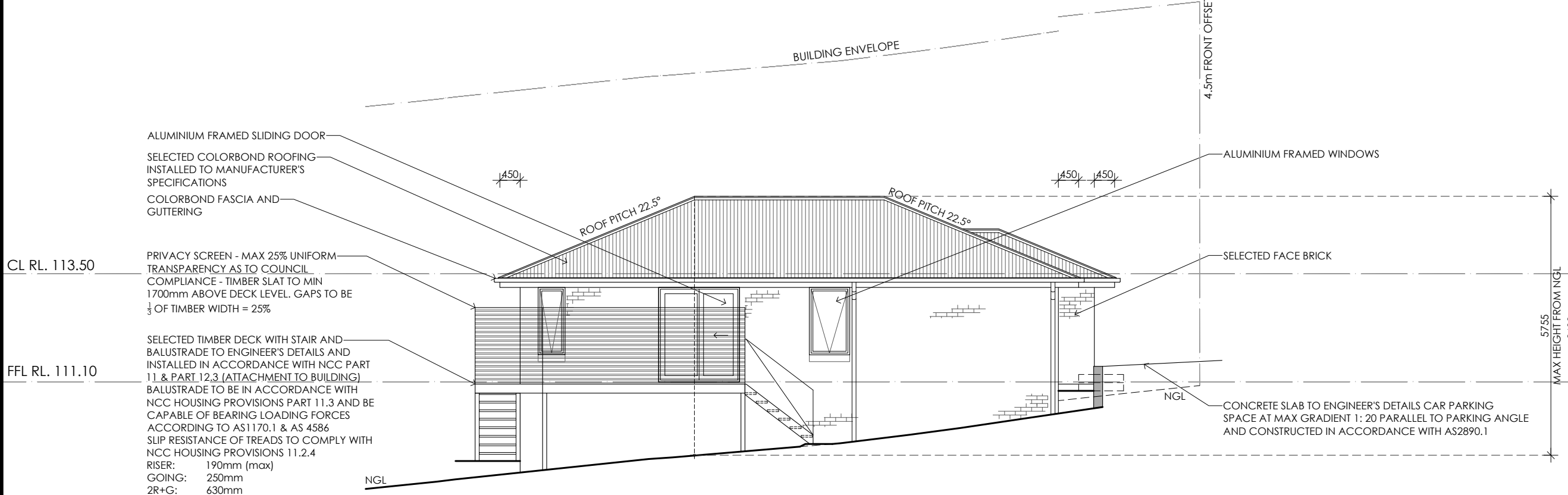
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NORTH EASTERN ELEVATION



NORTH WESTERN ELEVATION

UNIT 1

PRIVACY SCREENS - MAX 25% UNIFORM TRANSPARENCY AS TO COUNCIL COMPLIANCE - TIMBER SLAT TO MIN 1700mm ABOVE FLOOR LEVEL AND TO FULL WIDTH OF WINDOW. GAPS TO BE 1/3 OF TIMBER WIDTH = 25%

PRELIMINARY

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 6 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:100	REV: G	

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06	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: D	DESCRIPTION: COUNCIL RFI	BY: NN	DATE: 20/1/26
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			F	COUNCIL RFI	IB	10/2/26
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AREAS UNIT 2:	
FLOOR AREA:	102.2 m ²
PORCH:	1.2 m ²
TOTAL AREA:	103.4 m²
DECK:	12.1 m ²

LEGEND:

DP	DOWNPIPE LOCATION
SHR	SHOWER
BTH	BATH
VB	VANITY BASIN
WC	TOILET
OHC	OVERHEAD CUPBOARDS
REF	REFRIGERATOR
P	PANTRY
RH	RANGE HOOD
UBO	UNDER BENCH OVEN
CT	COOK TOP
S	SINK
DW	DISH WASHER
T	TROUGH
WM	WASHING MACHINE
MH	MANHOLE
CSD	CAVITY SLIDING DOOR
AAW	ALUM. AWNING WINDOW
AFW	ALUM. FIXED WINDOW
ASD	ALUM. SLIDING DOOR
B/O	BEAM OVER
BAL	BALUSTRADE

BAL SELECTED BALUSTRADE TO BUILDER'S STANDARD DETAIL INSTALLED IN ACCORDANCE WITH NCC

MASONRY ARTICULATION JOINT - LOCATION TO ENGINEER'S DETAILS

CEILING MOUNTED INTERCONNECTED SMOKE DETECTORS, MAINS WIRED WITH BATTERY BACKUP, ALL IN ACCORDANCE WITH AS 3786.

DP 90mm DOWNPIPE

NOTE: LIFT OFF HINGES TO WC TO BE INSTALLED AS REQUIRED IN ACCORDANCE WITH NCC.

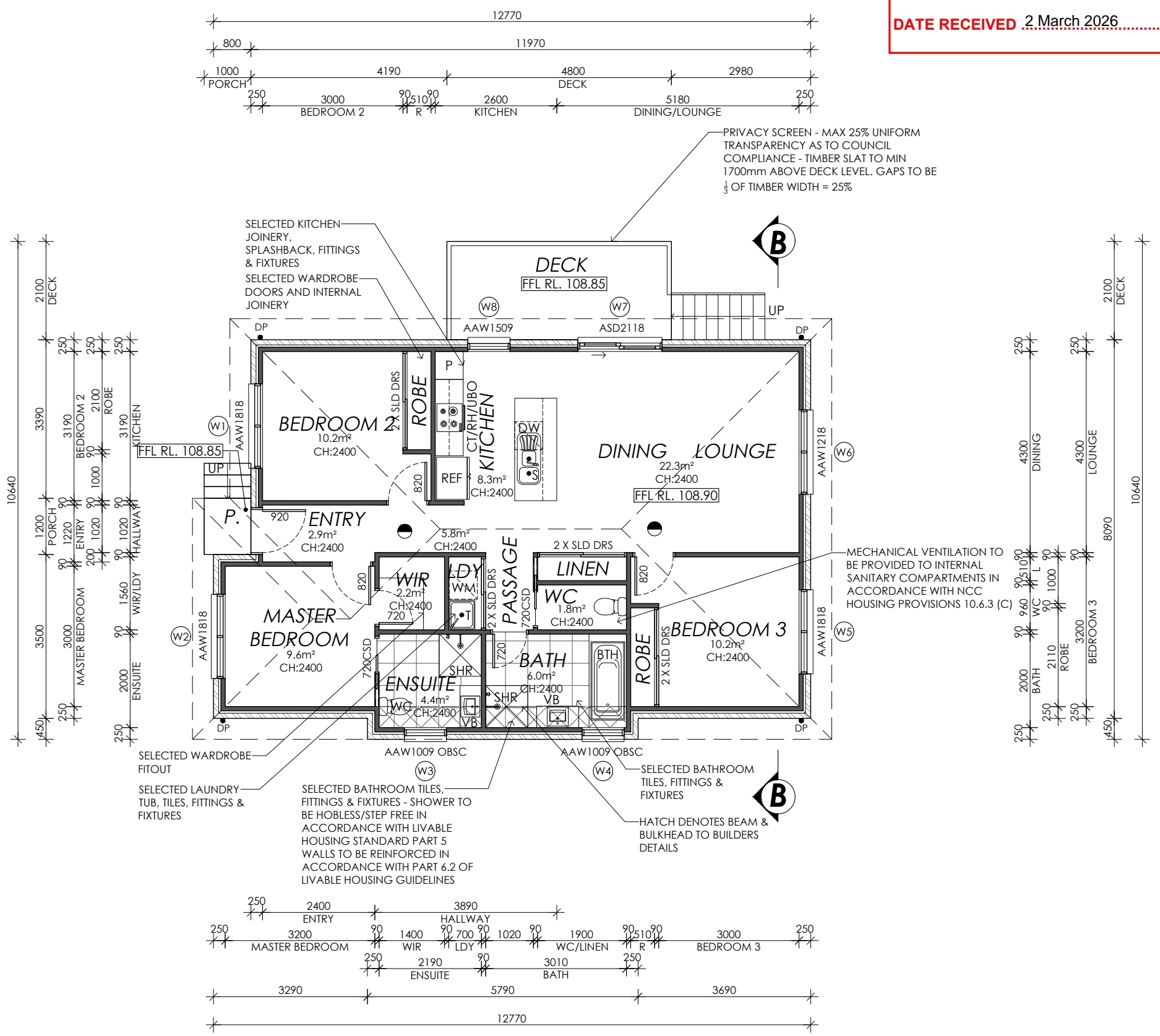
SUB FLOOR VENTILATION

Zone C	6000
Subfloor wall length	#####
Area of ventilation	#####
Vent size 230x76	17480
Number of vents	##

PROPOSED FLOOR PLAN UNIT 2

FLOOR AREA: 103.4m²

PRELIMINARY



Framing NCC H1D6
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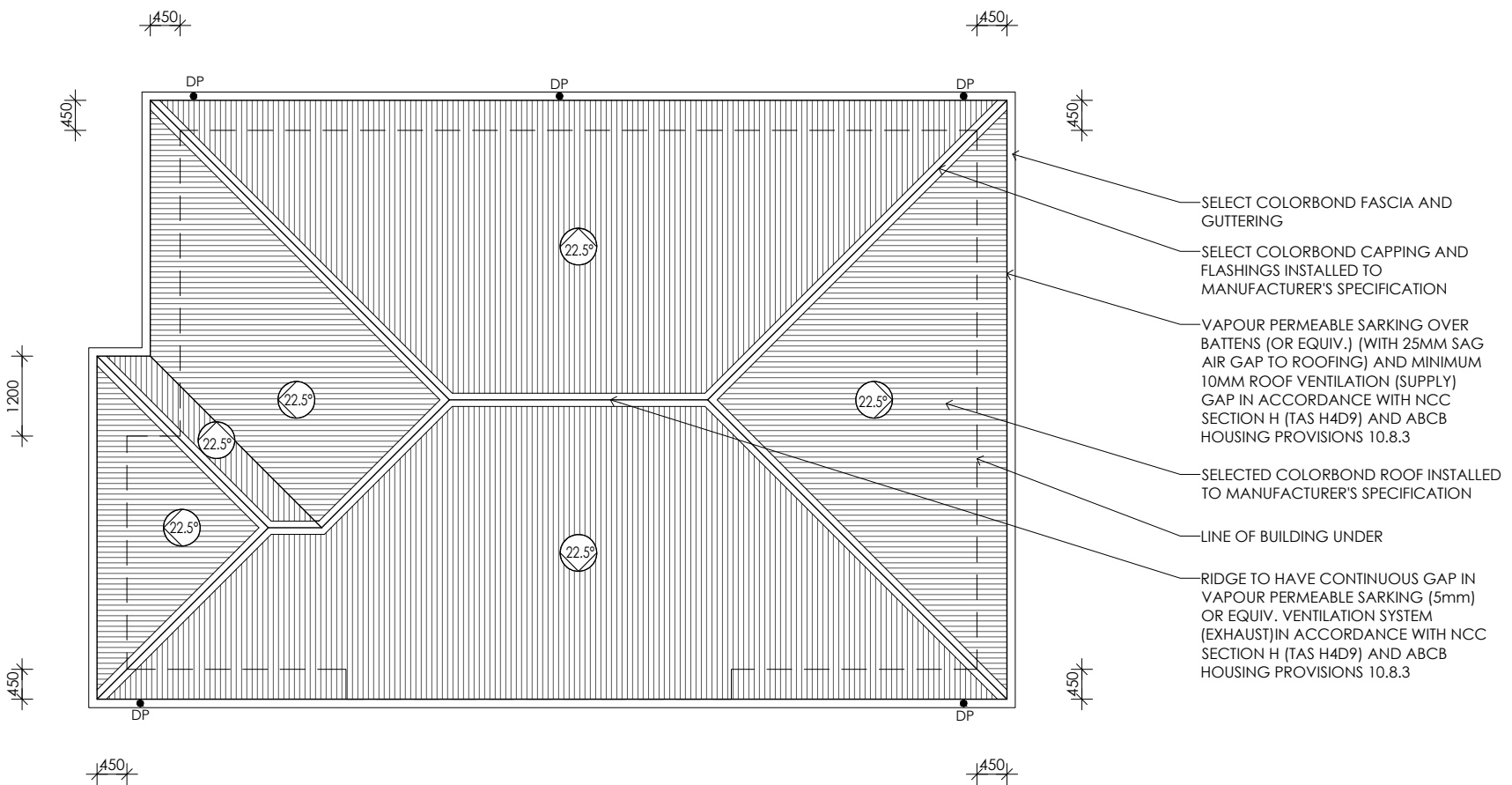
CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 7 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:100	REV: G	

PROPOSED ROOF PLAN UNIT 2

PRELIMINARY



- SELECT COLORBOND FASCIA AND GUTTERING
- SELECT COLORBOND CAPPING AND FLASHINGS INSTALLED TO MANUFACTURER'S SPECIFICATION
- VAPOUR PERMEABLE SARKING OVER BATTENS (OR EQUIV.) (WITH 25MM SAG AIR GAP TO ROOFING) AND MINIMUM 10MM ROOF VENTILATION (SUPPLY) GAP IN ACCORDANCE WITH NCC SECTION H (TAS H4D9) AND ABCB HOUSING PROVISIONS 10.8.3
- SELECTED COLORBOND ROOF INSTALLED TO MANUFACTURER'S SPECIFICATION
- LINE OF BUILDING UNDER
- RIDGE TO HAVE CONTINUOUS GAP IN VAPOUR PERMEABLE SARKING (5mm) OR EQUIV. VENTILATION SYSTEM (EXHAUST) IN ACCORDANCE WITH NCC SECTION H (TAS H4D9) AND ABCB HOUSING PROVISIONS 10.8.3

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● DP 90mm DOWNPIPE

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08



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**CREATIVE HOMES
HOBART**

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JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 8 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
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SCALE: 1:100	REV: G	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-25-227**

DATE RECEIVED **2 March 2026**

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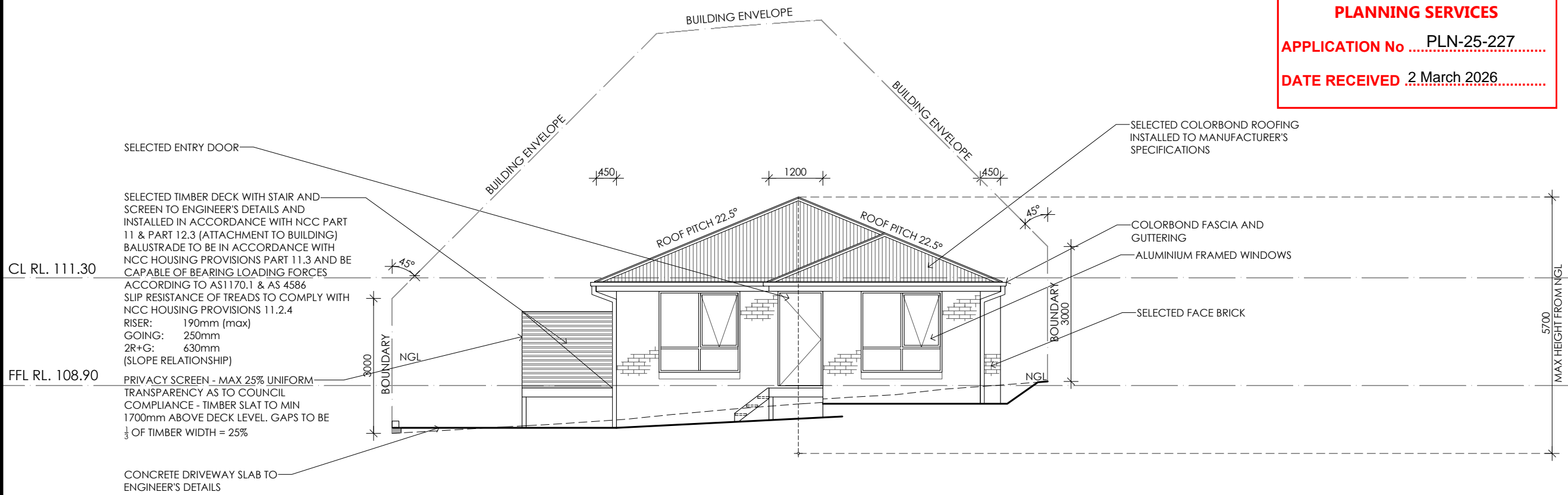
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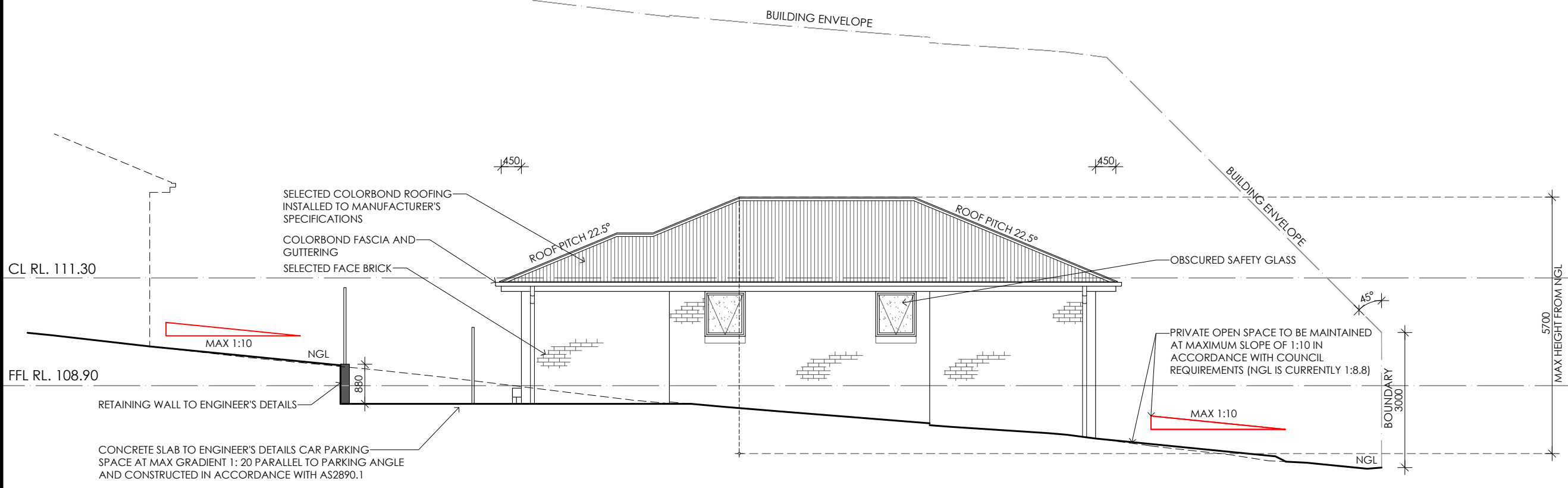
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SOUTH WESTERN ELEVATION



SOUTH EASTERN ELEVATION

PRIVACY SCREENS - MAX 25% UNIFORM TRANSPARENCY AS TO COUNCIL COMPLIANCE - TIMBER SLAT TO MIN 1700mm ABOVE FLOOR LEVEL AND TO FULL WIDTH OF WINDOW. GAPS TO BE 1/3 OF TIMBER WIDTH = 25%

UNIT 2

PRELIMINARY

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09	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: D	DESCRIPTION: COUNCIL RFI	BY: NN	DATE: 20/1/26
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DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 9 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
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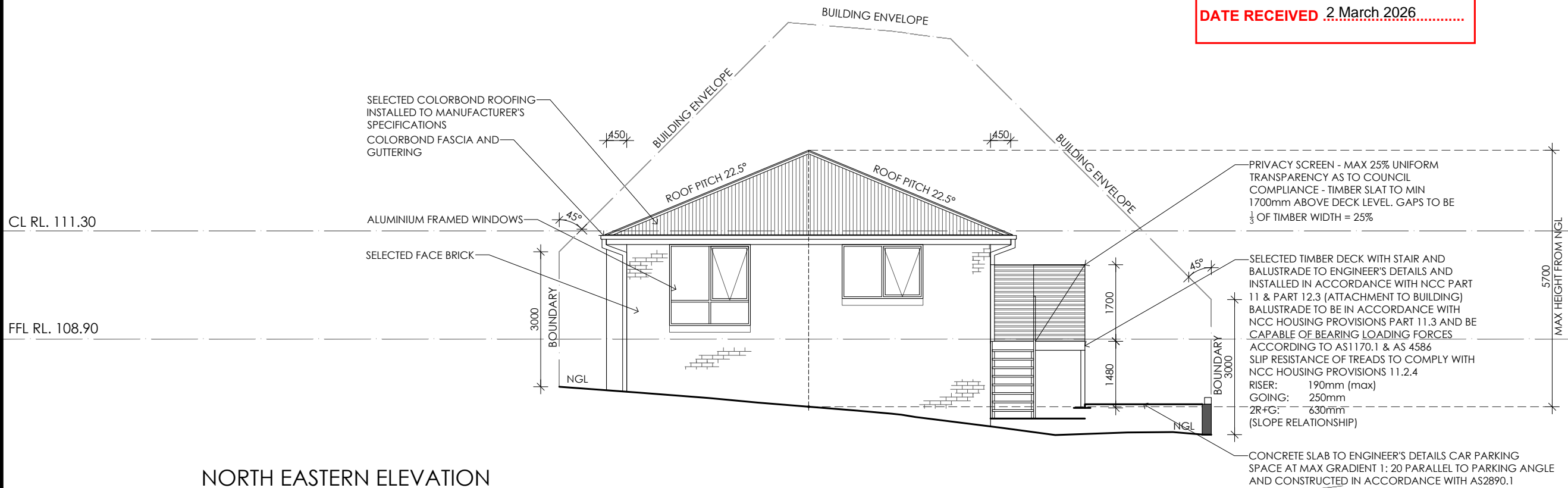
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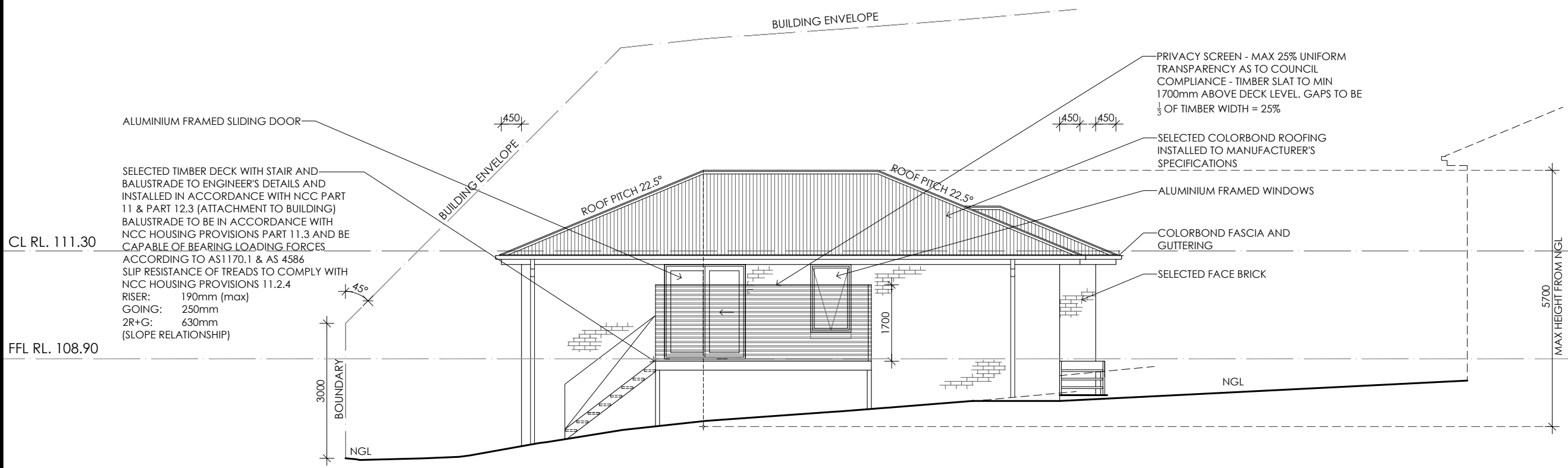
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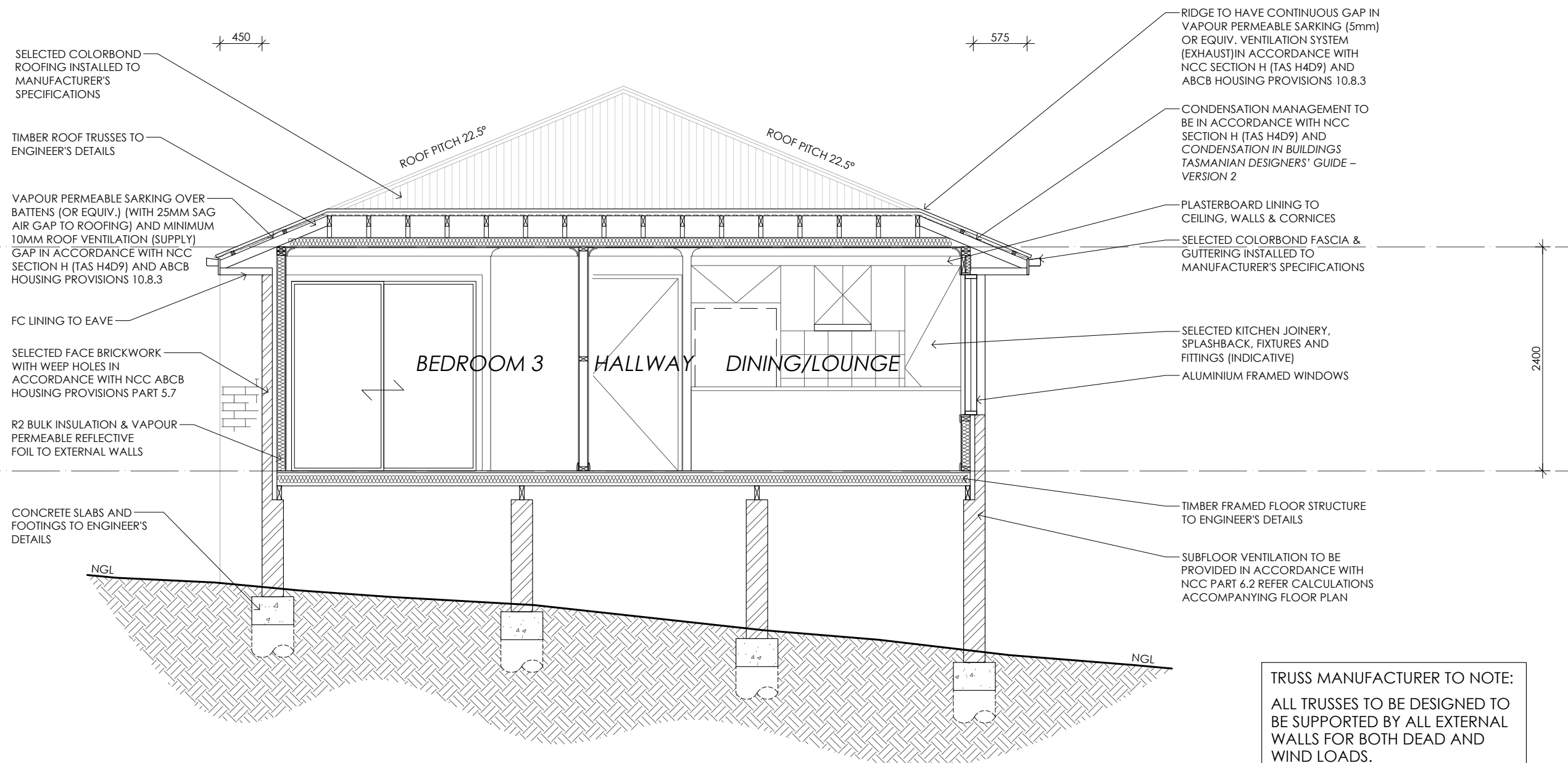
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Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures.

For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12. For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No PLN-25-227
 DATE RECEIVED 2 March 2026



TRUSS MANUFACTURER TO NOTE:
 ALL TRUSSES TO BE DESIGNED TO BE SUPPORTED BY ALL EXTERNAL WALLS FOR BOTH DEAD AND WIND LOADS.

SECTION A-A

PRELIMINARY

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11	PROJECT NORTH	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	REV: D	DESCRIPTION: COUNCIL RFI	BY: NN	DATE: 20/1/26
		DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.	E	COUNCIL RFI	NN	22/1/26
			F	COUNCIL RFI	IB	10/2/26
			G	COUNCIL RFI	IB	2/3/26

**CREATIVE HOMES
 HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 11 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:50	REV: G	

Framing NCC H1D6
 All timber framing, fixing and bracing shall comply with AS 1684 and the requirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

Glazing NCC H1D8
 All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8.

Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

Note:
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Energy efficiency:
 Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7.
 Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and

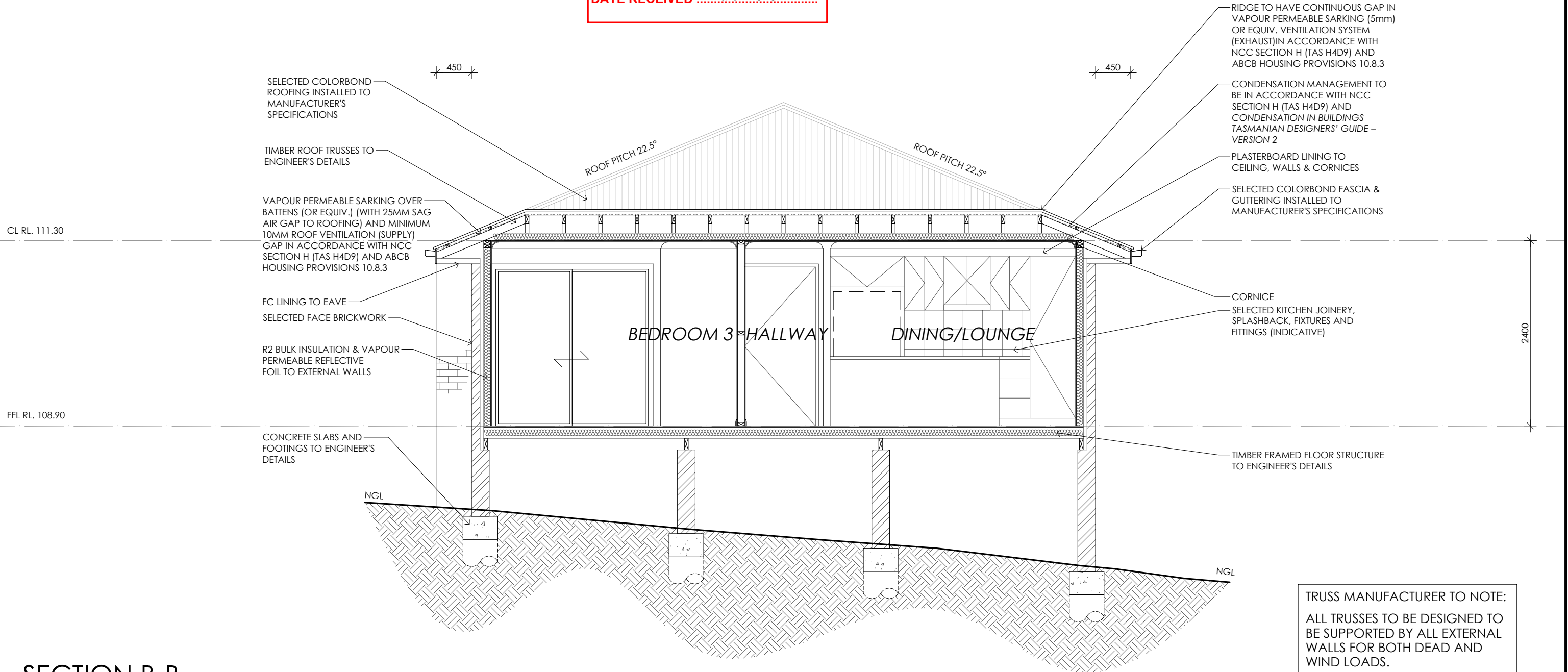
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General:
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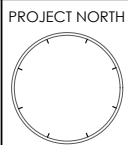
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**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
APPLICATION No PLN-25-227
DATE RECEIVED 2 March 2026



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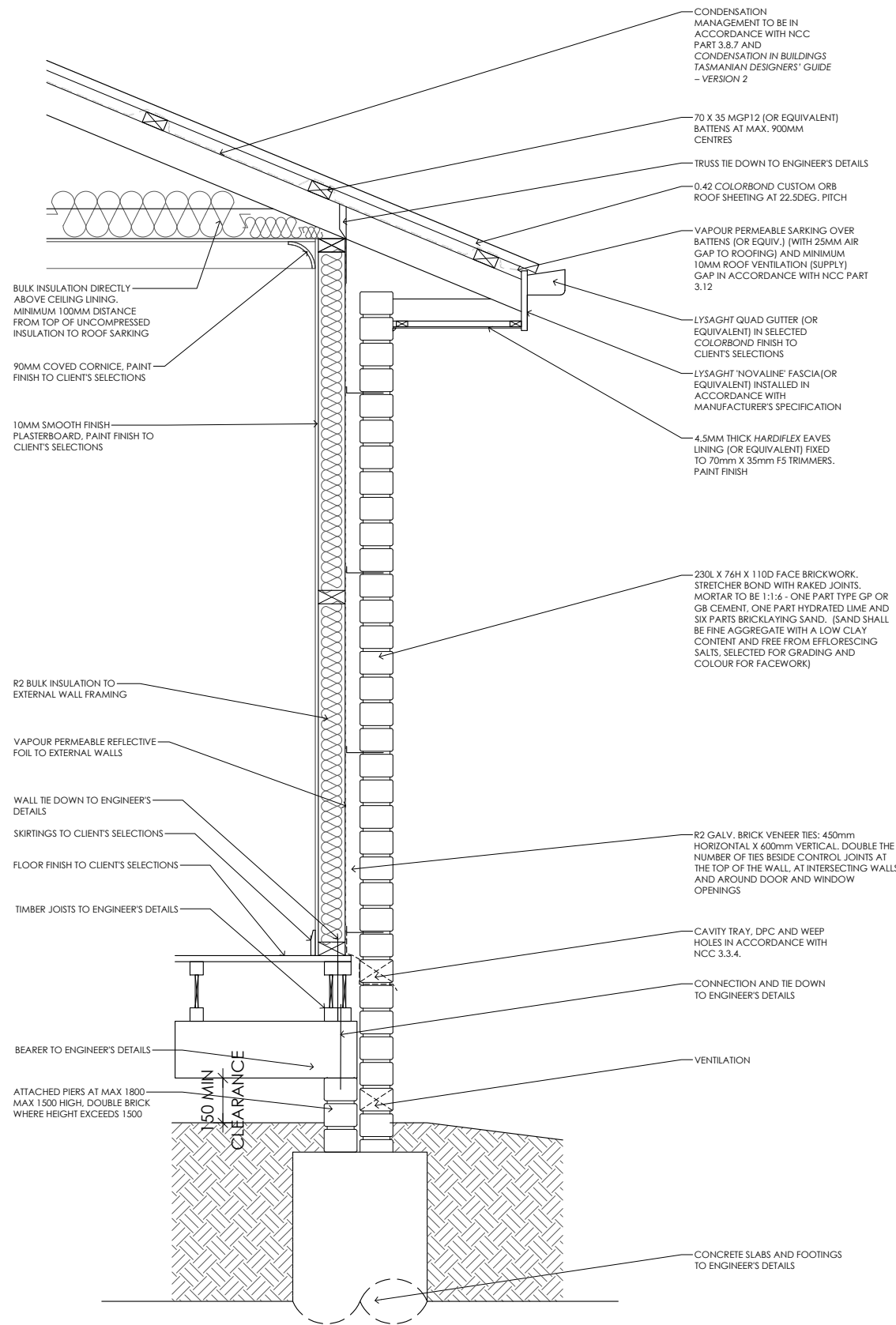
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
 DO NOT SCALE DRAWINGS.
 ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
D	COUNCIL RFI	NN	20/1/26
E	COUNCIL RFI	NN	22/1/26
F	COUNCIL RFI	IB	10/2/26
G	COUNCIL RFI	IB	2/3/26

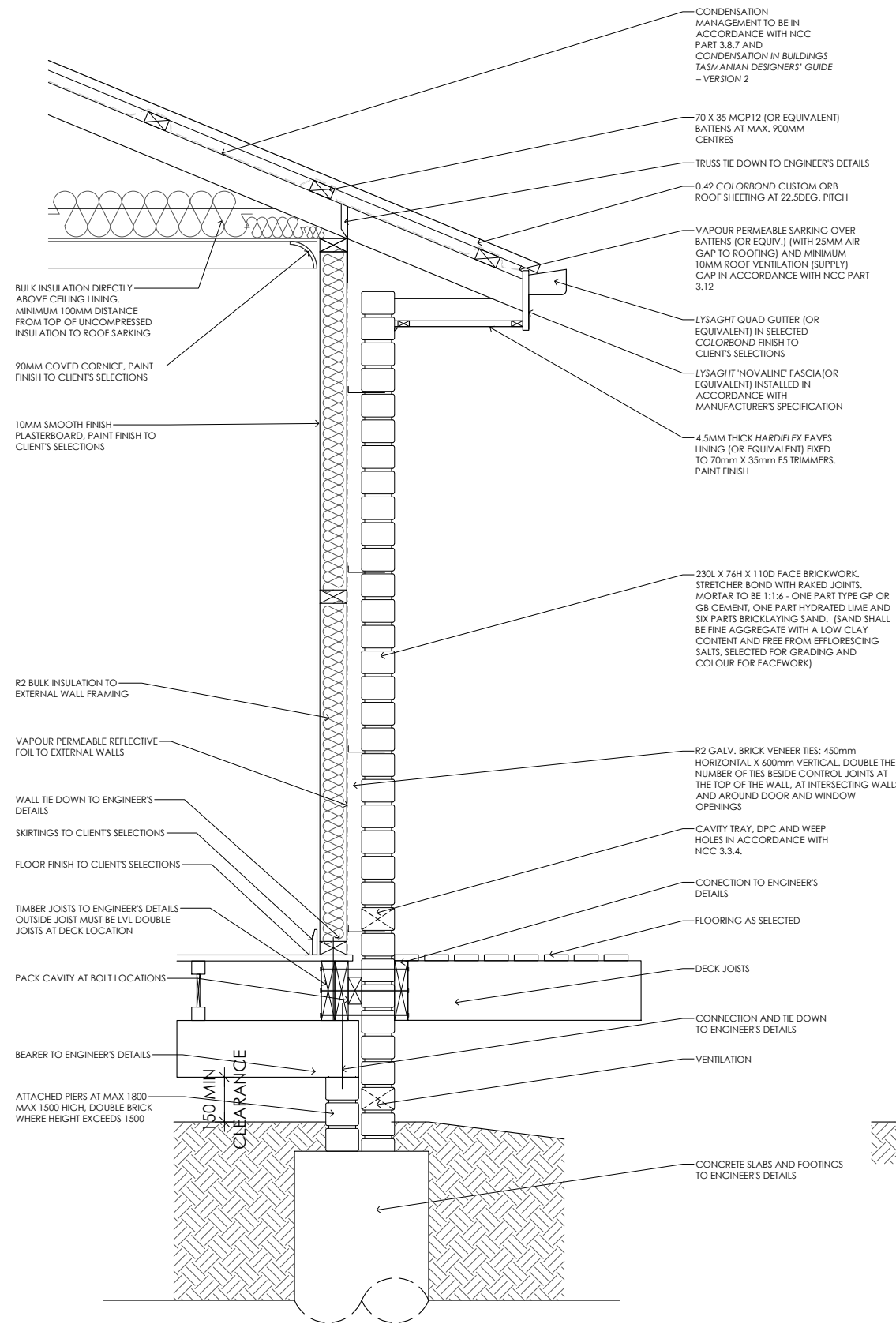
**CREATIVE HOMES
 HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

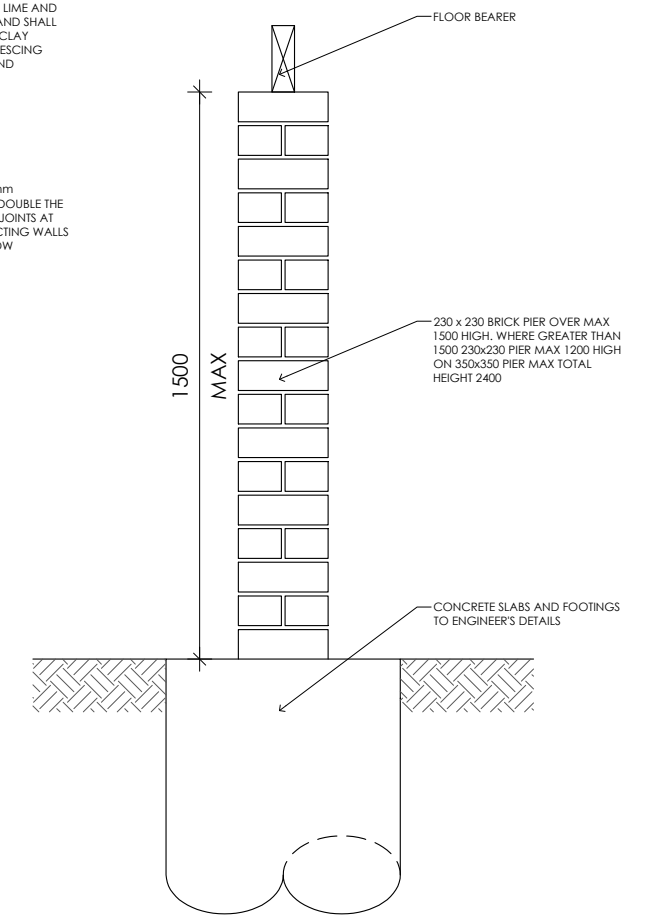
JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 12 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:50	REV: G	



FLOOR, WALL & ROOF DETAIL SCALE 1:20



DECK, TIMBER FLOOR CONNECTION DETAIL SCALE 1:20



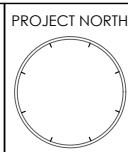
ISOLATED BRICK PIER DETAIL SCALE 1:20

TYPICAL SECTION DETAILS

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G	COUNCIL RFI	IB	2/3/26

**CREATIVE HOMES
HOBART**

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JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 13 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: AS SHOWN	REV: G	

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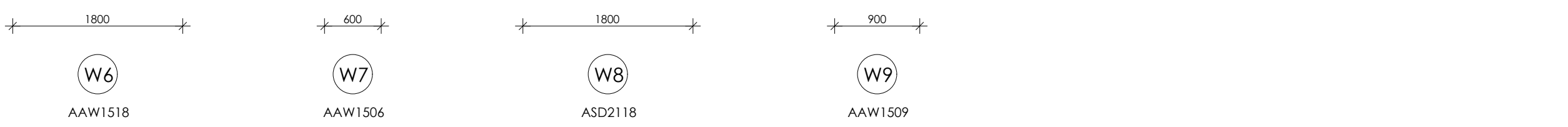
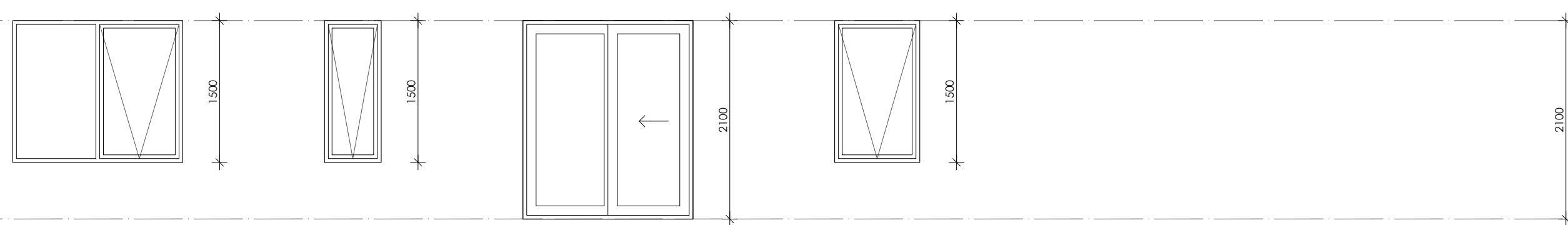
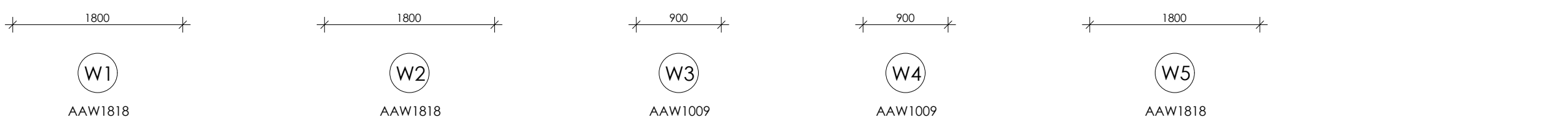
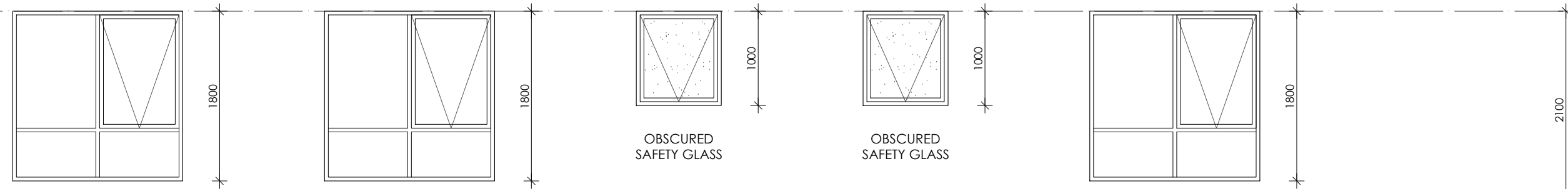
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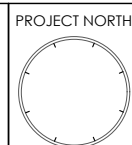
WINDOW SCHEDULE UNIT 1

fg FIXED GLAZING

PRELIMINARY

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E	COUNCIL RFI	NN	22/1/26
F	COUNCIL RFI	IB	10/2/26
G	COUNCIL RFI	IB	2/3/26

**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 14 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:50	REV: G	

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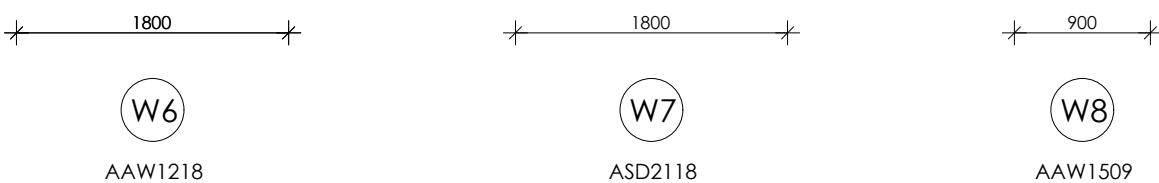
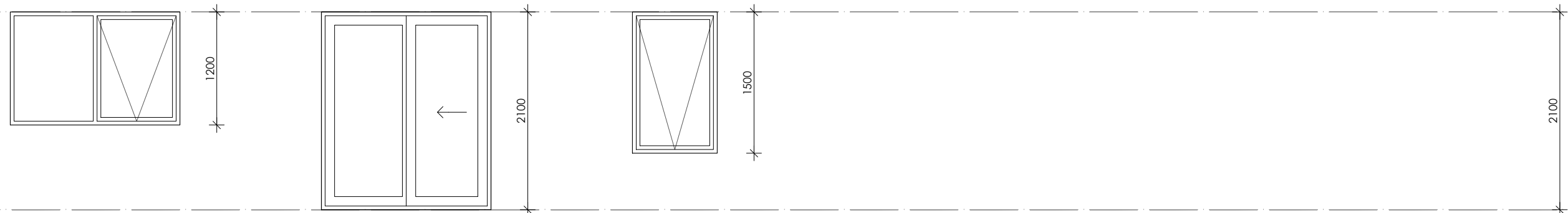
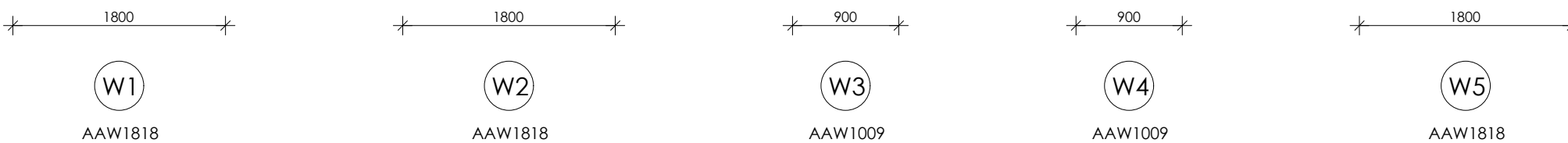
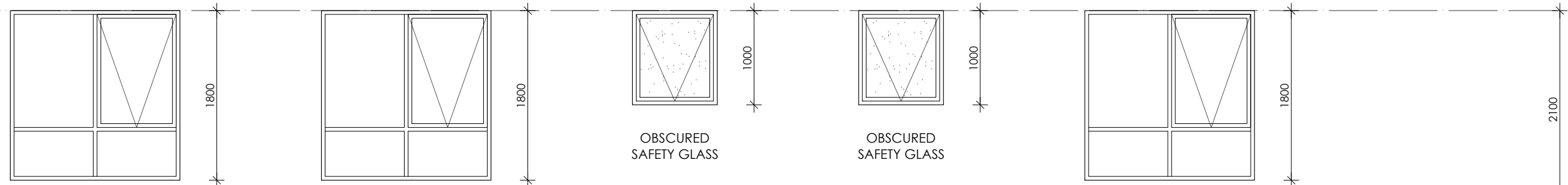
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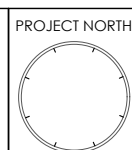
WINDOW SCHEDULE UNIT 2

fg FIXED GLAZING

PRELIMINARY

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
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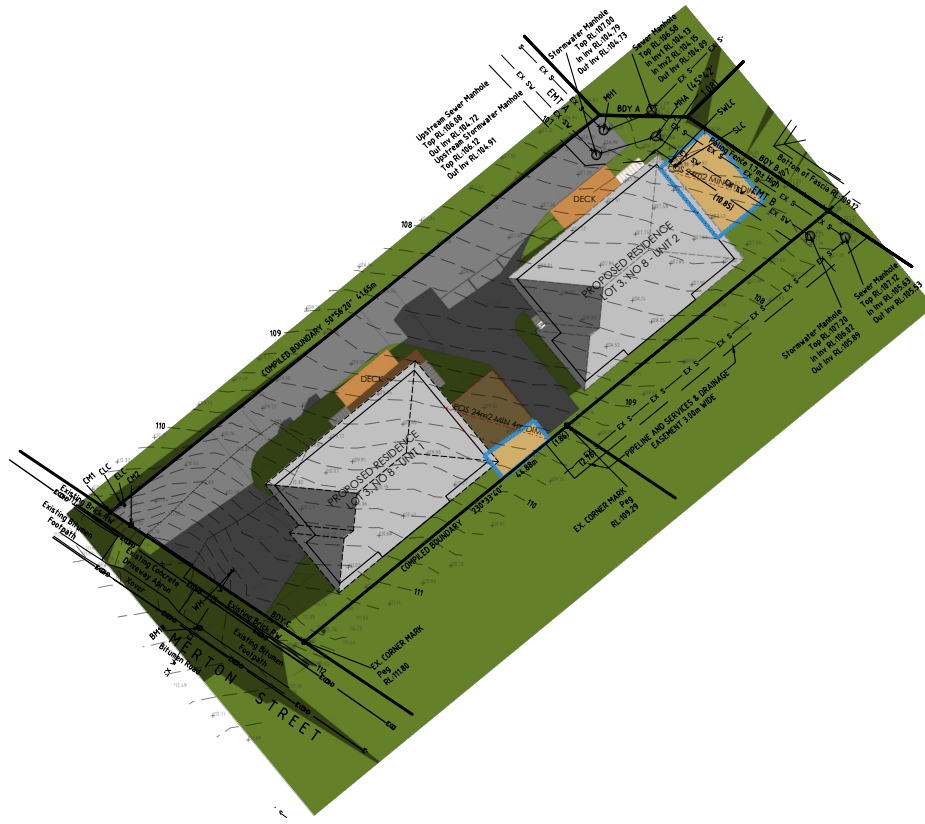
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E	COUNCIL RFI	NN	22/1/26
F	COUNCIL RFI	IB	10/2/26
G	COUNCIL RFI	IB	2/3/26

**CREATIVE HOMES
HOBART**

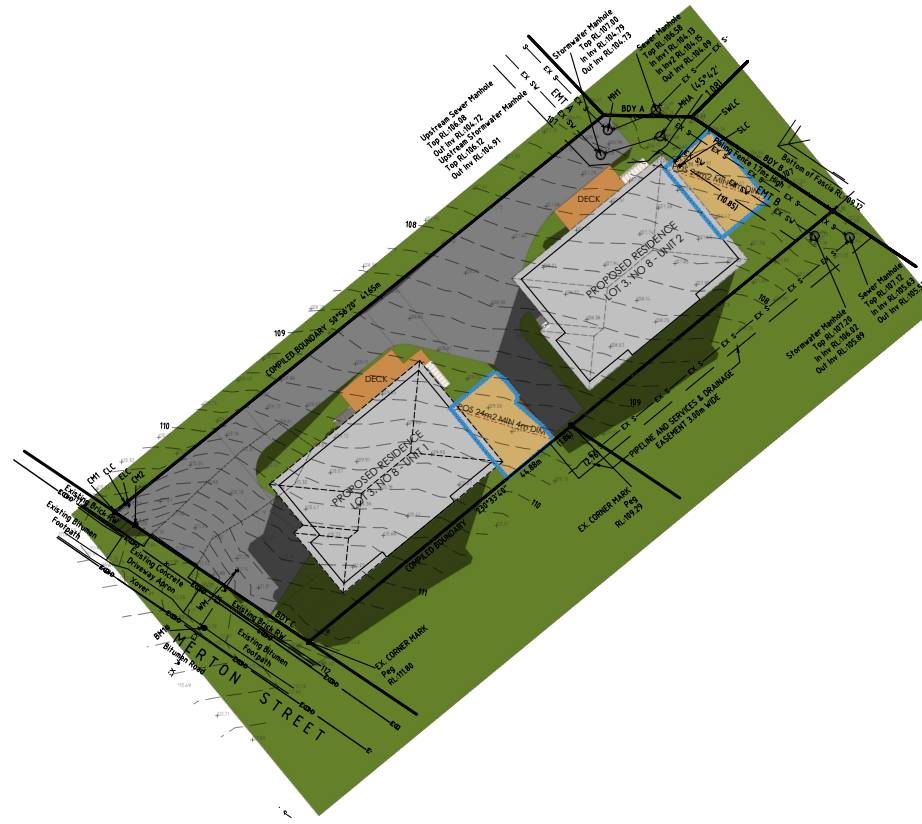
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy	
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: N. Nguyen	DATE: July 2025
CHECKED:	DATE:
SCALE: 1:50	REV: G

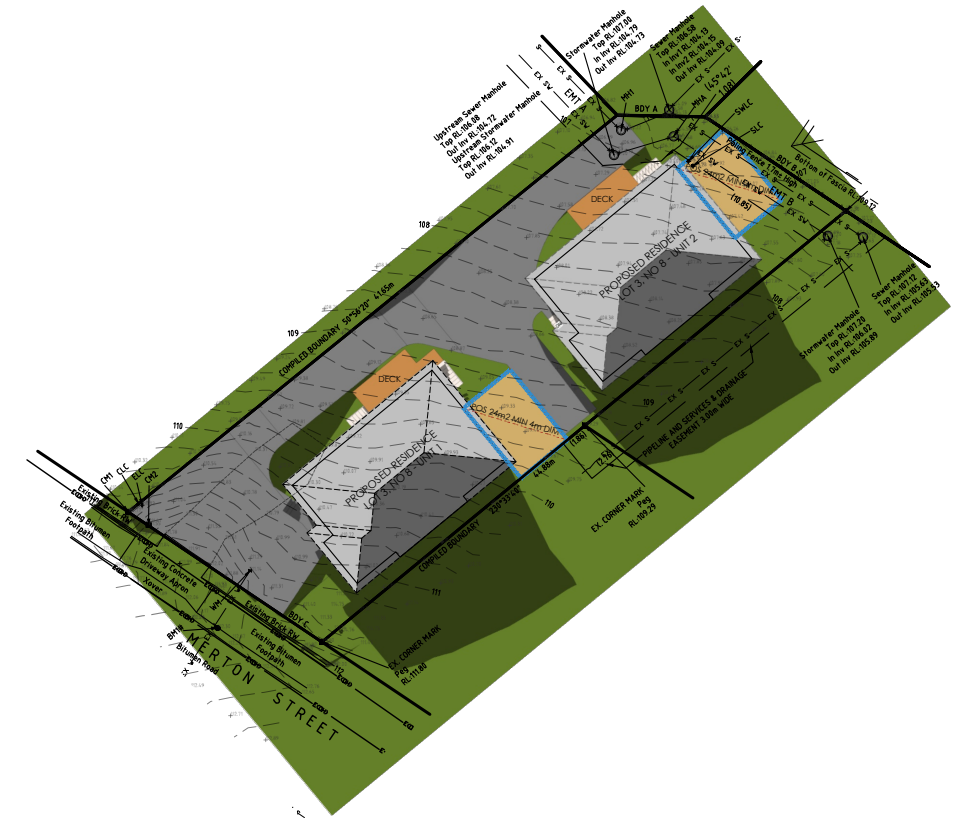
CLIENT: Nissan & Vabina Thapa	
SHEET: 15 of 19	DESIGN TYPE: Custom
DRAWING NO: 0227	



PROPOSED SHADOW 9AM JUNE 21
UNIT 1: PRIVATE OPEN SPACE RECEIVES 7.2m² SUN AT 9AM = 30% OF THE AREA
UNIT 2: PRIVATE OPEN SPACE RECEIVES 24m² SUN AT 9AM = 100% OF THE AREA



PROPOSED SHADOW 12PM JUNE 21
UNIT 1: PRIVATE OPEN SPACE RECEIVES 23.3m² SUN AT 12PM = 97.1% OF THE AREA
UNIT 2: PRIVATE OPEN SPACE RECEIVES 24m² SUN AT 12PM = 100% OF THE AREA



PROPOSED SHADOW 3PM JUNE 21
UNIT 1: PRIVATE OPEN SPACE RECEIVES 24m² SUN AT 3PM = 100% OF THE AREA
UNIT 2: PRIVATE OPEN SPACE RECEIVES 24m² SUN AT 3PM = 100% OF THE AREA

NOTE: AS SHOWN ON THE DIAGRAMS, THE PRIMARY PRIVATE OPEN SPACE RECEIVES SOLAR ACCESS FOR AT LEAST 3 HOURS TO 50% OF THE AREA.

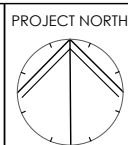
NOTE: SHADOW DIAGRAM IMAGING DERIVED FROM REVIT USING LOCATION GEO REFERENCING. SHADOWS ARE ONLY ACCURATE FOR THE EXTENT OF SURVEYED PROPERTY - SHADOWS BEYOND THIS ARE PROVIDED USING AN ESTIMATE OF THE TERRAIN AS A CONTINUATION OF THE SUBJECT PROPERTY. PROPOSED EXCAVATION HAS NOT BEEN MODELLED, AND LATEST REVISIONS MAY NOT BE SHOWN.

PROPOSED SHADOW DIAGRAMS

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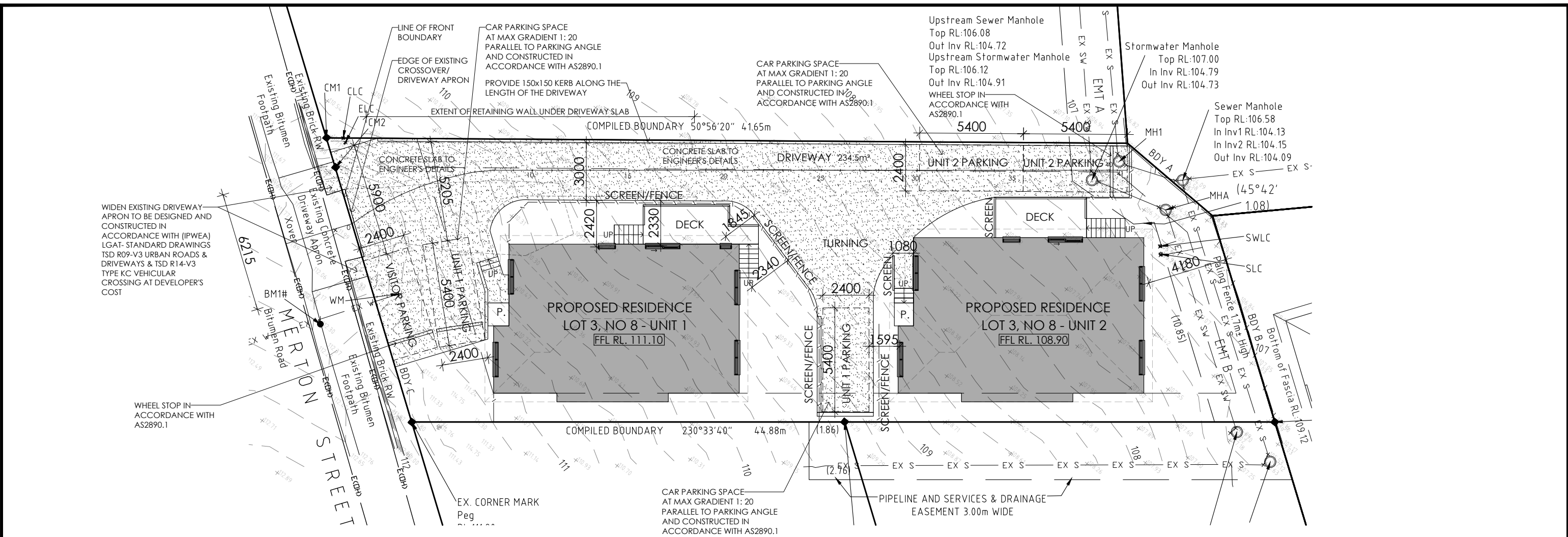
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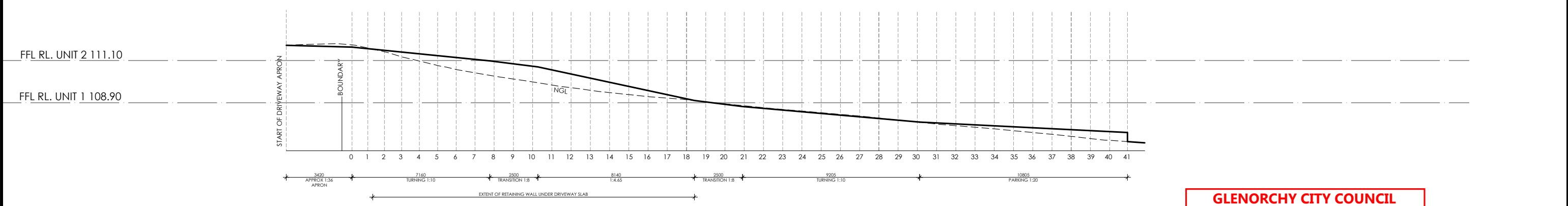
**CREATIVE HOMES
HOBART**

CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 17 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:100	REV: G	



PROPOSED DRIVEWAY PLAN



**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
 APPLICATION No PLN-25-227
 DATE RECEIVED 2 March 2026

PROPOSED DRIVEWAY LONG SECTION

PRELIMINARY

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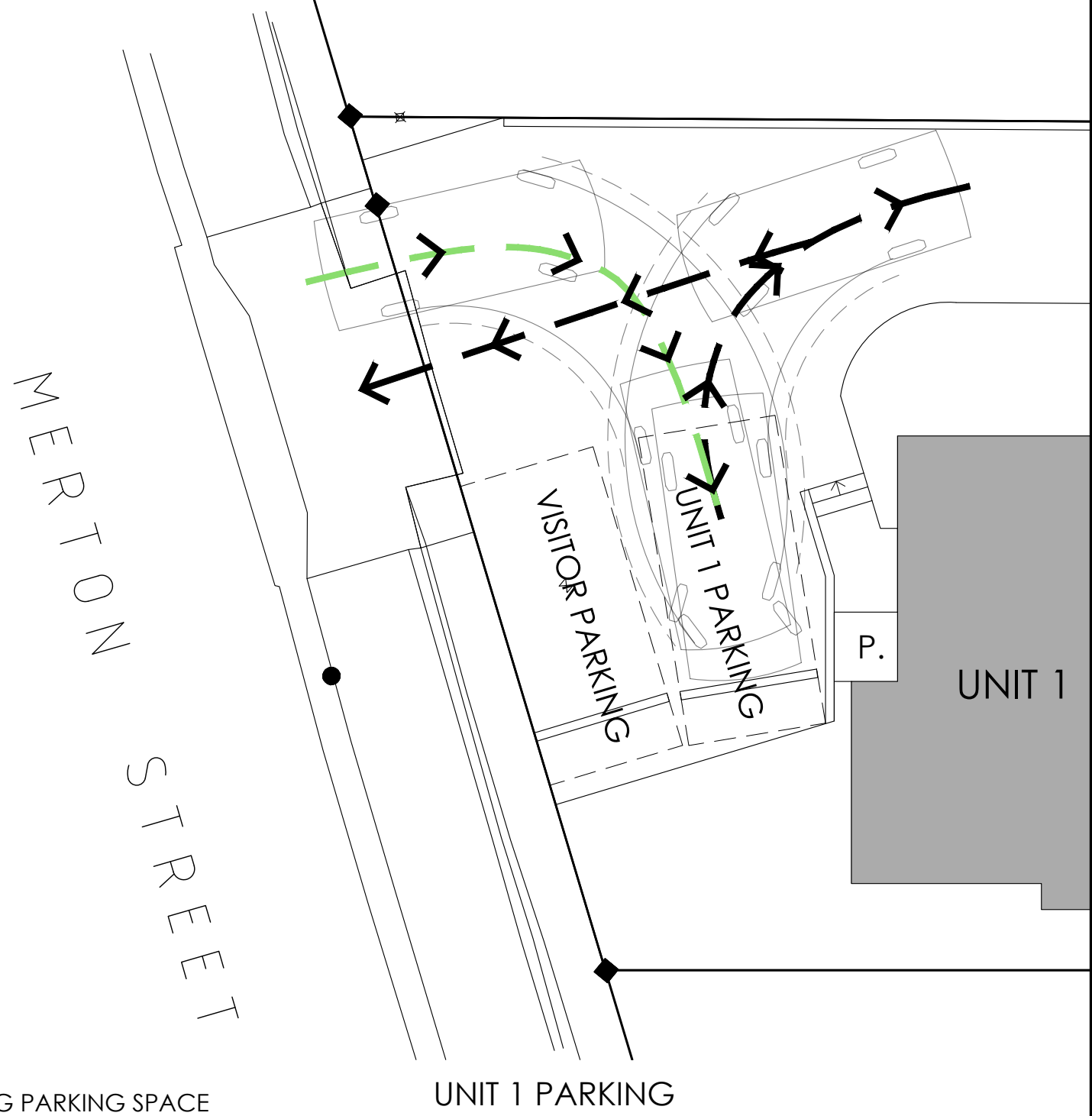
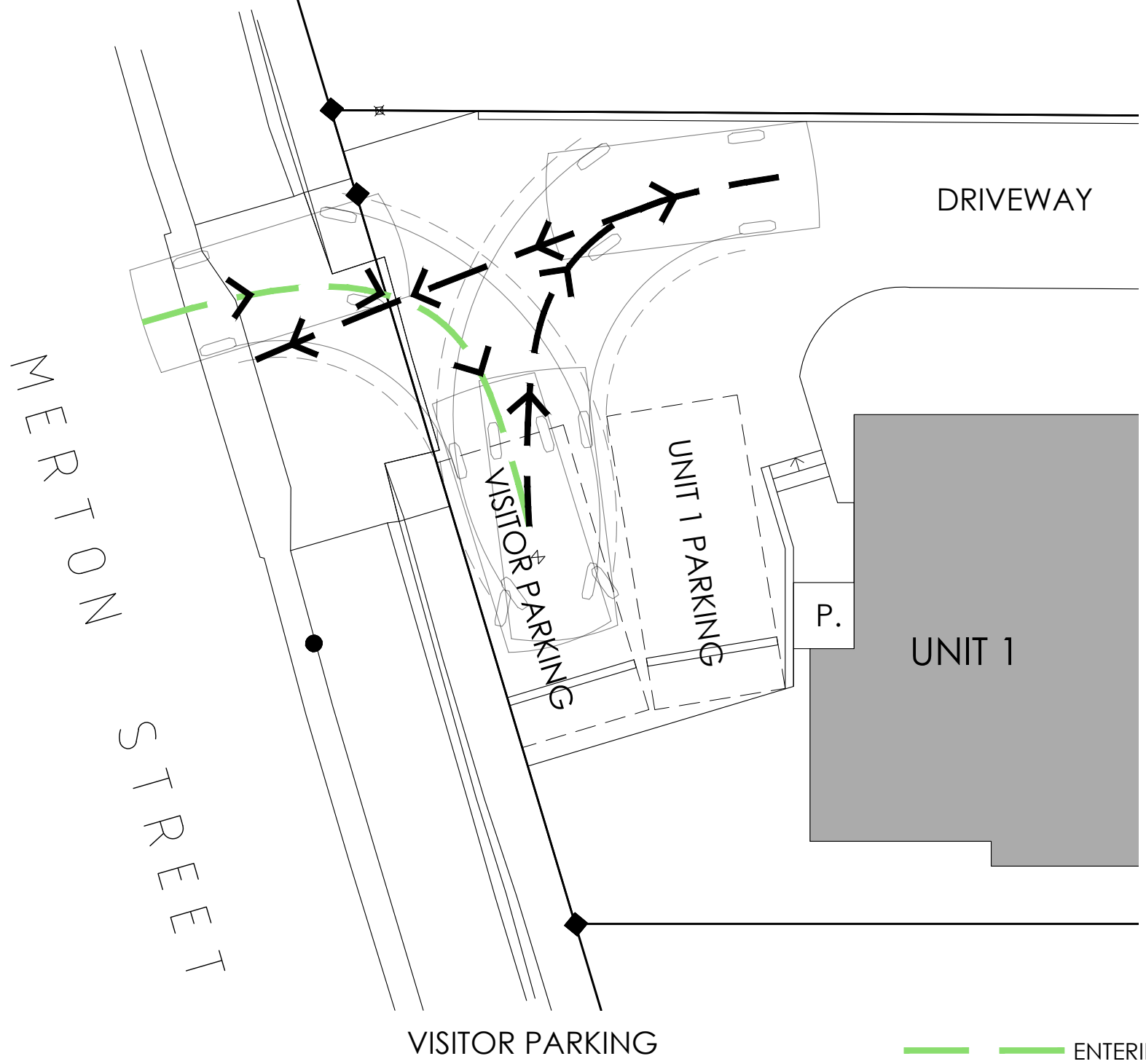
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JOB ADDRESS: 8 Merton Street Glenorchy		CLIENT: Nissan & Vabina Thapa
DESIGNER: I. Brown	ACCRED. NO.: CC6652	SHEET: 16 of 19
DRAWN: N. Nguyen	DATE: July 2025	DESIGN TYPE: Custom
CHECKED:	DATE:	DRAWING NO: 0227
SCALE: 1:200	REV: G	

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-227
DATE RECEIVED 2 March 2026



PROPOSED TURNING PATHS

— ENTERING PARKING SPACE
— LEAVING PARKING SPACE

PRELIMINARY

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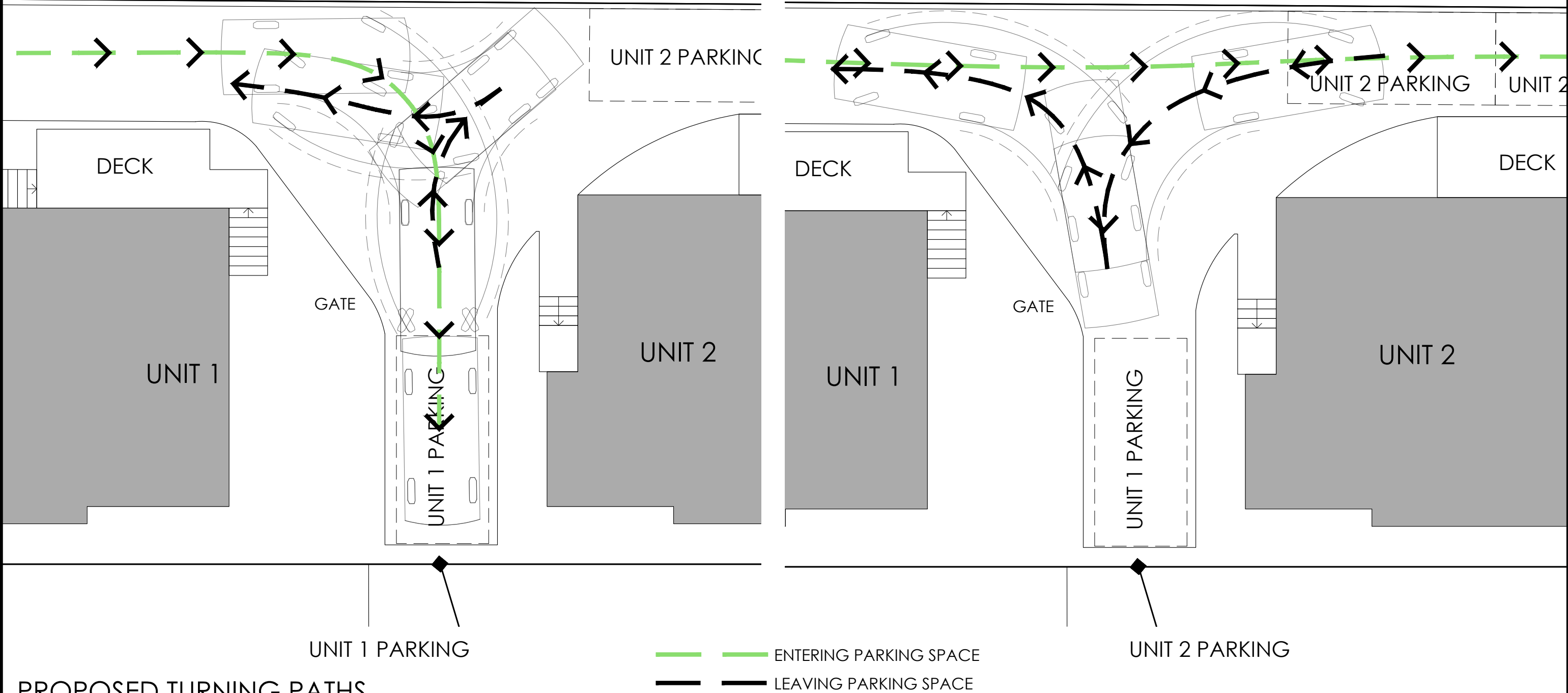
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**CREATIVE HOMES
HOBART**
CREATIVE HOMES HOBART, CNR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 8 Merton Street Glenorchy	
DESIGNER: I. Brown	ACCRED. NO.: CC6652
DRAWN: N. Nguyen	DATE: July 2025
CHECKED:	DATE:
SCALE: 1:100	REV: G

CLIENT: Nissan & Vabina Thapa
SHEET: 18 of 19
DESIGN TYPE: Custom
DRAWING NO: 0227

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-25-227
DATE RECEIVED 2 March 2026



PROPOSED TURNING PATHS

UNIT 1 PARKING

— ENTERING PARKING SPACE
— LEAVING PARKING SPACE

UNIT 2 PARKING

PRELIMINARY

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DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

REV:	DESCRIPTION:	BY:	DATE:
D	COUNCIL RFI	NN	20/1/26
E	COUNCIL RFI	NN	22/1/26
F	COUNCIL RFI	IB	10/2/26
G	COUNCIL RFI	IB	2/3/26

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