

# 23133 - Existing & Proposed Retaining Wall, GOTTSCHALK AT 21 ALWYN ROAD, LENA VALLEY

<i>Architectural Drawing No.</i>	<i>Description</i>
01	Site Plan
01a	Sewer Pipe Detail
02	Wall East Elevation
03	Section A
04	Details

Climate Zone - 7  
C.T. No. 62769/3  
Corrosion Environment -  
MODERATE

#### PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTIVE COATING	
		General structural steel members	Lintels in masonry
MODERATE  More than 1 km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas	INTERNAL	No protection required	
	EXTERNAL	<b>Option 1</b> 2 coats alkyd primer; or <b>Option 2</b> 2 coats alkyd gloss <b>Option 3</b> Hot dip galvanise 300 g/m <sup>2</sup> min. <b>Option 4</b> Hot dip galvanise 100 g/m <sup>2</sup> min. plus - (a) 1 coat solvent based vinyl primer; or (b) 1 coat vinyl gloss or alkyd	

#### NOTES:

1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
4. All zinc coatings (including Inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	5 February 2025	00 & 01	Show stormwater and sewer locations and Inverts based new survey plan. Show accurate as constructed retaining wall information as surveyed.
B	26 March 2025	00 & 01	Amend plans to show new stormwater ID inside Title boundary and provide note on post "A" footing size and depth as requested.
C	13 June 2025	All DA sheets plus new sewer detail and wall elevation sheet	Provide additional notes indicating that the lower retaining wall has already been constructed and confirming heights of both retaining walls. Draft wall elevations as requested by Council RFL

**NOT BUSHFIRE PRONE**  
As shown in the Tasmanian  
Planning Scheme Overlay

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Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING: COVER SHEET  
DATE: 17/06/25  
FILE NAME: 23122 21 ALWYN DA 201223 .dgn  
DRAWN BY: PC

DWG No: **COVER SHEET**

21 DECEMBER 2023

● Preliminary drawings

17 JUNE 2025

● Development application drawings (DA)

○ Preliminary construction drawings  
Engineer not to sign this copy, only  
provide notes, additions & amendments

○ Final construction drawings (BA)

○ Approved by Engineer

○ Approved by Building Surveyor

**IMPORTANT NOTES:**

The builder shall ensure that all downpipes are connected to the stormwater drainage system as soon as possible to prevent any erosion, swelling or saturation of susceptible foundation soils.

Batter slopes to be in accordance with BCA Table 3.1.1.1. Provide retaining walls as required to comply with BCA requirements.

	A	B	C	D	E
TOP OF WALL	116.12	116.70	116.70	116.69	116.67
GROUND LEVEL	115.03	115.50	114.98	115.05	115.65
WALL HEIGHT	1.10	1.20	1.70	1.65	1.00

C.T. No. 62769/3

746m<sup>2</sup>

**re:design**

residential design & drafting

phil.chamberlain@bigpond.com

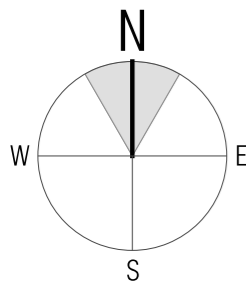
mobile: 0403 911 239

accreditation: CC5652Y

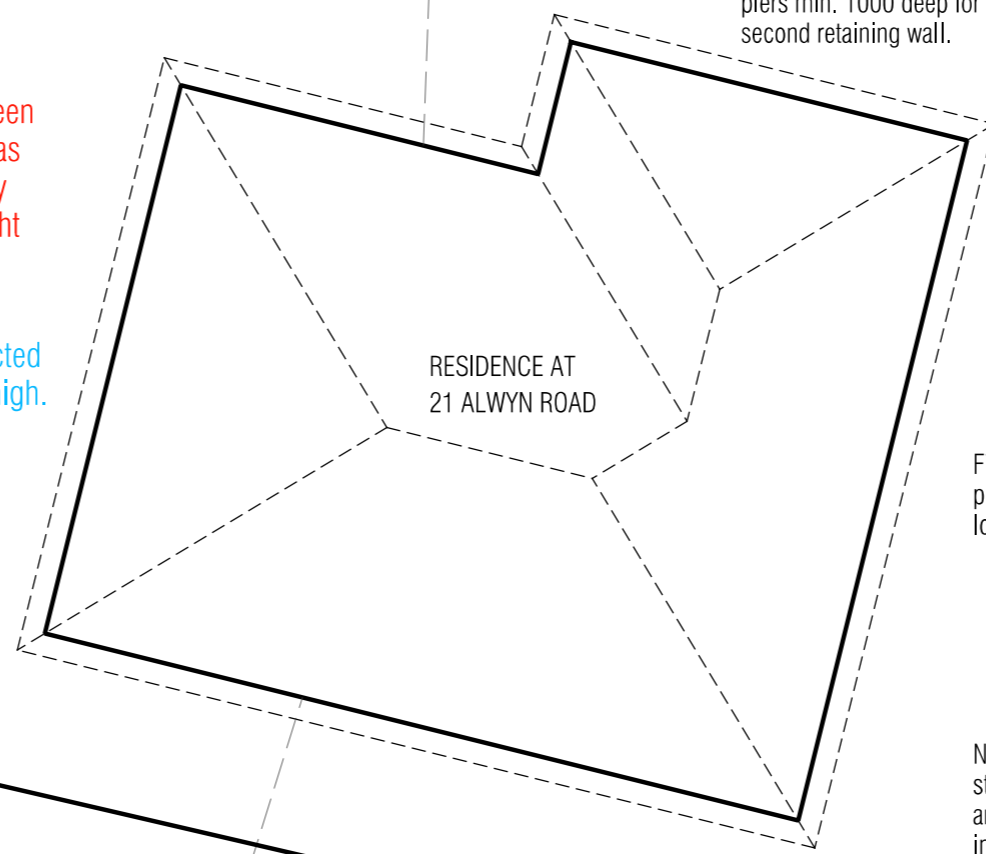
**IMPORTANT NOTES:**  
The lower wall (RED) has been constructed in the location as determined by both property owners. The maximum height is 1800mm

The second retaining wall (BLUE) is yet to be constructed and will be maximum 800 high.

ALWYN ROAD



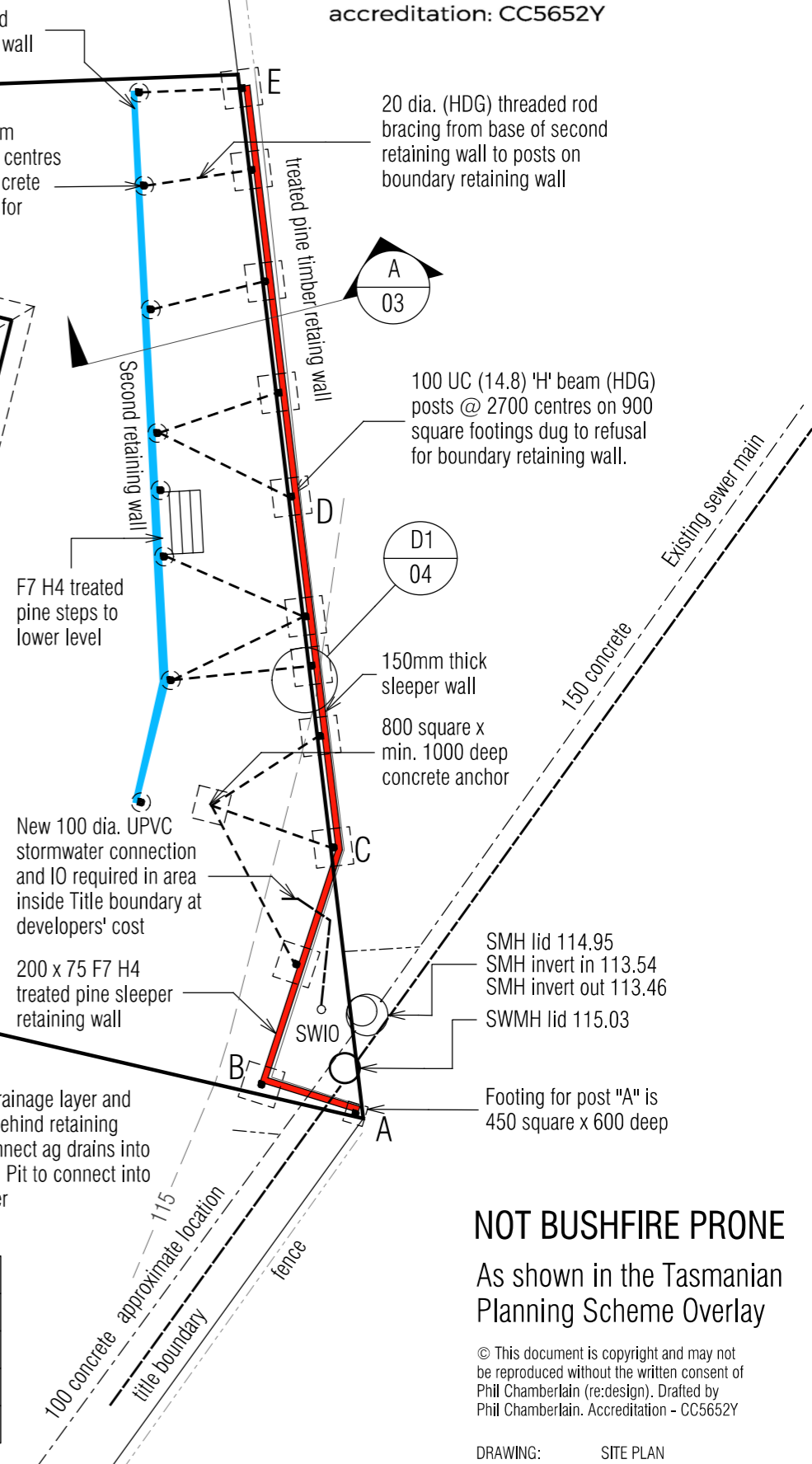
Scale 1:200



REVISION	DATE	DESCRIPTION
A	5 February 2025	Changes as described on Cover Sheet
B	26 March 2025	Changes as described on Cover Sheet
C	13 June 2025	Changes as described on Cover Sheet

**PROPOSED RETAINING WALL FOR GOTTSCHALK AT 21 ALWYN ROAD, LENA VALLEY**

**NOTE:**  
Provide drainage layer and ag drain behind retaining walls. Connect ag drains into grated pit. Pit to connect into stormwater



**NOT BUSHFIRE PRONE**

As shown in the Tasmanian Planning Scheme Overlay

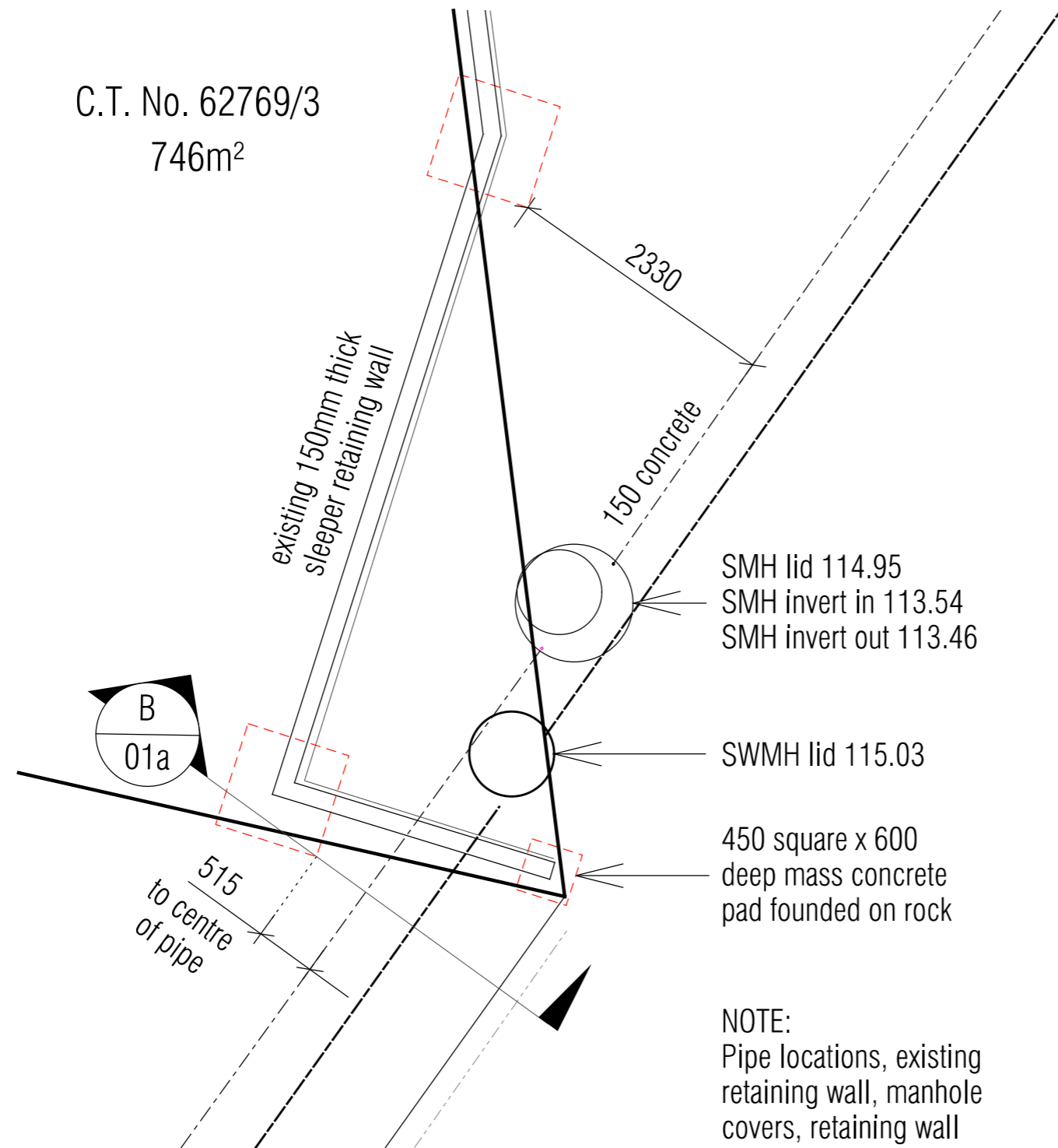
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DRAWING: SITE PLAN  
DATE: 17/06/2025  
FILE NAME: 133 21 ALWYN DA 201223.dgn  
DRAWN BY: PC

DWG No:

01

C.T. No. 62769/3  
 746m<sup>2</sup>

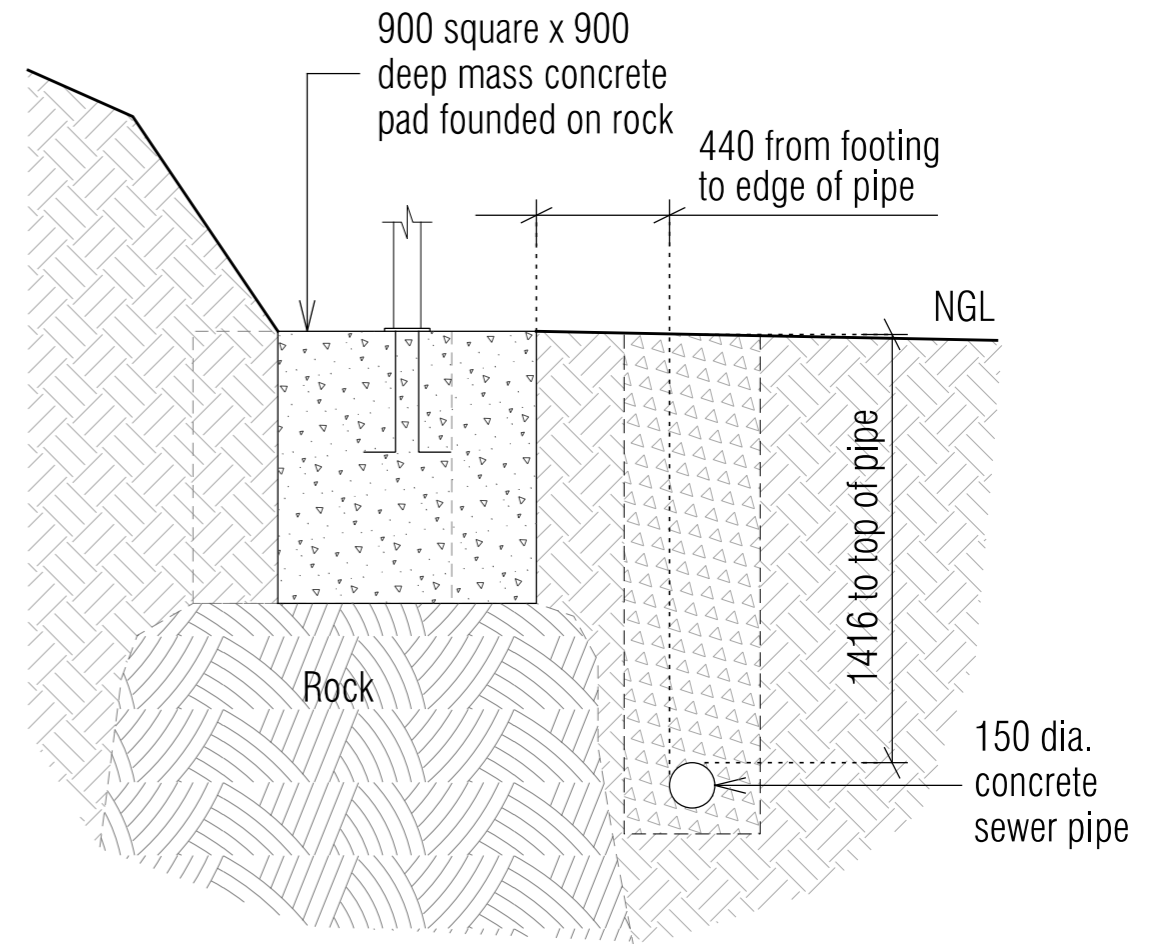


SMH lid 114.95  
 SMH invert in 113.54  
 SMH invert out 113.46

SWMH lid 115.03

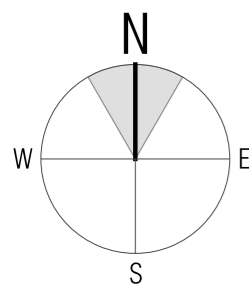
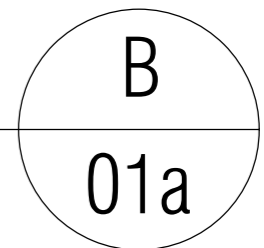
450 square x 600  
 deep mass concrete  
 pad founded on rock

NOTE:  
 Pipe locations, existing  
 retaining wall, manhole  
 covers, retaining wall  
 heights & surface levels  
 are as per detail survey  
 plan by Garry Coombe.



**SECTION**

Scale 1:25



Scale 1:50

PROPOSED RETAINING WALL FOR GOTTSCHALK  
 AT 21 ALWYN ROAD, LENA VALLEY

REVISION	DATE	DESCRIPTION
C	13 June 2025	Changes as described on Cover Sheet

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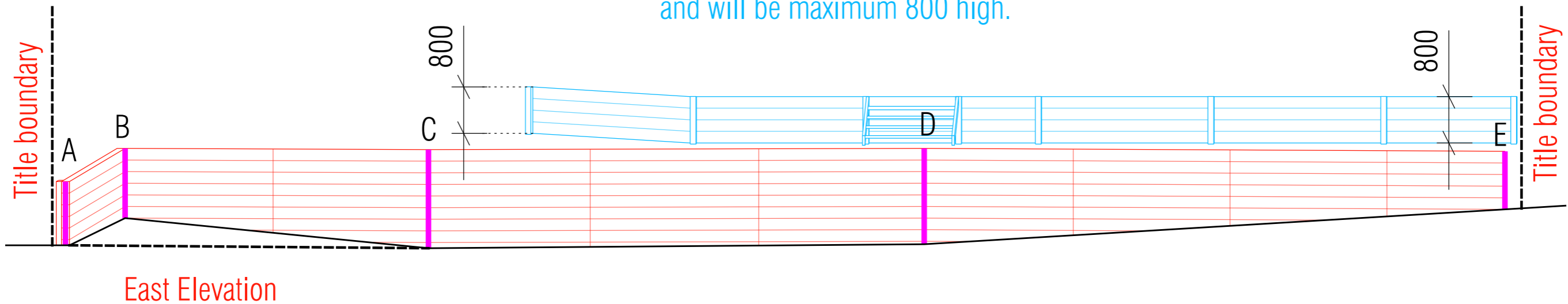
DRAWING: SEWER PIPE DETAIL  
 DATE: 17/06/2025  
 FILE NAME: 133 21 ALWYN DA 201223.dgn  
 DRAWN BY: PC

DWG No:

**01a**

**IMPORTANT NOTES:**  
 The lower wall (RED) has been constructed in the location as determined by both property owners. The maximum height is 1800mm

The second retaining wall (BLUE) is yet to be constructed and will be maximum 800 high.



	A	B	C	D	E
TOP OF WALL	116.12	116.70	116.70	116.69	116.67
GROUND LEVEL	115.03	115.50	114.98	115.05	115.65
WALL HEIGHT	1.10	1.20	1.70	1.65	1.00

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DRAWING: WALL EAST ELEVATION  
 DATE: 17/06/2025  
 FILE NAME: 133 21 ALWYN DA 201223.dgn  
 DRAWN BY: PC

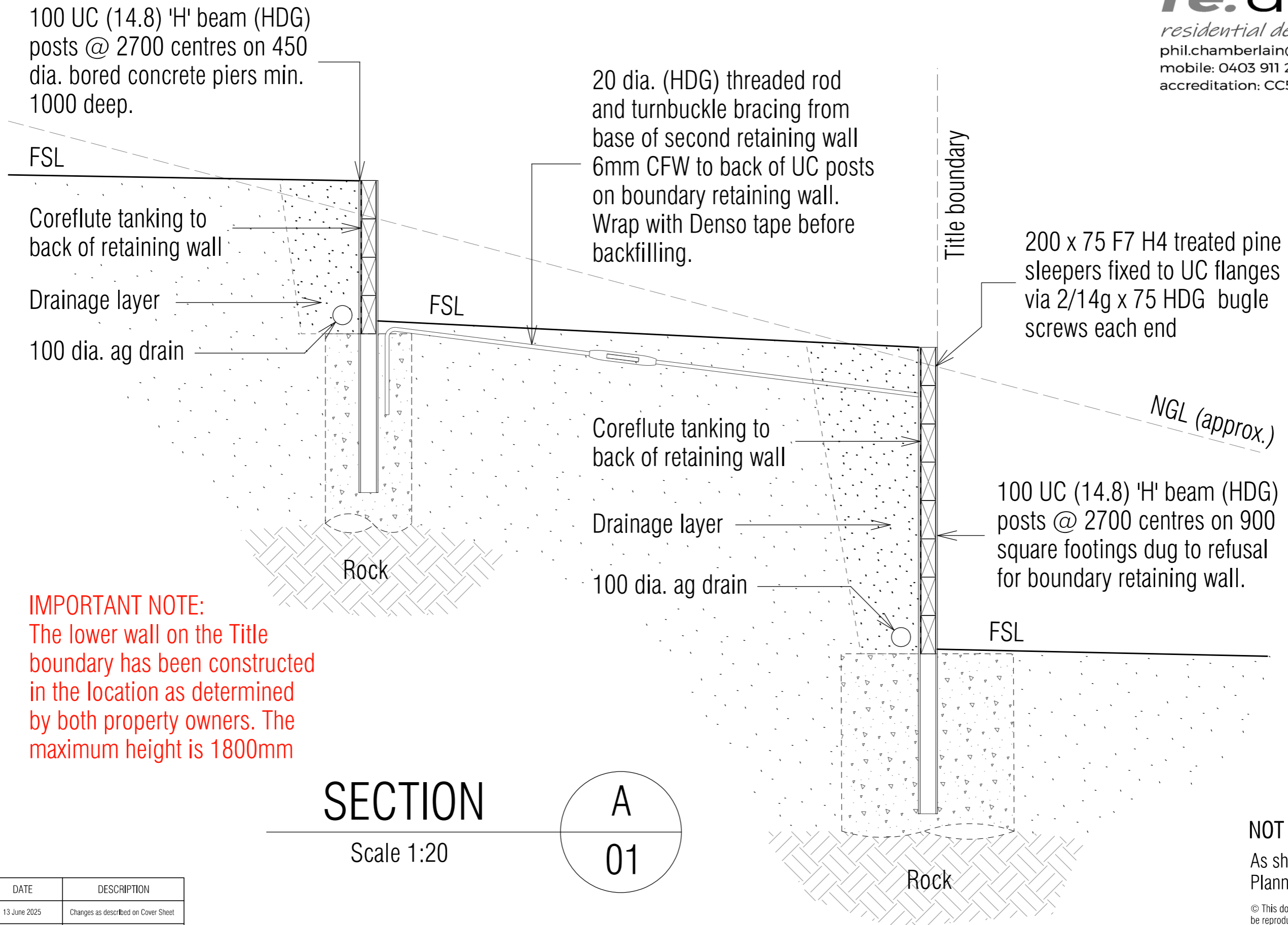
REVISION	DATE	DESCRIPTION
C	13 June 2025	Changes as described on Cover Sheet

Scale 1:75

PROPOSED RETAINING WALL FOR GOTTSCHALK  
 AT 21 ALWYN ROAD, LENA VALLEY

DWG No:

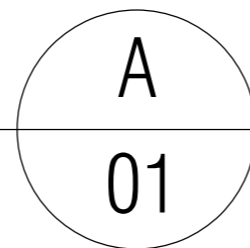
02



**IMPORTANT NOTE:**  
 The lower wall on the Title boundary has been constructed in the location as determined by both property owners. The maximum height is 1800mm

**SECTION**

Scale 1:20



REVISION	DATE	DESCRIPTION
C	13 June 2025	Changes as described on Cover Sheet

Scale 1:20

PROPOSED RETAINING WALL FOR GOTTSCHALK  
 AT 21 ALWYN ROAD, LENA VALLEY

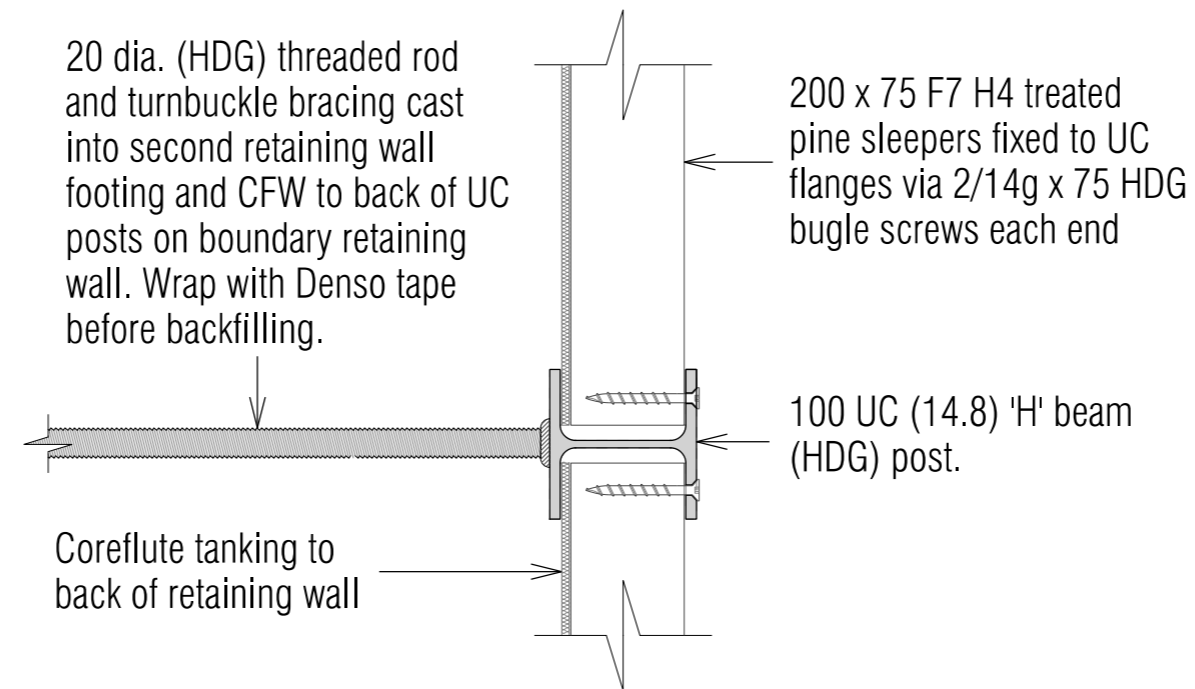
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DRAWING: SECTION A  
 DATE: 13/06/2025  
 FILE NAME: 133 21 ALWYN DA 201223.dgn  
 DRAWN BY: PC

DWG No:

**03**



D1 Detail 1  
 01 scale 1:5

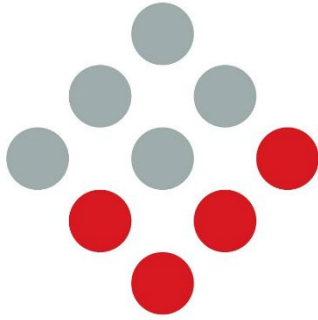
**NOT BUSHFIRE PRONE**  
 As shown in the Tasmanian Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
C	13 June 2025	Changes as described on Cover Sheet

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DRAWING: FLOOR PLAN  
 DATE: 13/06/2025  
 FILE NAME: 133 21 ALWYN DA 201223.dgn  
 DRAWN BY: PC

DWG No:



# 509

CONSTRUCTION AND  
MAINTENANCE SOLUTIONS  
CAMBRIDGE 0418 599 008



Ben Lyden

ABN 86 507 334 326

DATE: 15/6/25

TO: Peter Collins, 227 Lenah Valley Road Lenah Valley.

DETAILS: 21 Alwyn Road retaining wall.

Hello Mr Collins,

I am writing to inform you that the retaining wall planning application for 21 Alwyn Road has been submitted to Hobart City Council.

It is at the Councils request that I notify you of this in writing as part of the planning process.

Any further questions please contact me if required.

Regards

Ben Lyden

Owner/operator

509 Construction and Maintenance Solutions.

SEARCH OF TORRENS TITLE

VOLUME 249869	FOLIO 1
EDITION 4	DATE OF ISSUE 05-Jun-2017

SEARCH DATE : 13-Jun-2025

SEARCH TIME : 11.00 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 249869

Derivation : Portions of Lot 33154 Gtgd to E S Hodgman

Prior CT 3250/22

SCHEDULE 1

C246472 TRANSFER to PETER ALLAN COLLINS and CARLIE TERESE  
COLLINS Registered 31-Jan-2001 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: a right of drainage over the Drainage  
Easement marked A B on SP 66905

BURDENING EASEMENT: Right of Drainage [appurtenant to Lots 1,  
2 and 3 on SP 62769] over the Drainage Easement  
marked A B X on SP 62769

BURDENING EASEMENT: Right of Drainage [appurtenant to Lots 4  
to 10 on Sealed Plan No. 62769] over the Drainage  
Easement marked J X on SP 62769

E94447 MORTGAGE to Westpac Banking Corporation Registered  
05-Jun-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

R.P. 612

**ANNEXURE TO CERTIFICATE OF TITLE** VOL. **3250**  
*Muthinnoore*

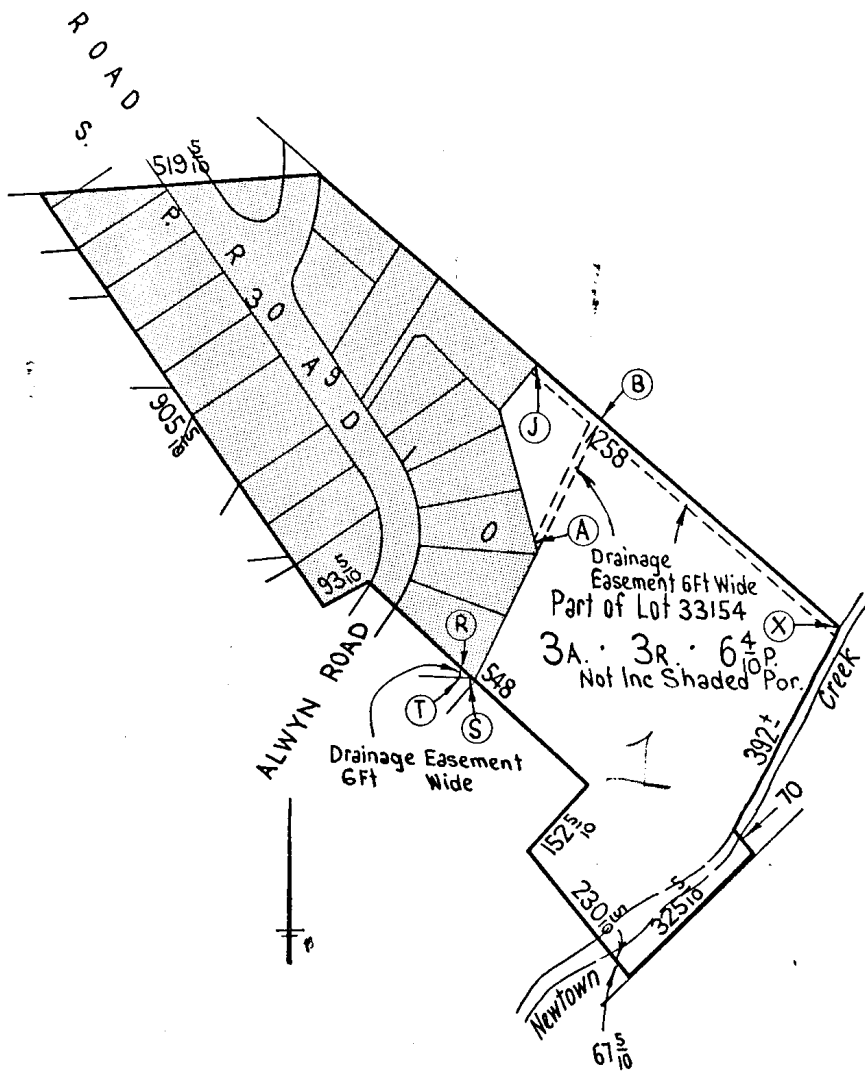
FOL. **22**



*Recorder of Titles*

REGISTERED NUMBER  
**249869**

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.



# PLANNING APPLICATION

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## Status:

### Reference

PLN-HOB-2025-0225

### Address

21 ALWYN RD LENA VALLEY TAS  
7008

### Titles

62769/3

## Before you start

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Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

## Pre-Application Advice

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### Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

### If yes, provide the name of the person you contacted

Liz Wilson

Development Appraisal Planner | Strategic and Regulatory Services Network

## Applicant

---

Name	Email	Phone	Address	Involvement

## Owners

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Name	Email Address	Address

## Certificate(s) of Title

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### Selected Titles

62769/3

Total Area: 746m<sup>2</sup>

## Owner Notification

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### Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

### If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

**List all owners, joint or part owners as recorded on the Title documents notified:**

**Enter the date that the last owner, joint or part owner was notified**

**Declaration**

I declare that all land owners, joint or part owners have been notified of this planning application.

## Crown Land Consent

---

**Is Crown Land involved in the proposed use or development?**

Yes - complete question below

No - continue to the next section - see further information below

Unsure

**If yes, has written Crown Land consent been obtained?**

Yes - upload written consent

No - application will not be progressed until consent has been provided

## General Manager Consent

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**Is Council-owned or administered land involved in the proposed use or development?**

Yes - complete question below

No - continue to the next section

Unsure

**If yes, has written consent been obtained from the Council General Manager?**

Yes - upload written consent

No - application will not be progressed until consent has been provided

## Proposed Use or Development

---

**What is the reason for your planning application?**

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

**If your application is to subdivide, please enter the number of proposed lots.**

0

**If your application is for signage, please enter the number of signs.**

**Is the property a Tasmanian Heritage Listed Property?**

Yes

No

**Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?**

Yes

No

Unsure

**Is the proposed use or development permitted or discretionary?**

Permitted

Discretionary

Unsure if permitted or discretionary

**Provide a full description of the proposed use or development**

Retrospective approval of as constructed retaining wall.

**Will the proposed use or development involve a road reserve?**

Yes - complete the section below

No - continue to the next section

Unsure

**If yes, enter the address(es) or locations below:**

**If yes, how will the road reserve be affected?**

## Value of Works

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**What is the estimated value of the works?**

30000

## Supporting Documents

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Version	Document Date	Document Type	Description	Prepared By
1	5 Feb 2025	Structural Drawings	Drawings	Jenna Hodge
1	9 Nov 2023	Building Notice - Building Surveyor Permit Authority (Form 14)	Building Notice	Jenna Hodge

## Next steps

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When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 10/04/2025 11:44

**BUILDING NOTICE****Section 237**

To:  Owner /Builder  
 Address  
  Suburb/postcode

**Form 14****Building Surveyor details:**

Building Surveyor:  Category:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email:

**Permit Authority details:**

Permit Authority:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email:

**Details of property & work the subject of this notice:**

Type of work: (X one if applicable) Permit work  Notifiable work  Low risk work   
Address:  Permit No. (Where applicable)   
   
The work:  Description of the work or part of the work the subject of the notice  
Date inspected:

**Notice details:**

This Building Notice is issued under section 237 of the *Building Act 2016* for the following reasons –

Building work, being the construction of retaining wall has been performed on the premises without a building permit or valid authorisation issued in accordance with the *Building Act 2016*.

The building work exceeds the limitations as specified in the Director's Determination - Categories of Building and Demolition Work v1.4, clause 1.3.14 as stated:

*Maximum Height of the ground to be retained is 500mm where the wall is located within 1500mm of the property boundary, a road or a path that is a right of way on another property;*

You are required to show cause within 14 days of receiving this Notice why:

- occupation of the building or structure should not be prohibited;
- you should not evacuate the building or structure;
- you should not carry out building work or other work specified below.

Specified work:

1. Immediately cease all building work; and
  2.
    - a. Within **45 days**, obtain a Form 25 - 'Permit of Substantial Compliance' in accordance with Section 258 of the *Building Act 2016*;

AND

    - b. Within **2 years** of the date of the Form 25 - 'Permit of Substantial Compliance', complete the building work in accordance with the Form 25 - 'Permit of Substantial Compliance' and obtain a Form 20 - 'Certificate of Completion (Building Work)'.
- OR
3. If a Form 25 - 'Permit of Substantial Compliance' is not obtained within **45 days**, demolish the non-compliant building work in accordance with the provisions of the *Building Act 2016* and re-instate the premises to the condition existing immediately prior to the undertaking of the non-compliant building work.


**You are further advised that the building work carried out may require planning approval. For further clarification please contact the Council's City Planning Division on telephone number (03) 6238 2711.**

Representations can be made about matters contained in this notice by:

**General Manager**  
GPO Box 503  
HOBART TAS 7001  
coh@hobartcity.com.au

Or by delivering to: Customer Service Centre, 16 Elizabeth Street, Hobart.

**A builder or owner must not undertake or allow any further building work or other work which would make compliance with this notice more difficult or impossible.**

No.	Signed:	Date:	Notice:
Permit Authority: Trent Harvey <b>Principal Compliance and Permits Officer</b>		<b>09/11/2023</b>	<b>NCA-23-179</b>

SEARCH OF TORRENS TITLE

VOLUME 62769	FOLIO 3
EDITION 3	DATE OF ISSUE 11-Jan-2025

SEARCH DATE : 30-May-2025

SEARCH TIME : 08.24 AM

DESCRIPTION OF LAND

City of HOBART  
 Lot 3 on Sealed Plan 62769 (formerly being SP3910)  
 Derivation : Portions of Lot 33154 - Gtd. to E.S. Hodgman.  
 Prior CT 3250/7

SCHEDULE 1

B217253, N196627 & N196626 ROBYN-MAREE GOTTSCHALK  
 Registered 11-Jan-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP 62769 EASEMENTS in Schedule of Easements  
 SP 62769 COVENANTS in Schedule of Easements  
 SP 62769 FENCING PROVISION in Schedule of Easements

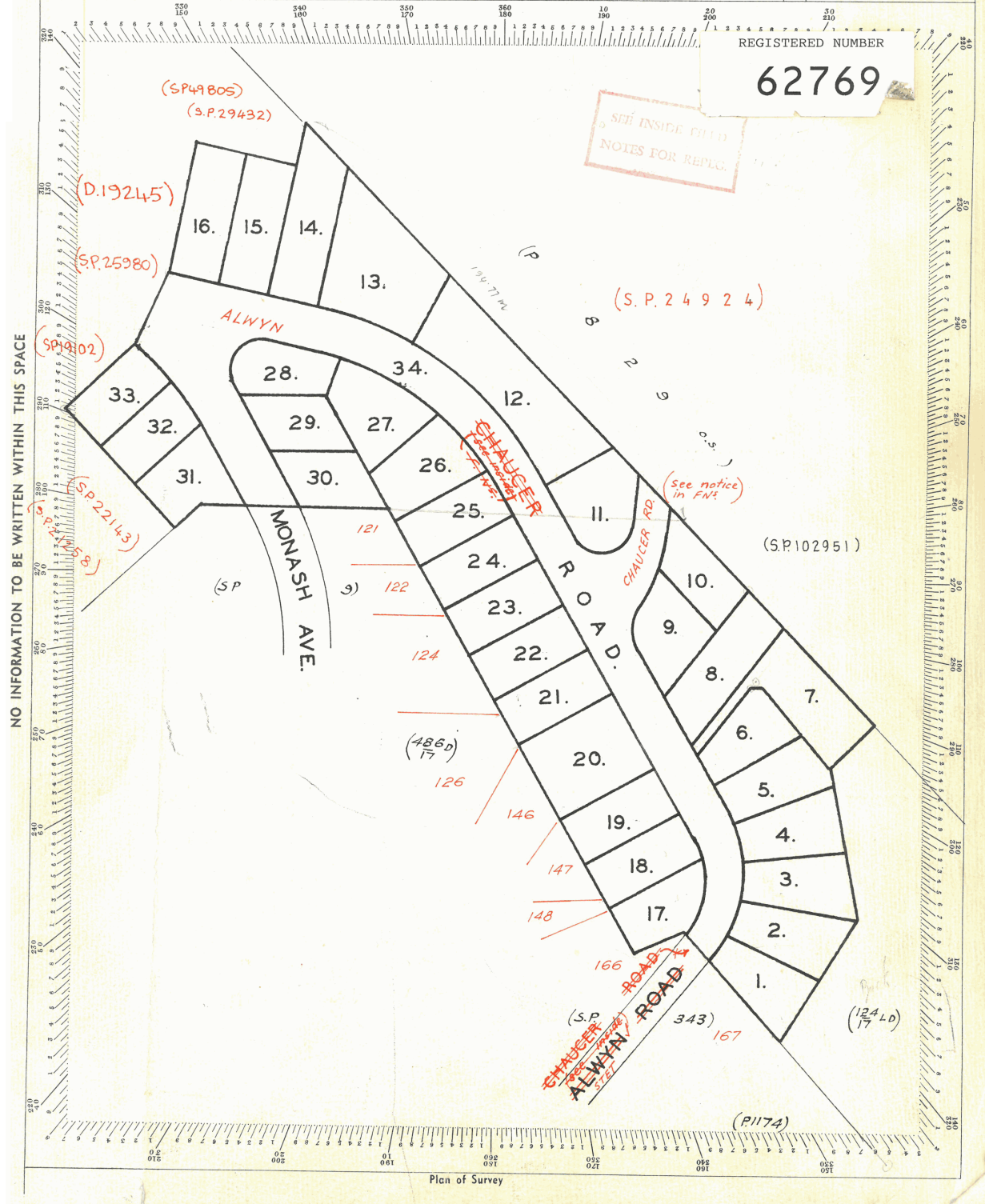
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner <i>E. S. Hodgman</i>			
Title Reference <i>C.T. 2409/29, Con. 32/3970</i>			
Areas of Parcels			
Lot Number	Area	Lot Number	Area
Total	<i>8<sup>A</sup> 1<sup>R</sup> 23<sup>3</sup>/<sub>10</sub> P</i>	Total	

PLAN OF SURVEY  
 by Surveyor *G. W. Griggs*  
 of land situated in the  
**CITY OF HOBART**  
 Grantee: *Portions Of Lot 33154, 8<sup>A</sup> OR 13<sup>D</sup> Gld to Edward Stanley Hodgman and Part of 2 Location to James Scott*  
 Scale *100 feet* to an inch

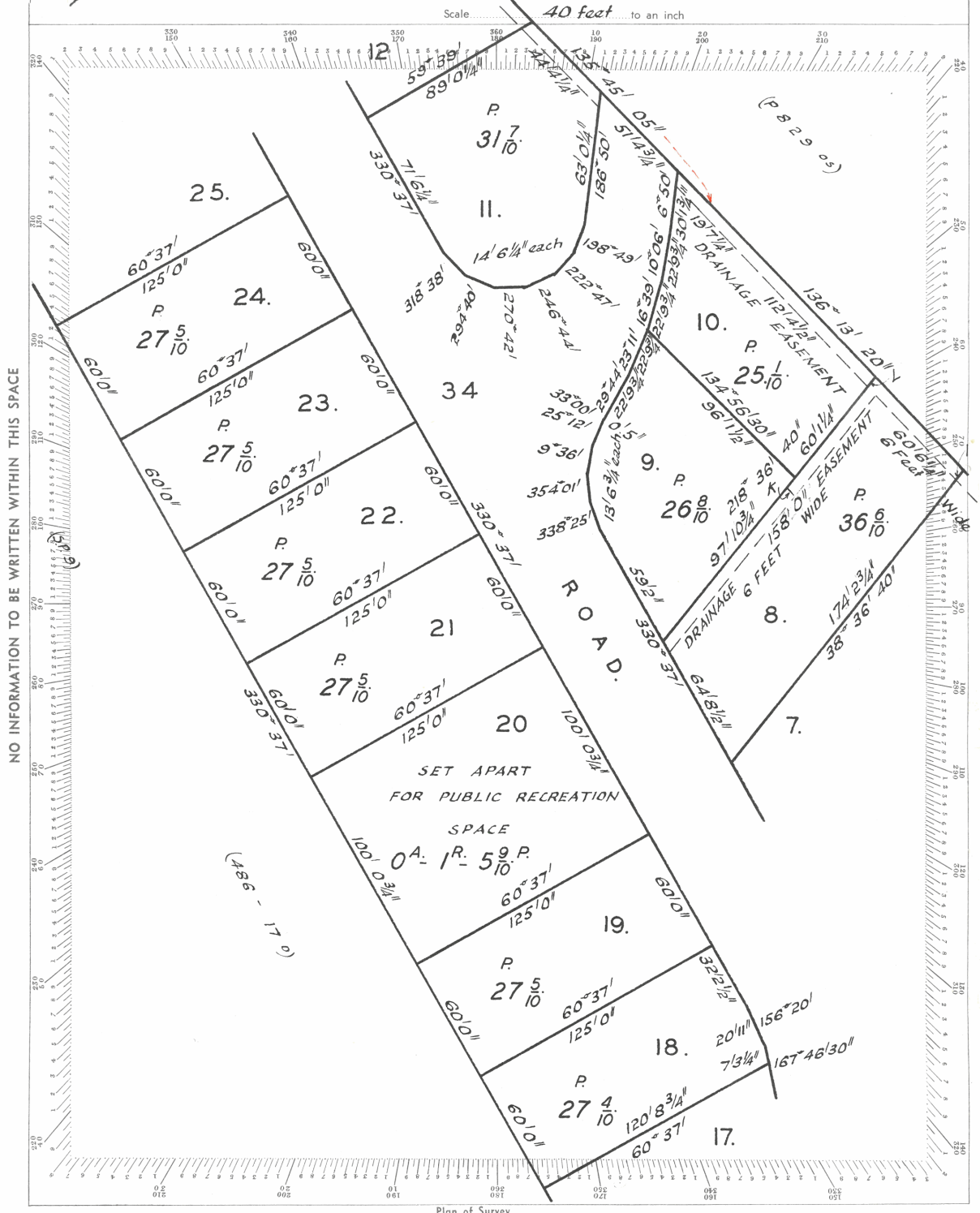
Registered Number  
**S.P.3910**  
 Filed by: *486*  
 on *14-12-77* at *12.00*  
 Receipt No. *12.00*  
 Receiving Clerk  
 Effective from *14-12-77*  
*W. Hutchinson*  
 Registrar of Titles / Recorder of Deeds



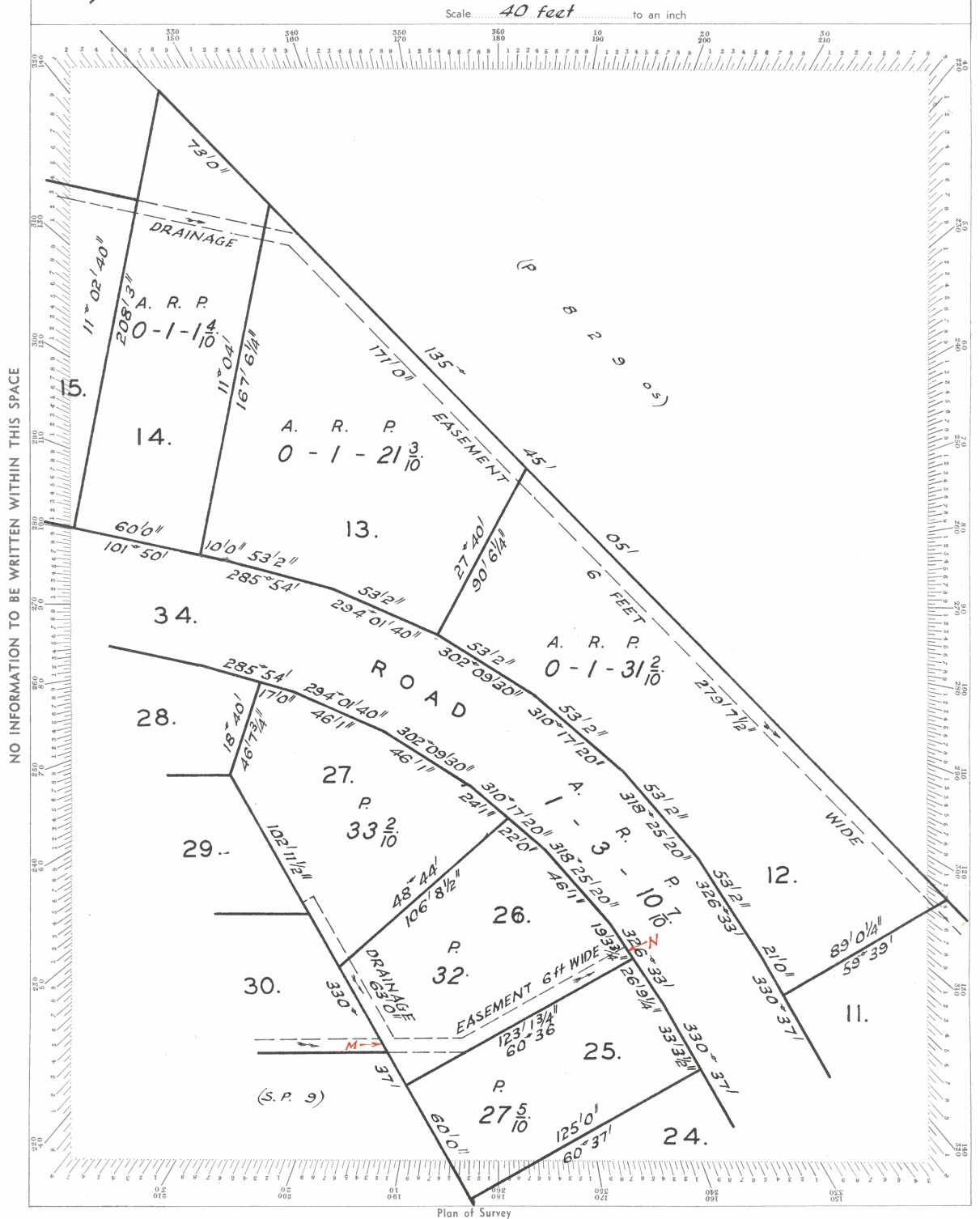
NO INFORMATION TO BE WRITTEN WITHIN THIS SPACE



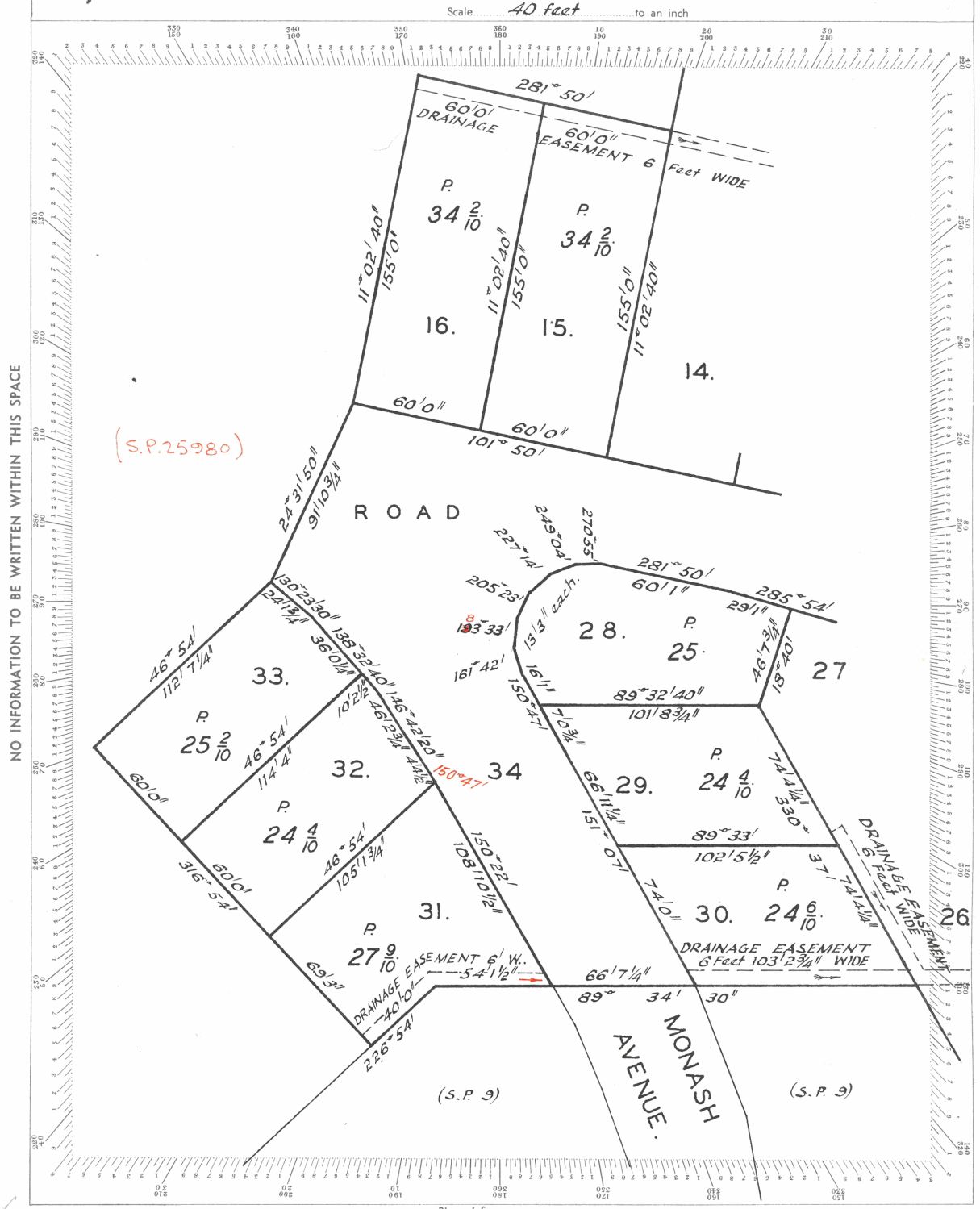
STAPLE HERE:	ANNEXURE SHEET No. <i>Two</i> (of 4 annexures) to Plan by Surveyor <i>G. W. Griggs</i>	Owner <i>E. S. Hodgman</i>		Registered Number <b>S.P.3910</b>	
		Title Reference <i>CT.2409/29, Con 32/3970</i>			
This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan bears my declaration dated <i>17-12-70</i> , and that declaration extends to the detail shown on this sheet.  Surveyor: <i>[Signature]</i>		Areas of Parcels			
		Lot Number	Area	Lot Number	Area
Signed for the purposes of identification. TOWN Clerk: <i>[Signature]</i>		8.	$36\frac{6}{10}P$	19.	$27\frac{5}{10}P$
		9.	$26\frac{8}{10}P$	20.	$0A. 1R. 5\frac{9}{10}P$
		10.	$25\frac{1}{10}P$	21.	$27\frac{5}{10}P$
		11.	$31\frac{7}{10}P$	22.	$27\frac{5}{10}P$
		18.	$27\frac{4}{10}P$	23.	$27\frac{5}{10}P$
		Total		Total	$2A. 0R. 11P$



STAPLE HERE	ANNEXURE SHEET No. <i>Three</i> (of 4 annexures) to Plan by Surveyor <i>G. W. Griggs</i>	Owner: <i>E. S. Hodgson.</i>	Registered Number	
		Title Reference <i>C.T. 2409/26, Con. 32/3970</i>	<b>S.P. 3910</b>	
This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan bears my declaration dated <i>17-12-70</i> , and that declaration extends to the detail shown on this sheet.  Surveyor: <i>G. W. Griggs</i>  Signed for the purposes of identification. TOWN Clerk: <i>[Signature]</i>	Lot Number	Area	Lot Number	Area
	12	<i>0A1R 31<sup>2</sup>/<sub>10</sub>P</i>	34.	<i>1A3R 10<sup>7</sup>/<sub>10</sub>P</i>
	13	<i>0A1R 21<sup>3</sup>/<sub>10</sub>P</i>		
	14.	<i>0A1R 14<sup>1</sup>/<sub>10</sub>P</i>		
	25.	<i>27<sup>5</sup>/<sub>10</sub>P</i>		
	26	<i>32<sup>P</sup></i>		
	27	<i>33<sup>2</sup>/<sub>10</sub>P</i>	Total	<i>3A1R 37<sup>3</sup>/<sub>10</sub>P</i>
	Total		Total	



STAPLE HERE	ANNEXURE SHEET No. <i>Four</i> (of 4 annexures) to Plan by Surveyor <i>G. W. Griggs</i>	Owner <i>E. S. Hodgman</i>	Registered Number		
		Title Reference <i>C.T. 2409/26, Con 32/3970</i>	<b>S.P.3910</b>		
This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan bears my declaration dated <i>17-12-70</i> , and that declaration extends to the detail shown on this sheet.		Lot Number	Area	Lot Number	Area
		15.	$34\frac{2}{10}P$	31.	$27\frac{9}{10}P$
Surveyor <i>G. W. Griggs</i>		16.	$34\frac{2}{10}P$	32.	$24\frac{4}{10}P$
		28.	$25P$	33.	$25\frac{2}{10}P$
Signed for the purposes of identification. TOWN Clerk <i>[Signature]</i>		29.	$24\frac{4}{10}P$		
		30.	$24\frac{6}{10}P$		
Total		Total		Total	



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SCHEDULE OF EASEMENTS

PLAN NO.

3910

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS :

Each lot in Column A is :

1. TOGETHER WITH a right of drainage over the drainage easement shown hereon passing through the lots and land specified opposite thereto in Column B, and
2. SUBJECT TO a right of drainage over the drainage easement passing through that lot as appurtenant to the lots shown hereon and other land and the Corporation where specified in Column C.

Column A	Column B	Column C
1	2 3 ABX	NIL
2	3 ABX	1
3	ABX	1 2
4	5* 7+ JX	NIL
5	7+ JX	4* 6 <sup>x</sup>
6	5 <sup>x</sup> 7+ Jx <i>[Signature]</i>	NIL
7	JX	4 <sup>+</sup> 5 <sup>+</sup> 6 <sup>+</sup> 8 <sup>s</sup> 9 <sup>s</sup> 10 <sup>s</sup> Corporation <sup>s</sup> <i>[Signature]</i>
8	7 <sup>s</sup> JX	9 <sup>o=</sup> 10 <sup>=</sup> Corporation
9	8 <sup>o=</sup> 7 <sup>s</sup> JX	NIL
10	8 <sup>=</sup> 7 <sup>s</sup> JX	Corporation
11	NIL	12 13 14 15 16 Balance
12	11	13 14 15 16 Balance
13	12 11	14 15 16 Balance
14	13 12 11	15 16 Balance
15	14 13 12 11	16 Balance
16	15 14 13 12 11	Balance
26	NIL	27 29 30 <sup>e</sup> Corporation <sup>e</sup> <i>[Signature]</i>
27	26	29
29	27 26	NIL
30	26 <sup>e</sup>	Corporation
31	NIL	Balance

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INTERPRETATION :

* affected easement lettered	CD	Corporation means The Lord Mayor Aldermen and Citizens of the City of Hobart
+ " " "	EF	
x " " "	GH	
s " " "	IJ	
o " " "	KL	
= " " "	LI	
e " " "	MN	

ABX means the drainage easement so lettered hereon.

JX " " " " " " "

"Balance" means the residue of the land comprised in ~~Certificate~~  
**remaining vested in the Vendor** of Title Volume 2409 Folio 29 and Conveyance No. 23/7624 at the date of acceptance hereof excluding the lots on the plan.

FENCING PROVISION :

In respect of each Lot (other than Lot 34) the Vendor, Edward Stanley Hodgman, shall not be required to fence.

COVENANTS :

The owner of ~~the~~ **each** Lot shown on the plan (other than Lots 20 and 34) covenants with the Vendor Edward Stanley Hodgman and the owners for the time being of every other Lot on the Plan (other than Lots 20 and 34) to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the plan (other than Lots 20 and 34) and with each and every part of the residue of the land comprised in Certificate of Title Volume 2409 Folio 29 and Conveyance No. 23/7624 to observe the following stipulations :-

- (1) Not to erect on the said lot or any part thereof any building other than a dwelling (being either a single private dwelling or not more than two flats or home units) with the usual offices thereto and the height of such dwelling is not to exceed twenty feet above the natural ground level at the highest point of the said lot covered by the building.
- (2) ~~Not to erect the dwelling referred to in paragraph (1) hereof or the usual offices thereto closer than twenty five feet to the road boundary of the said lot PROVIDED HOWEVER that in respect of Lots 7, 11 and 28 this restriction shall not apply.~~
- (3) Not to erect a paling fence on any portion of the respective side boundaries of the said lot closer than thirty feet ~~(hereinafter called "the thirty feet line")~~ to the road boundary of the said lot ~~and to limit the height of any fence or other structure on the thirty feet line to eighteen inches (18") above ground level.~~
- (4) ~~Not to erect any fence or other structure on the road boundary of the said lot of a height greater than eighteen inches (18") above ground level.~~

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The deletion of covenants numbered 2 and 4, part of covenants numbered 3 and 5 and the addition to covenant number 5 were made by me pursuant to a request to amend, No. A418794, dated the 3rd day of May 1973 made under Section 481 of the Local Government Act 1962.

Recorder of Titles

29/6/73

29/6/73

(5) Not to set up, carry on or conduct in or upon the said lot any trade business or manufacture of any kind PROVIDED HOWEVER that the letting of ~~a single residential flat or home unit~~ shall not come within the prohibition contained in this paragraph.

\* The premises referred to in Clause 1 hereof.

SIGNED by the said EDWARD STANLEY HODGMAN the registered proprietor of the land comprised in Certificate of Title Volume 2409 Folio 29 and beneficial owner of the land comprised in Conveyance No. 23/7624 in the presence of :

*E. S. Hodgman*

*Edward Stanley Hodgman*

SIGNED for and on behalf of thew BANK OF NEW SOUTH WALES the Mortgagee under Mortgages No's. A.120081 and 32/3971 by its Attorney Graham Stewart Keys under Power No 48948 who hereby certifies that he has not received any notice of revocation of the said power in the presence of :-

BANK OF NEW SOUTH WALES BY ITS ATTORNEY

*G. Stewart Keys*  
CHIEF MANAGER

*[Signature]*  
(Justice of the Peace.)

CERTIFIED correct for the purposes of the Real Property Act, 1862, as amended.

MURDOCH, CLARKE, COSGROVE & DRAKE

Per: *R. J. Badenach*

THE COMMON SEAL of GORDON JENNINGS PTY. LTD.) the Mortgagee under Agreement and Charge No. 43/915 was hereto affixed in the presence of:-



*[Signature]*

*Gordon Jennings*  
Secretary

CERTIFIED correct for the purposes of the Real Property Act, 1862, as amended, this 13th day of December 1971

MURDOCH CLARKE COSGROVE & DRAKE

per: *R. J. Badenach*  
Solicitors for the Subdividers.

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This is the schedule of easements attached to the plan of lots 1 to 34 - subdivision  
off Always Road - Edward Stanley Hodgman comprising part of the land in  
C.T. 2409/29, Con. 32/3970  
(Insert Title Reference)

Sealed by Sebart Corporation on 15. 10. 1971.

[Signature]  
Council Clerk/Town Clerk  
[Signature]

47515