

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0551

Address

8 BAINTREE AV DYNMYRNE TAS 7005

Titles

53649/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

Total Area: 564m²

53649/1

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Alexander Graeme-Evans

Enter the date that the last owner, joint or part owner was notified

27/10/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Add 2 proposed decks to the upper level of the existing dwelling.

Proposed internal modifications within the external walls. Add a sliding door leading out to the proposed deck.

Will the proposed use or development involve a road reserve?

Yes - complete the section below

No - continue to the next section

Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

20000.00

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	27 Oct 2025	Architectural Plans	G25025 - 8 Baintree Ave - DAA - 27.10.2025	Mr Christopher Pooley

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 53649	FOLIO 1
EDITION 6	DATE OF ISSUE 17-Feb-2025

SEARCH DATE : 03-Dec-2025

SEARCH TIME : 12.13 pm

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram [53649](#)

being the land described in Conveyance No. 67/6711

Derivation : Part of 633 Acres Granted to R.L. Murray

Prior CT [4865/14](#)

SCHEDULE 1

[C857398](#) TRANSFER to ALEXANDER FRANCIS LUTTRELL GRAEME-EVANS
Registered 03-Sept-2008 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

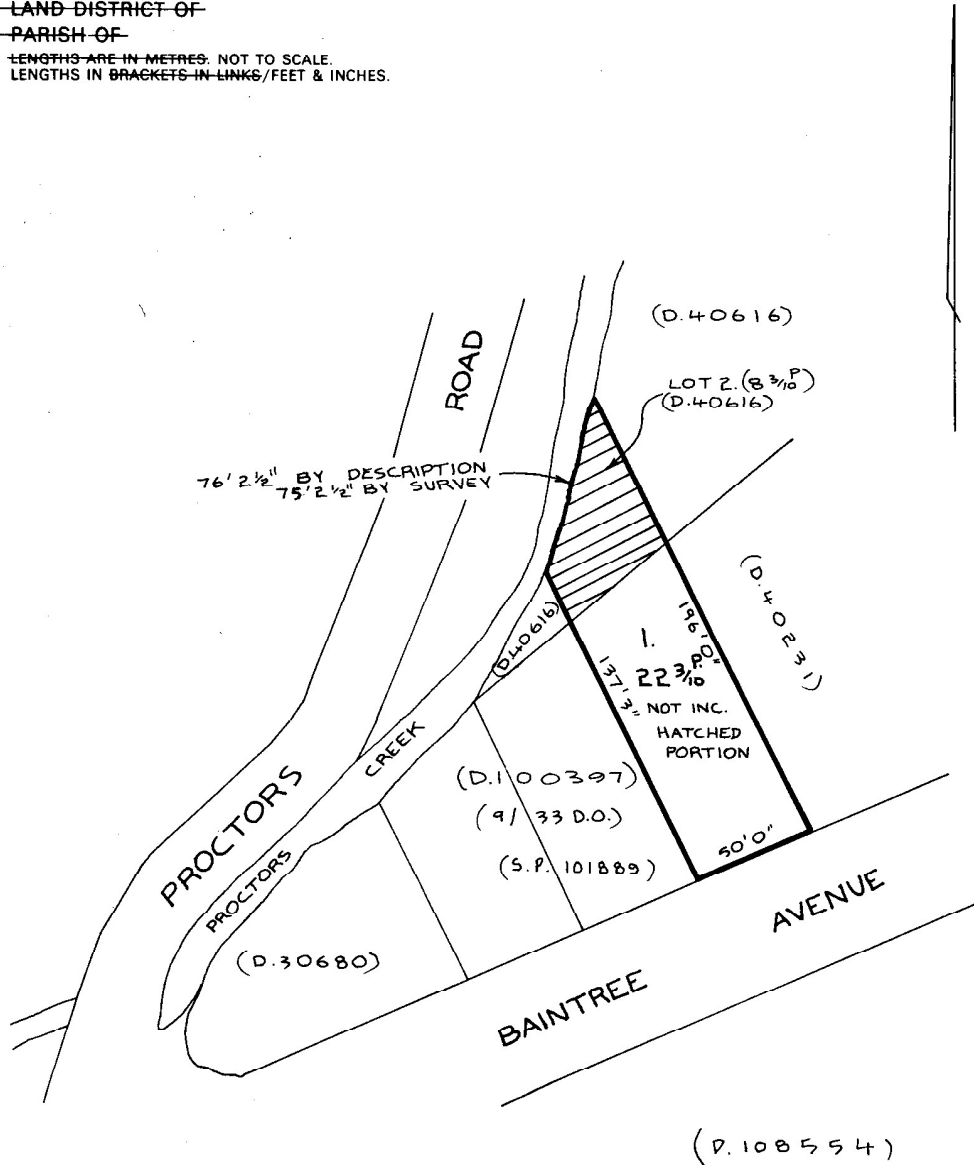
No unregistered dealings or other notations

APPROVED 17 MAR 1992 <i>Indublin</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 6716711	REGISTERED NUMBER D.53649
FILE NUMBER Y.15108	GRANTEE: PART OF 633-0-0 GTD TO ROBERT LATHROP MURRAY	DRAWN P. PERRI 5-3-92

US-K 2062

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART
~~LAND DISTRICT OF~~
~~PARISH OF~~
 LENGTHS ARE IN METRES. NOT TO SCALE.
 LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.



8 BAINTREE AV, DYNMYRNE, TAS 7005

PROPOSED DECK



PROPOSED LOCATION PLAN


SCALE: 1 : 7500

DRAWING CONTENTS LIST

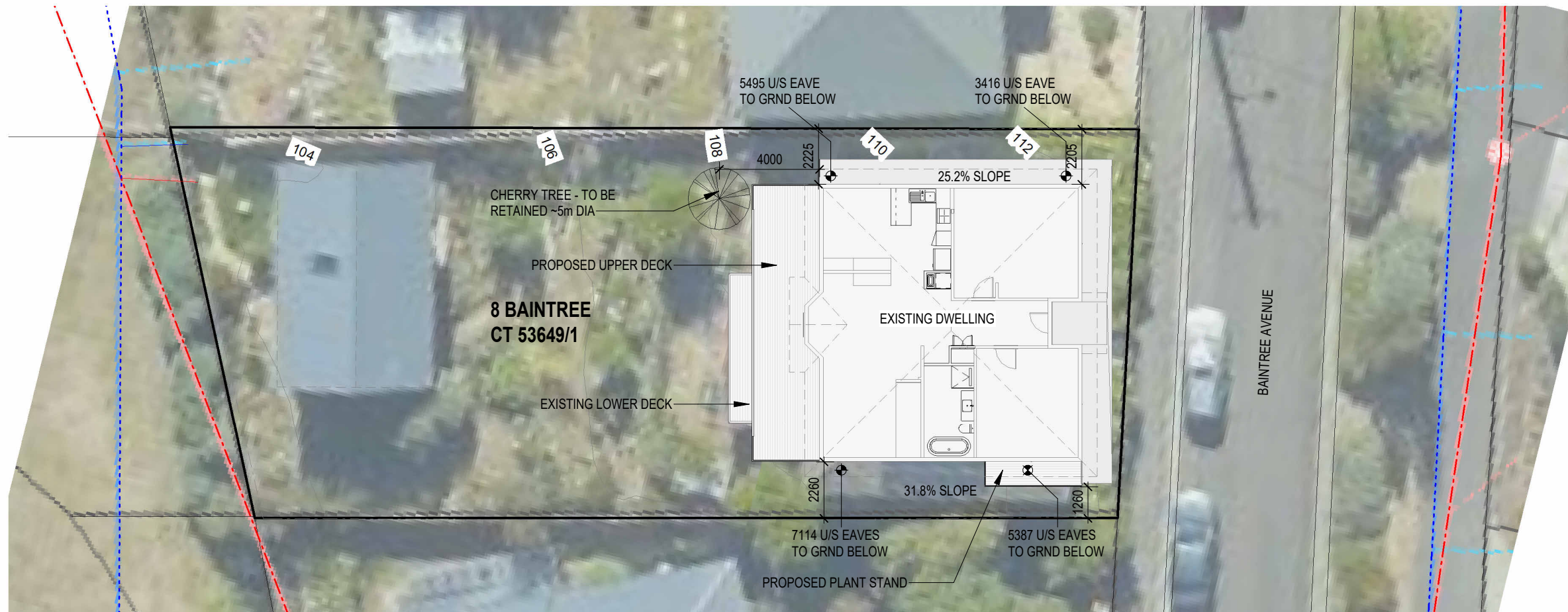
SHEET No.	SHEET NAME	SHEET REVISION
A000	COVER SHEET	B
A100	SITE PLAN	A
A200	EXISTING LOWER FLOOR PLAN	A
A201	EXISTING UPPER FLOOR PLAN	A
A202	PROPOSED LOWER FLOOR PLAN	A
A203	PROPOSED UPPER FLOOR PLAN	B
A300	PROPOSED ELEVATIONS SHEET 1	B
A301	PROPOSED ELEVATIONS SHEET 2	B
A302	PROPOSED ELEVATIONS SHEET 3	A
A303	3D PERSPECTIVE VIEWS	A
A304	3D BUILDING ENVELOPE	A
A305	SHADOW DIAGRAM 21 JUNE 9am	A
A306	SHADOW DIAGRAM 21 JUNE 12pm	A
A307	SHADOW DIAGRAM 21 JUNE 3pm	A
A308	SHADOW DIAGRAM 21 DECEMBER 9am	A
A309	SHADOW DIAGRAM 21 DECEMBER 12pm	A
A310	SHADOW DIAGRAM 21 DECEMBER 3pm	A
A400	SECTION	A

SITE INFORMATION

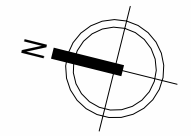
TITLE REFERENCE	CT53649/1	AREA SCHEDULE	
SITE ZONE	GENERAL RESIDENTIAL	SITE AREA:	570.9M ²
WIND CLASSIFICATION	N3	DWELLING GROSS FLOOR AREAS	
SOIL CLASSIFICATION	TBC	(ALL FLOOR AREAS EXCLUDE DECKS)	
CLIMATE ZONE	7	DWELLING (GROUND FLOOR):	76.4M ²
BAL LEVEL	BAL N/A	DWELLING (FIRST FLOOR):	115.8M ²
ALPINE AREA	N/A LESS THAN 900M AHD	SITE COVERAGE (FOOTPRINT)	20.28M²
CORROSION ENVIRONMENT	>100m CALM MARINE	EXISTING LOWER DECK:	21.0M ²
OTHER HAZARDS	NIL	PROPOSED UPPER DECK:	19.2M ²

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							DRAFTER: CDP	SIZE: A3	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A000
B	ATTEND TO COUNCIL RF1 - PRIVACY SCREEN	CDP	AGE	12.01.2026			STATUS: PLANNING APPLICATION	<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>			
A	PLANNING APPLICATION	CDP	AGE	27.10.2025							
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							

ABN64 629 573 897
ACN 629 573 897
42 SANDY BAY ROAD
BATTERY POINT, TAS 7005
ADMIN@GECE.COM.AU
0412 705 240



AREA SCHEDULE	
SITE AREA:	570.9M ²
DWELLING GROSS FLOOR AREAS (ALL FLOOR AREAS EXCLUDE DECKS)	
DWELLING (GROUND FLOOR):	76.4M ²
DWELLING (FIRST FLOOR):	115.8M ²
SITE COVERAGE (FOOTPRINT)	20.28M²
EXISTING LOWER DECK:	21.0M ²
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REV	ISSUE DESCRIPTION	CDP	AGE	DATE
A	PLANNING APPLICATION			27.10.2025

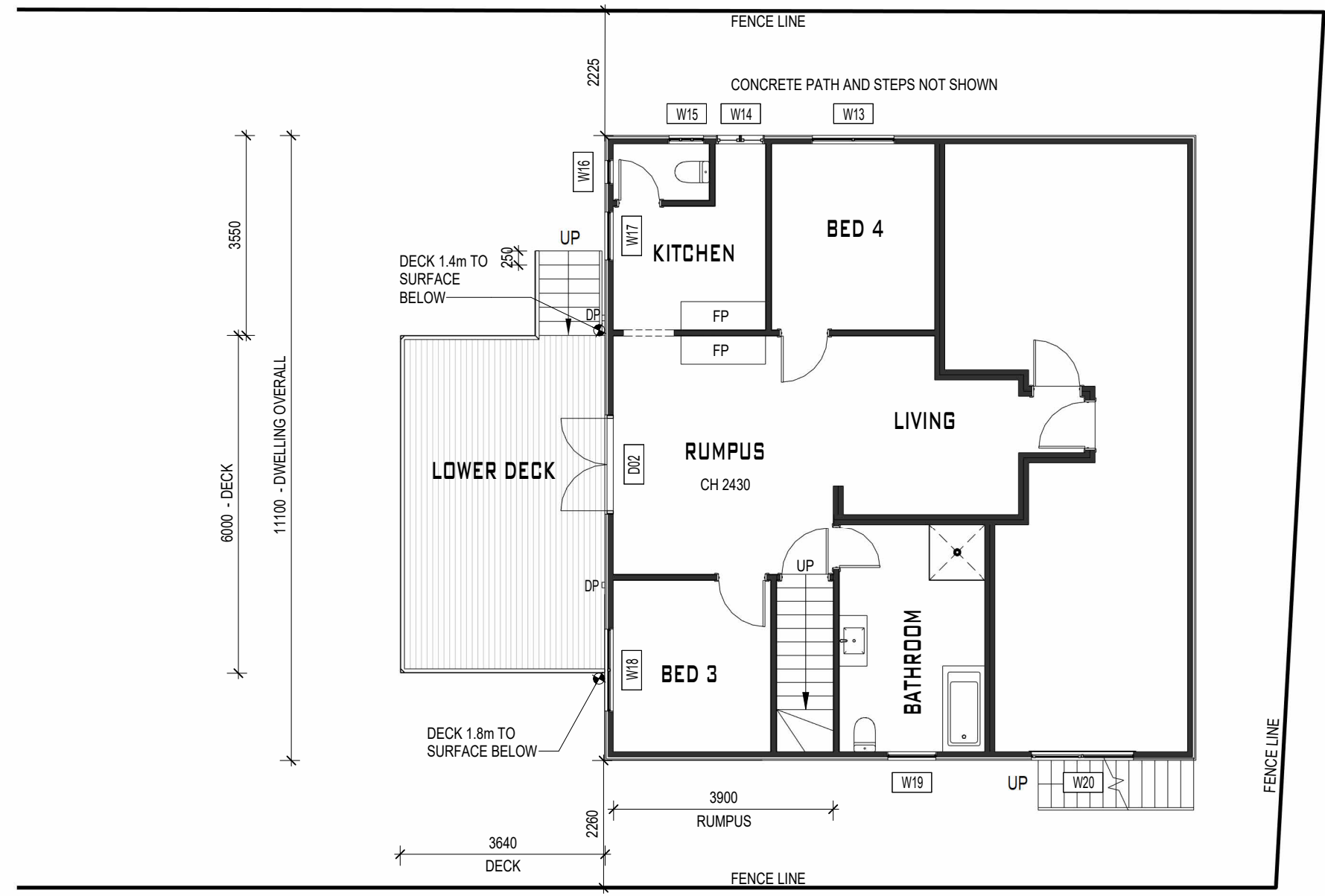


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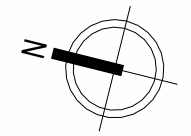
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ENGINEER: AGE	SCALE: 1 : 200	PROJECT: 8 BAIN TREE AV, DYN NYRNE, TAS 7005	DRAWING TITLE: SITE PLAN	
DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A100
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		
			REVISION: A	

AREA SCHEDULE	
SITE AREA:	570.9M ²
DWELLING GROSS FLOOR AREAS	
(ALL FLOOR AREAS EXCLUDE DECKS)	
DWELLING (GROUND FLOOR):	76.4M ²
DWELLING (FIRST FLOOR):	115.8M ²
SITE COVERAGE (FOOTPRINT)	20.28M²
EXISTING LOWER DECK:	21.0M ²
PROPOSED UPPER DECK:	19.2M ²

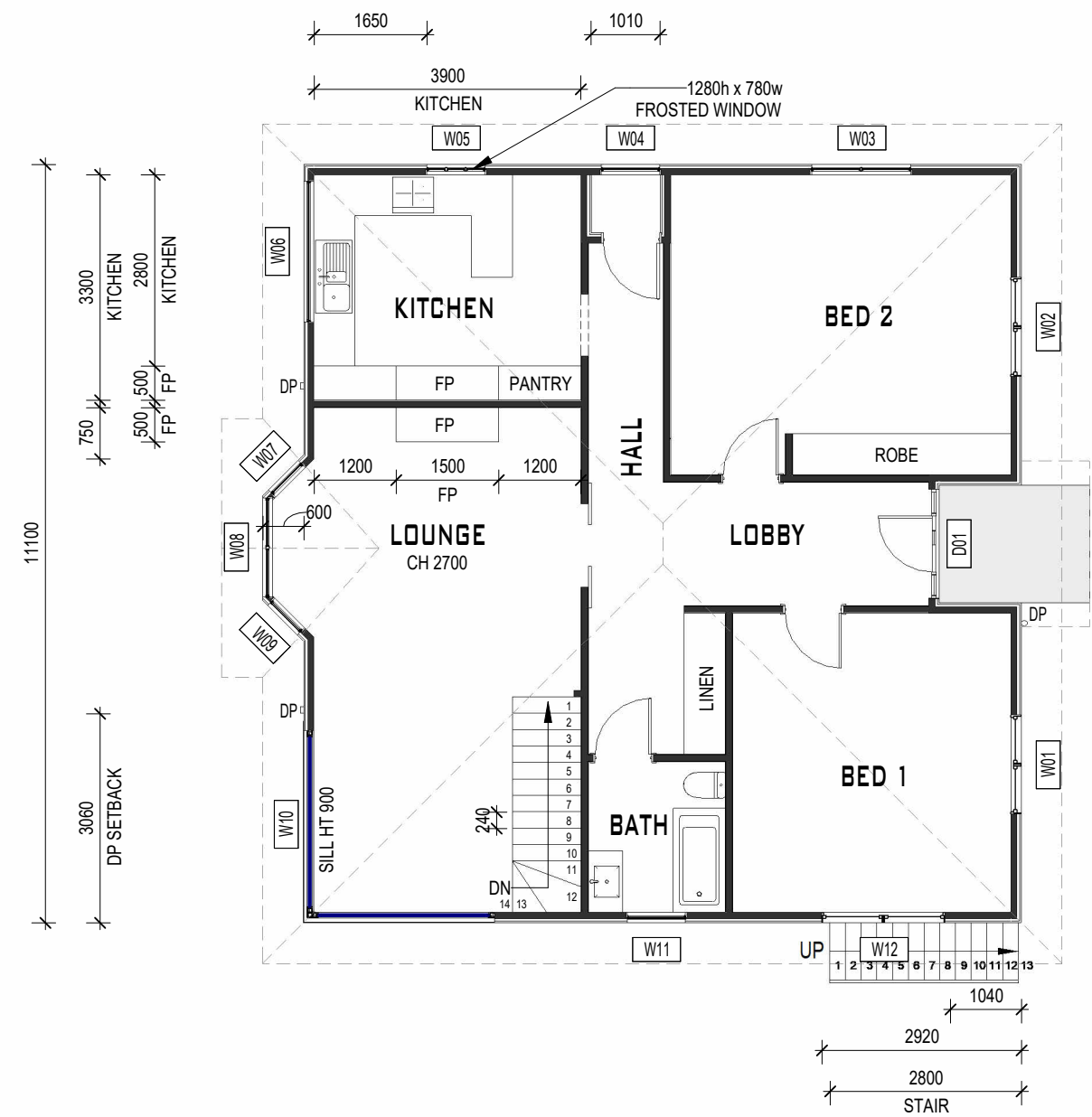


- NOTES RE: DIMENSIONS AND AREAS
- ROOM DIMENSIONS ARE INTERNAL WALL LINING TO INTERNAL WALL LINING
 - WHERE A DIMENSION IS NOT SHOWN, THIS WAS NOT MEASURED ON SITE
 - WALL THICKNESS ARE ASSUMED FOR EXISTING DWELLING, THICKNESS SHOWN ON PLANS MAY NOT REFLECT THE THICKNESS ON SITE
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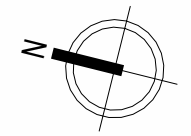



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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A200
A	PLANNING APPLICATION	CDP	AGE	27.10.2025			STATUS: PLANNING APPLICATION	NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: A	
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							

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						<p>DRAFTER: CDP</p>	<p>SIZE: A3:</p>	<p>CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS</p>	<p>PROJECT No. G25025</p>	<p>DWG No. A201</p>	<p>REVISION: A</p>	
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EXISTING LOWER DECK:	21.0M ²
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LEGEND

- 110 BRICK VENEER
- 110 BRICK VENEER - RENDER FINISH
- 110 BRICK DOUBLE BRICK
- 110 BRICK DOUBLE BRICK - RENDER FINISH
- 190 CONCRETE BLOCKWORK
- EXTERNAL WALL WITH SELECT LWC
- 90 TIMBER STUD
- # LIFT OFF HINGES TO DOOR
- MECHANICAL EXHAUST FAN - SWITCHED WITH LIGHT
- SMOKE ALARM TO BE CONNECTED TO THE MAINS POWER SUPPLY AND POSSESS A BATTERY BACK-UP AND BE INTERCONNECTED; TO PROVIDE A COMMON ALARM THROUGHOUT THE BUILDING, AND BE TO AS 3786-2014, AND BE INSTALLED TO NCC CLAUSE 3.7.5.5.
- VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH N.C.C. 3.3.5.13

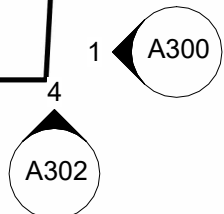
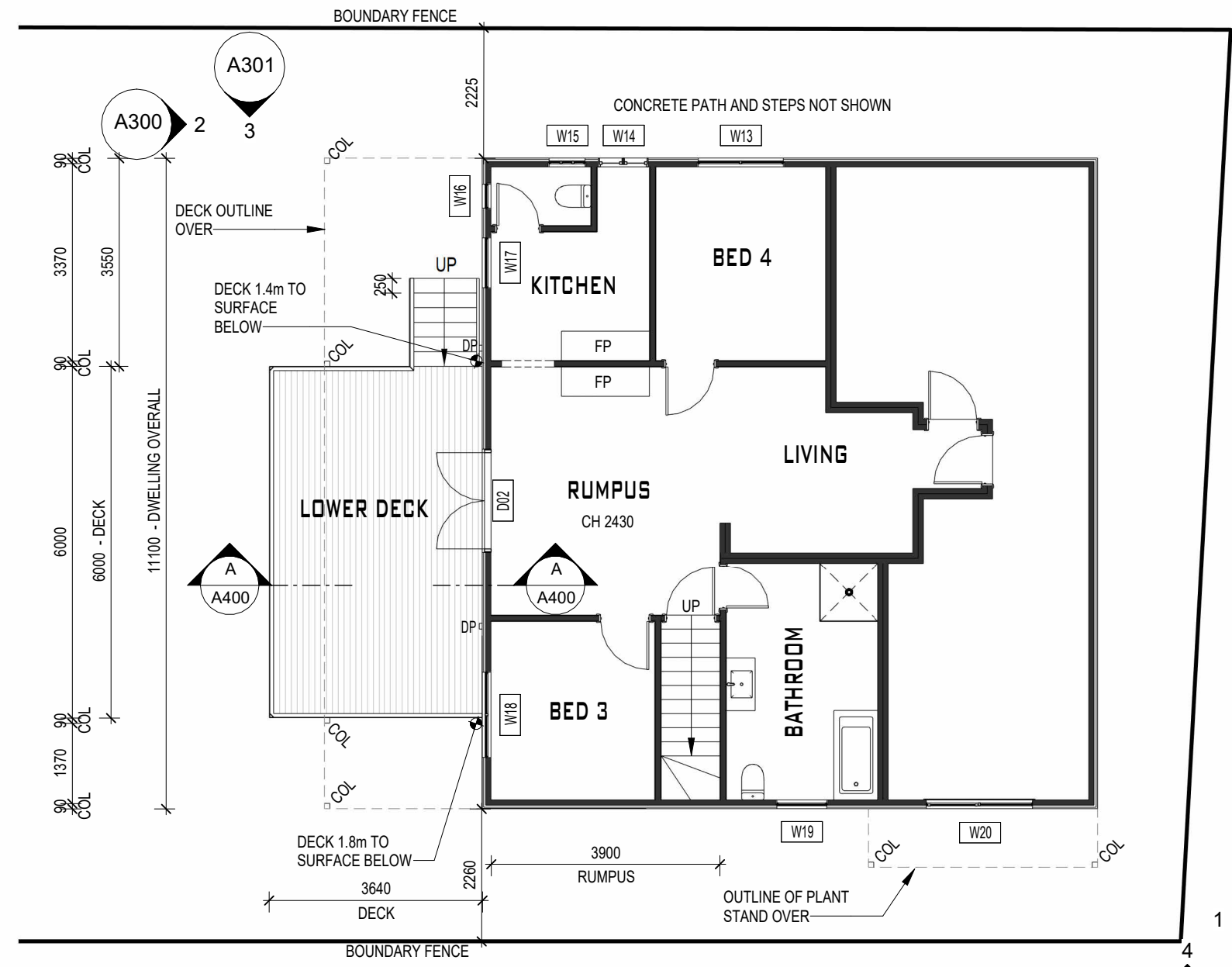
NOTE

KITCHEN APPLIANCES/DESIGN/SIZES/LOCATION ARE INDICATIVE ONLY AND BATHROOM, LAUNDRY AND OTHER JOINERY (OBJECTS SHOWN AS PLACEHOLDERS ONLY). REFER TO SELECTION DOCUMENTATION AND JOINERS PLANS FOR DETAILS.

ALL DIMENSIONS ARE FRAME DIMENSIONS U.N.O.

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A	PLANNING APPLICATION	CDP	AGE	27.10.2025
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DRAFTER: CDP	SIZE: A3:
STATUS: PLANNING APPLICATION	

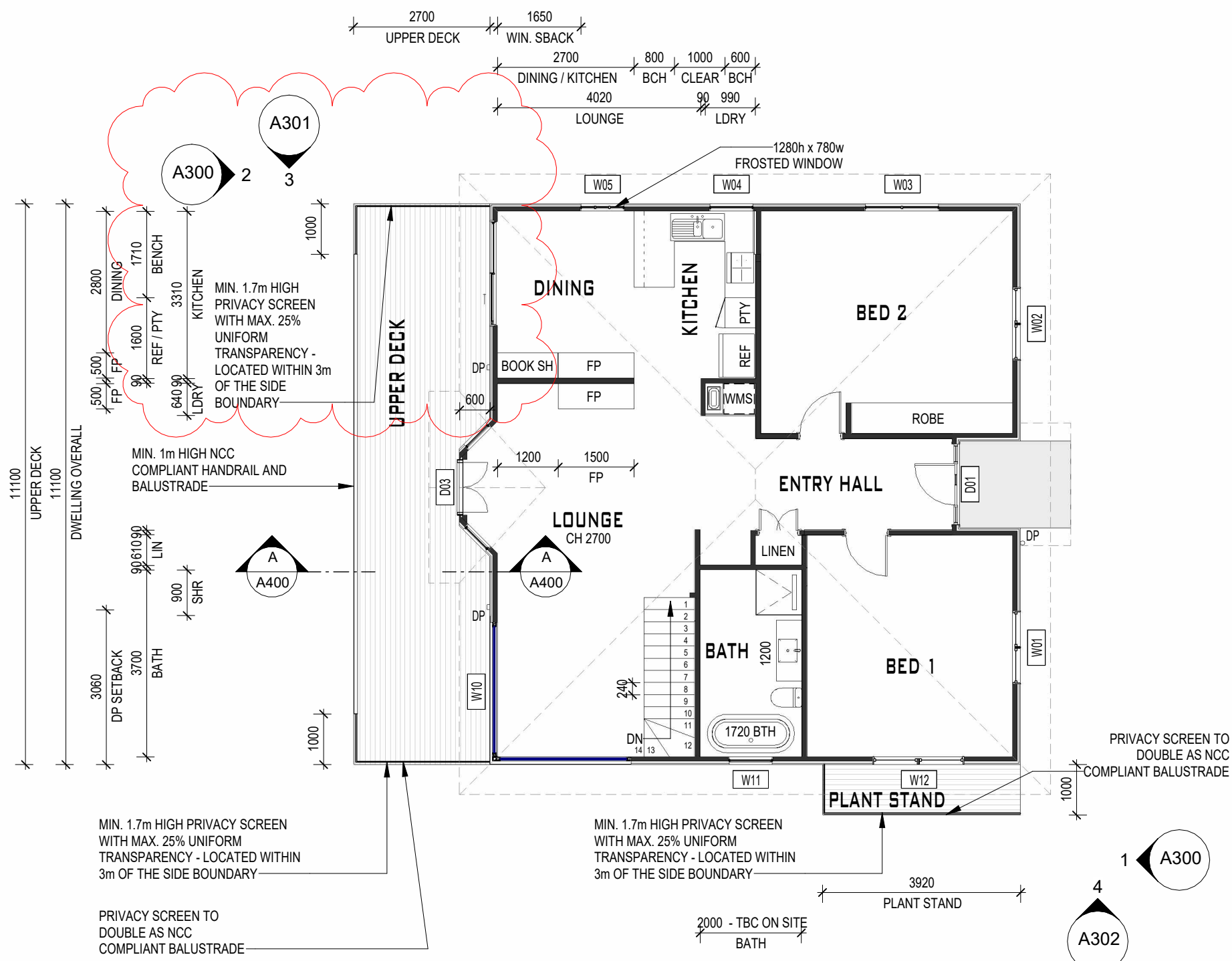
PROJECT:
8 BAINTREE AV, DYNNYRNE, TAS 7005

CLIENT NAME:
ALEX & SHELLEY GRAEME-EVANS

NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

DRAWING TITLE: PROPOSED LOWER FLOOR PLAN	
PROJECT No. G25025	DWG No. A202
REVISION: A	

AREA SCHEDULE	
SITE AREA:	570.9M ²
DWELLING GROSS FLOOR AREAS (ALL FLOOR AREAS EXCLUDE DECKS)	
DWELLING (GROUND FLOOR):	76.4M ²
DWELLING (FIRST FLOOR):	115.8M ²
SITE COVERAGE (FOOTPRINT)	20.28M²
EXISTING LOWER DECK:	21.0M ²
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REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE
B	ATTEND TO COUNCIL RF1 - PRIVACY SCREEN	CDP	AGE	12.01.2026
A	PLANNING APPLICATION	CDP	AGE	27.10.2025

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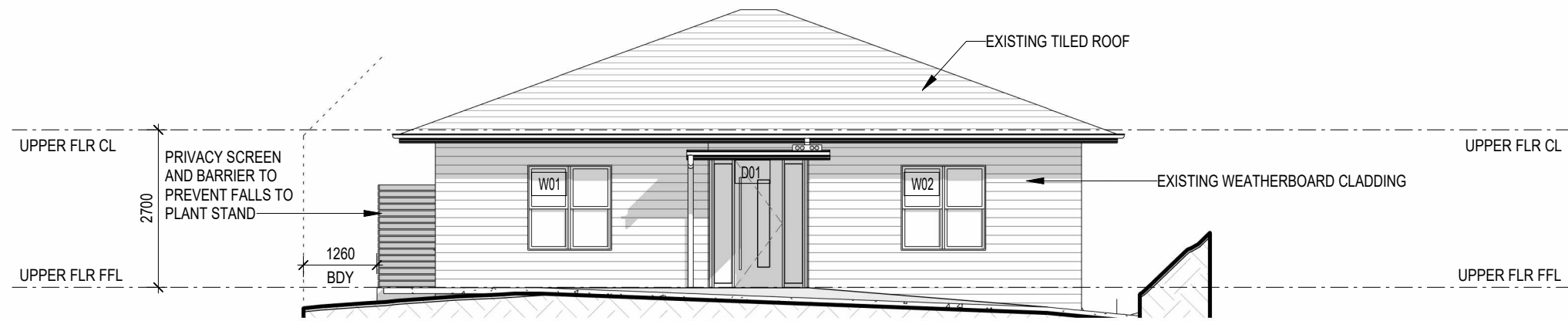
ENGINEER: AGE	SCALE: 1 : 100
DRAFTER: CDP	SIZE: A3:
STATUS: PLANNING APPLICATION	

PROJECT:
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CLIENT NAME:
ALEX & SHELLEY GRAEME-EVANS

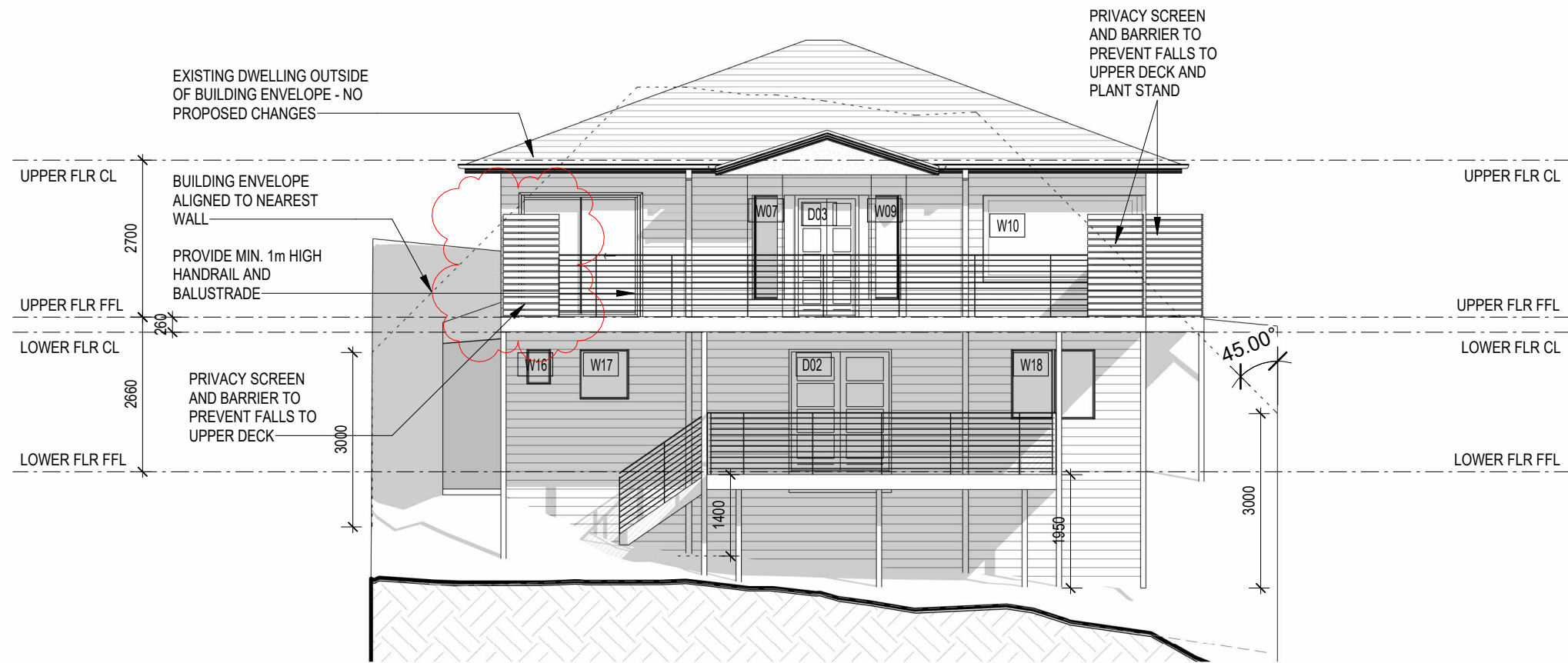
NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

DRAWING TITLE: PROPOSED UPPER FLOOR PLAN	
PROJECT No. G25025	DWG No. A203
REVISION: B	




1 - FRONT (SOUTH) ELEVATION

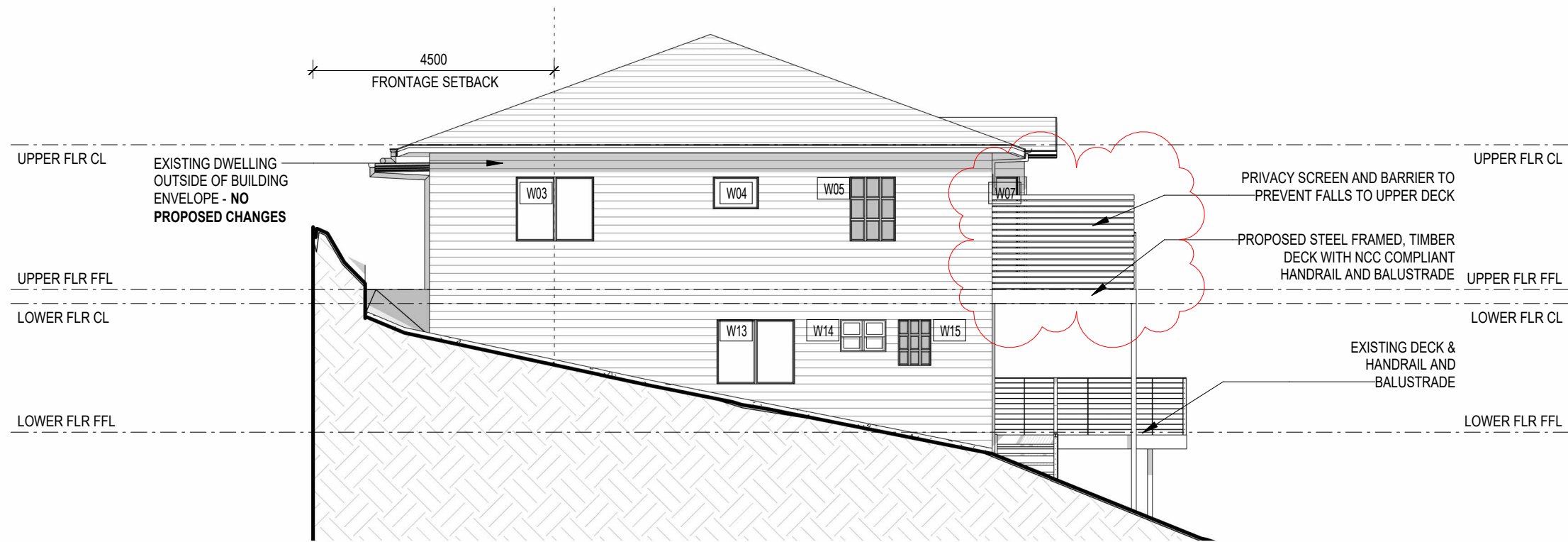
SCALE: 1 : 100
SHEET: A202



2 - REAR (NORTH) ELEVATION


SCALE: 1 : 100
SHEET: A202

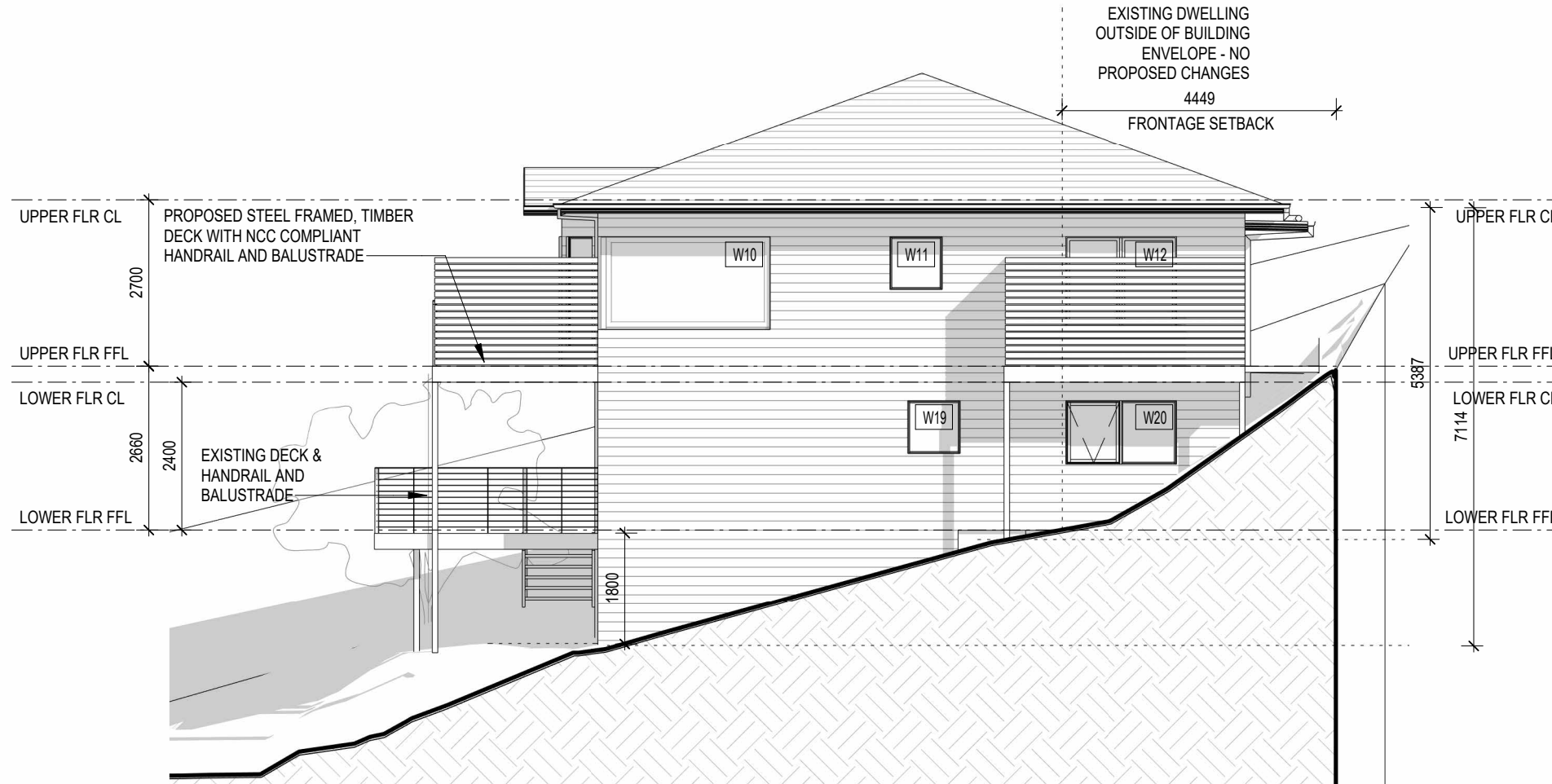
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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A300
					STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.				
B	ATTEND TO COUNCIL RF1 - PRIVACY SCREEN	CDP	AGE	12.01.2026							
A	PLANNING APPLICATION	CDP	AGE	27.10.2025							
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							



3 - SIDE (EAST) ELEVATION


SCALE: 1 : 100
SHEET: A202

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							<p>DRAFTER: CDP</p>	<p>SIZE: A3:</p>	<p>CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS</p>	<p>PROJECT No. G25025</p>		<p>DWG No. A301</p>
						<p>STATUS: PLANNING APPLICATION</p>	<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>		<p>REVISION: B</p>			
B	ATTEND TO COUNCIL RF1 - PRIVACY SCREEN	CDP	AGE	12.01.2026	<p>ABN64 629 573 897 ACN 629 573 897 42 SANDY BAY ROAD BATTERY POINT, TAS 7005 ADMIN@GECE.COM.AU 0412 705 240</p>							
A	PLANNING APPLICATION	CDP	AGE	27.10.2025								
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE								



4 - SIDE (WEST) ELEVATION

SCALE: 1 : 100
SHEET: A202

					 <p>GE CONSULTING ENGINEERS + DESIGN + CIVIL + STRUCTURAL + GEOTECH gece.com.au</p>	ENGINEER: AGE	SCALE: 1 : 100	PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005	DRAWING TITLE: PROPOSED ELEVATIONS SHEET 3	
						DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A302
					STATUS: PLANNING APPLICATION		<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>			
A	PLANNING APPLICATION	CDP	AGE	27.10.2025						
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE						

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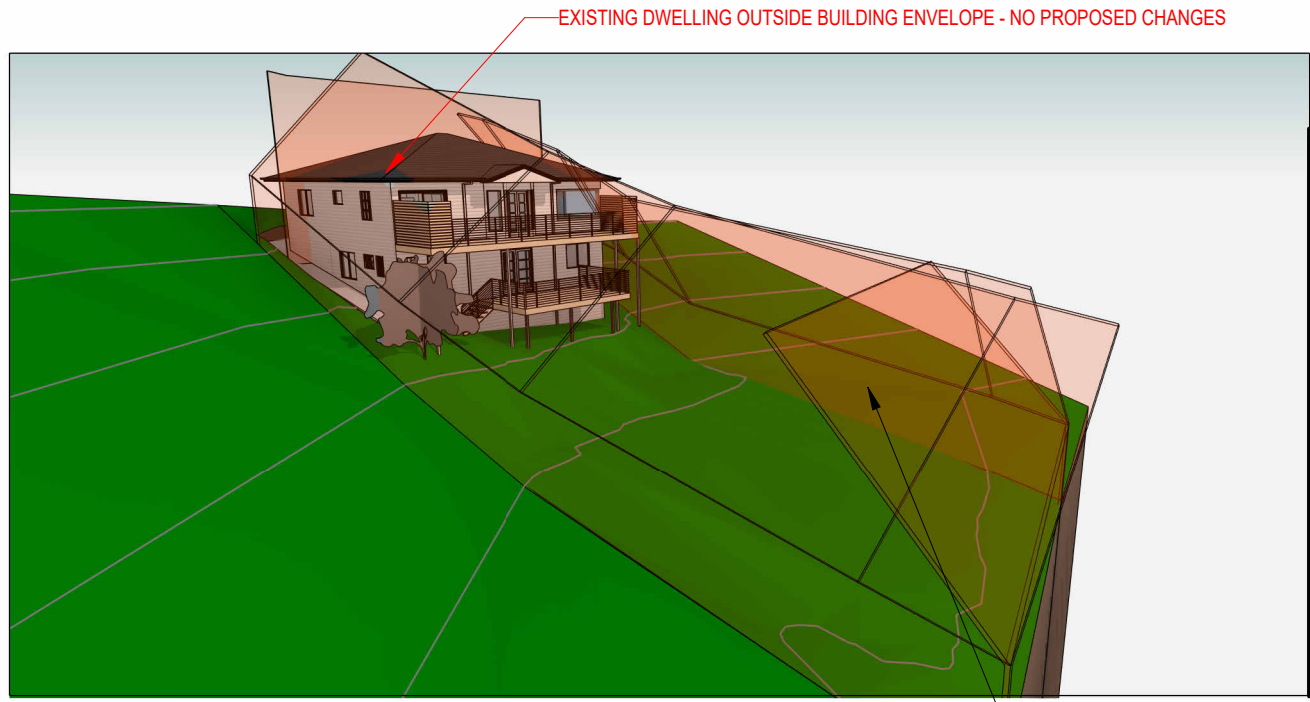
PERSPECTIVE 1



PERSPECTIVE 2

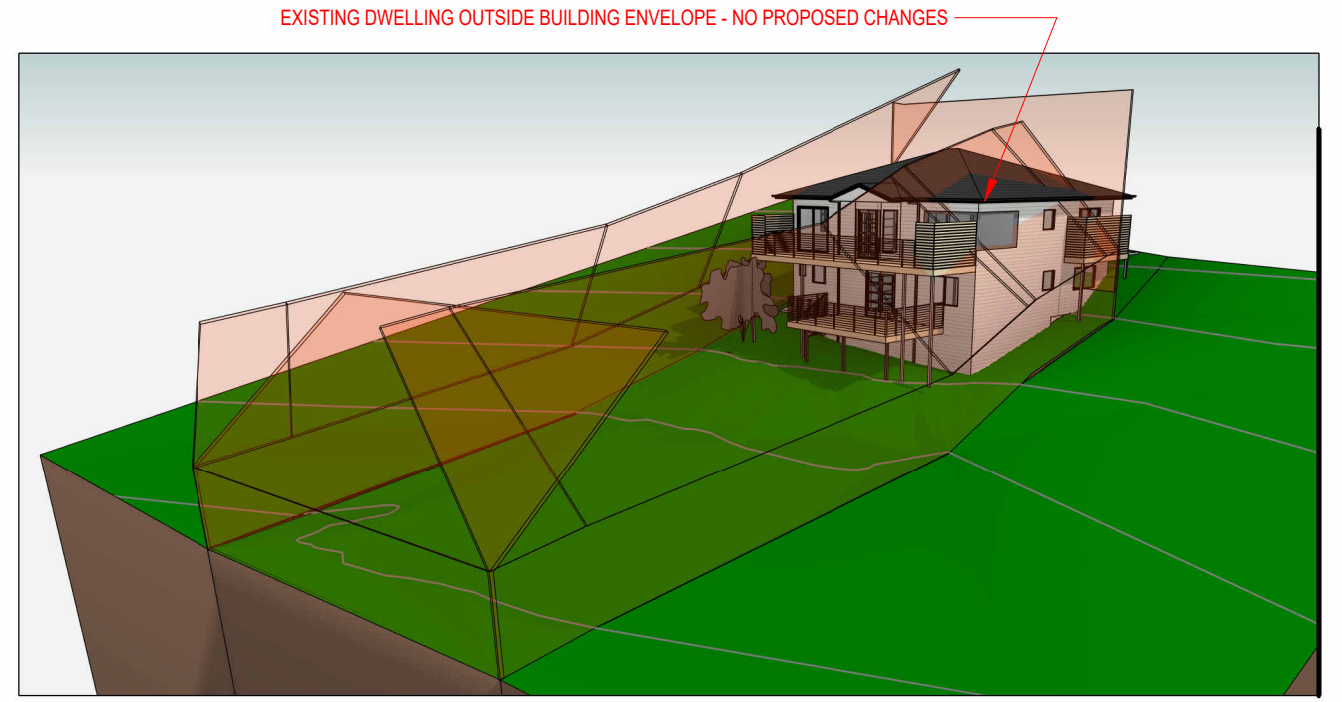
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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A303
							STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.	REVISION: A	
A	PLANNING APPLICATION	CDP	AGE	27.10.2025							
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							

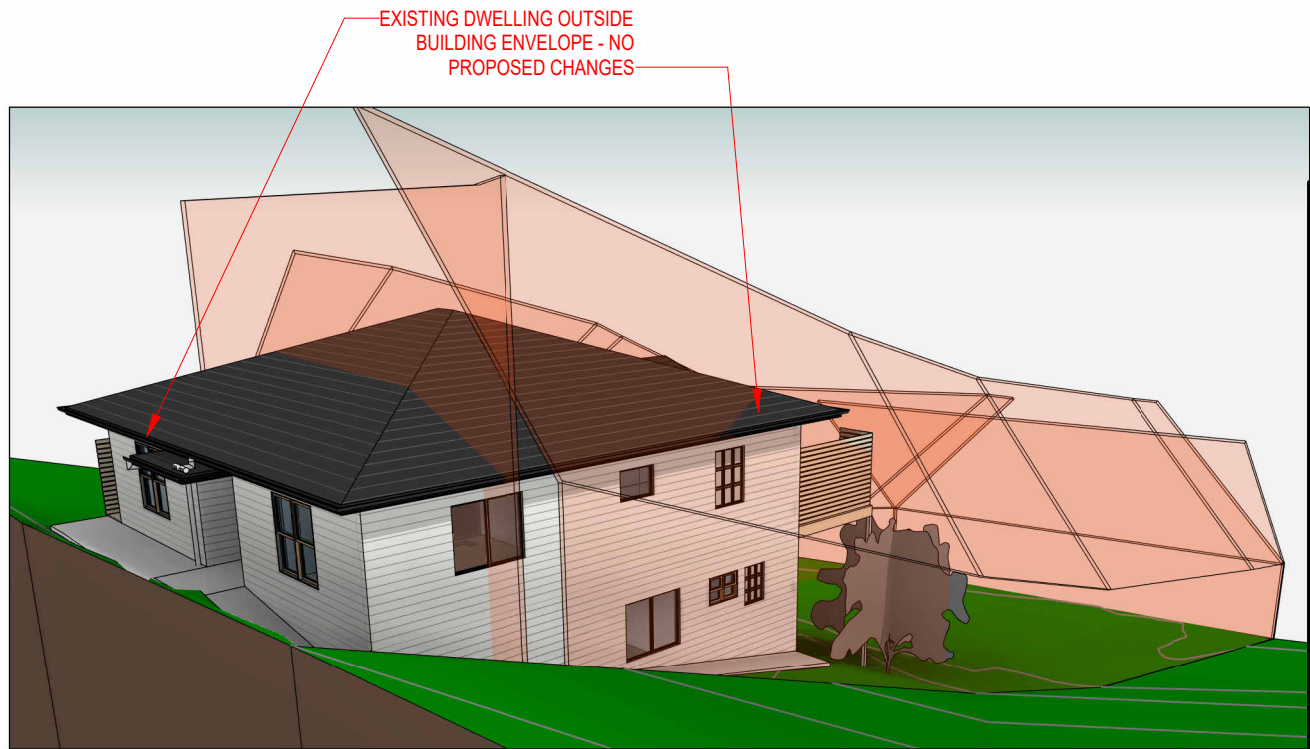


3D BUILDING ENVELOPE SIDE 1

BUILDING ENVELOPE



3D BUILDING ENVELOPE SIDE 2



3D BUILDING ENVELOPE SIDE 3

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A	PLANNING APPLICATION	CDP	AGE	27.10.2025
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE



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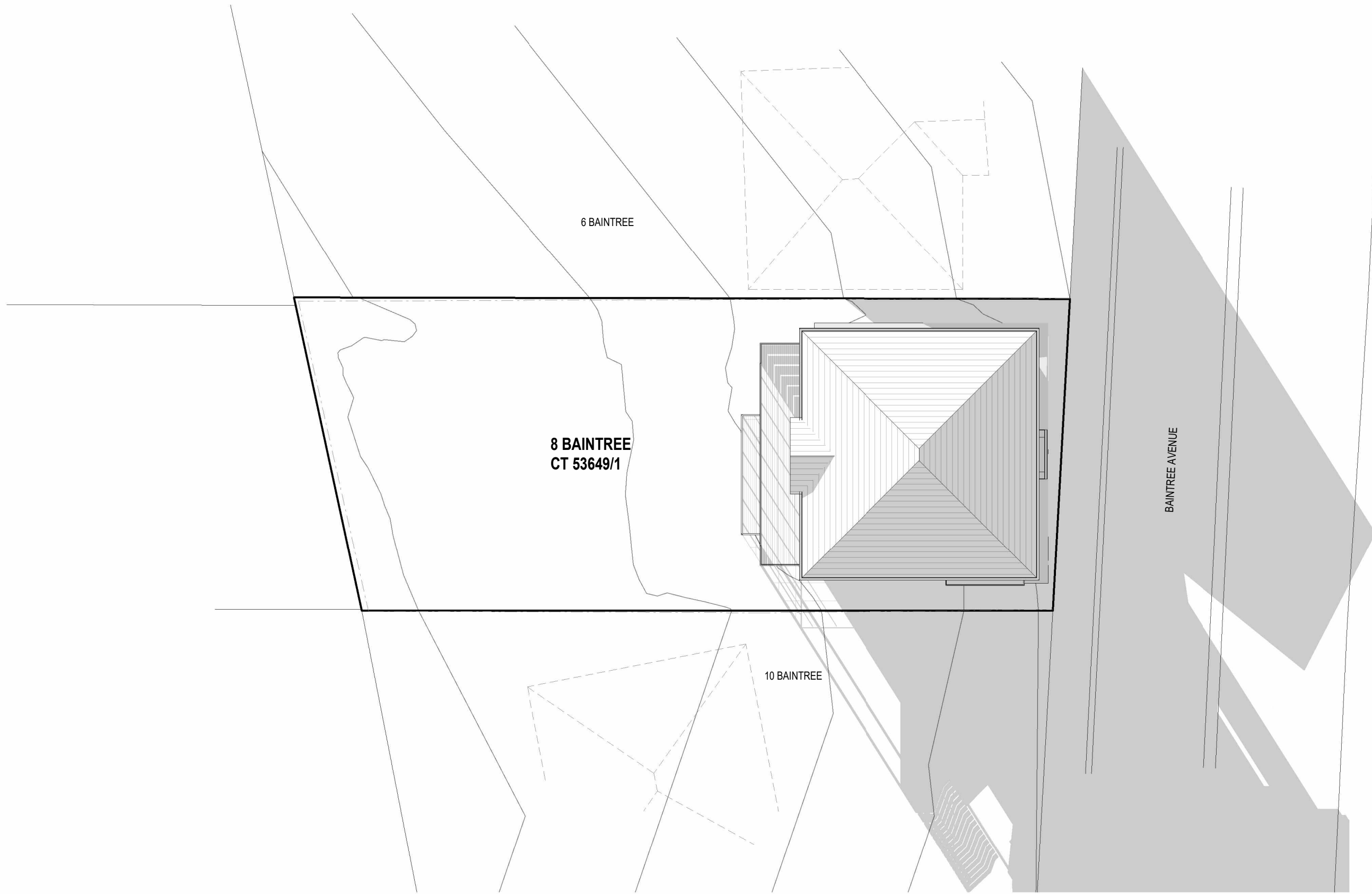
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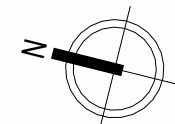
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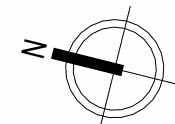
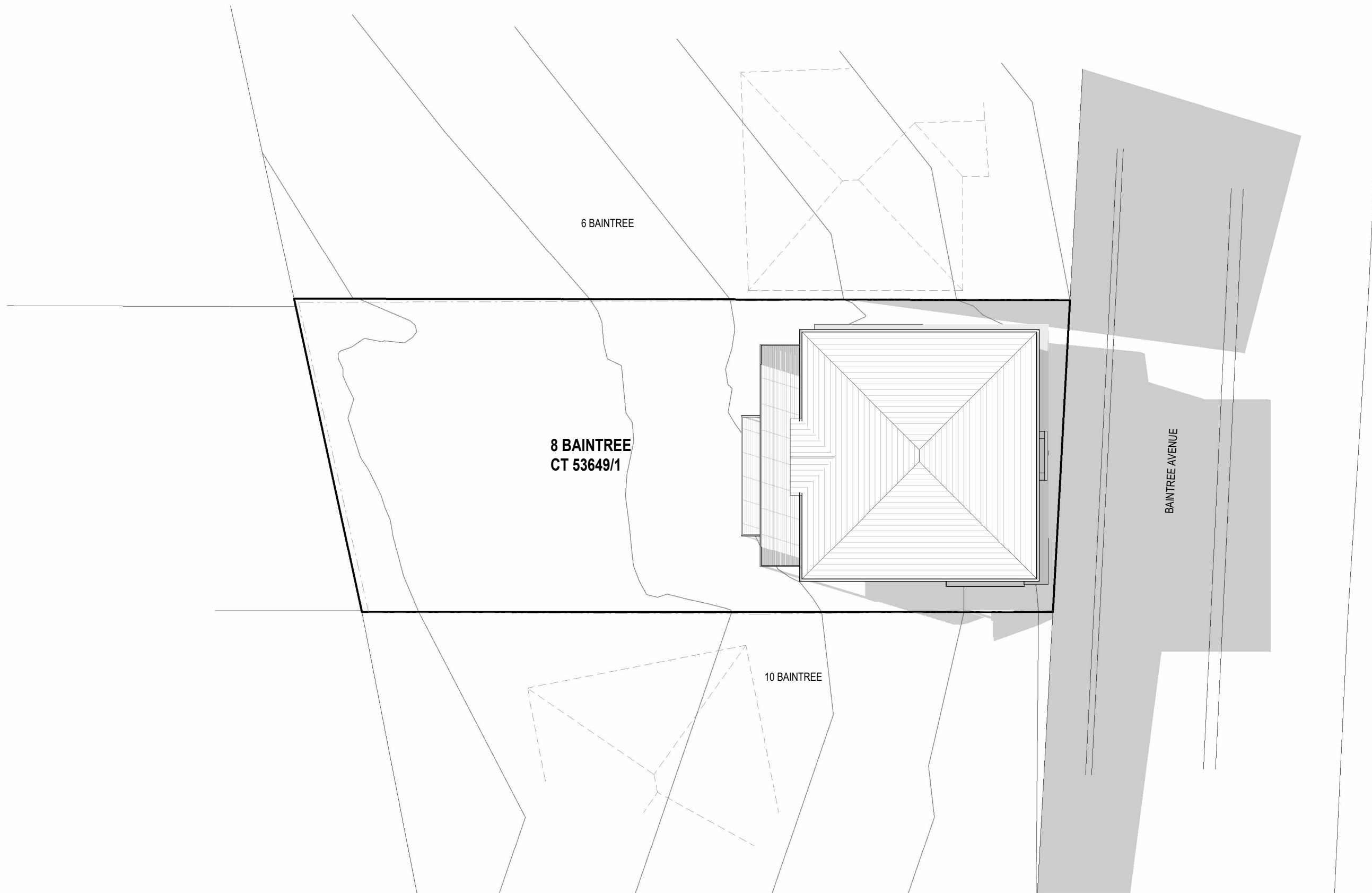
ENGINEER: AGE	SCALE:	PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005	DRAWING TITLE: 3D BUILDING ENVELOPE	
DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A304
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		
			REVISION: A	



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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A305
							STATUS: PLANNING APPLICATION	<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>			
A	PLANNING APPLICATION	CDP	AGE	27.10.2025							REVISION: A
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							



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REV	ISSUE DESCRIPTION	CDP	AGE	CHK	DATE
A	PLANNING APPLICATION	CDP	AGE		27.10.2025



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ENGINEER:
AGE

SCALE:
1 : 200

PROJECT:
8 BAINTREE AV, DYNNYRNE, TAS 7005

DRAWING TITLE:
SHADOW DIAGRAM 21 JUNE 12pm

DRAFTER:
CDP

SIZE:
A3:

CLIENT NAME:
ALEX & SHELLEY GRAEME-EVANS

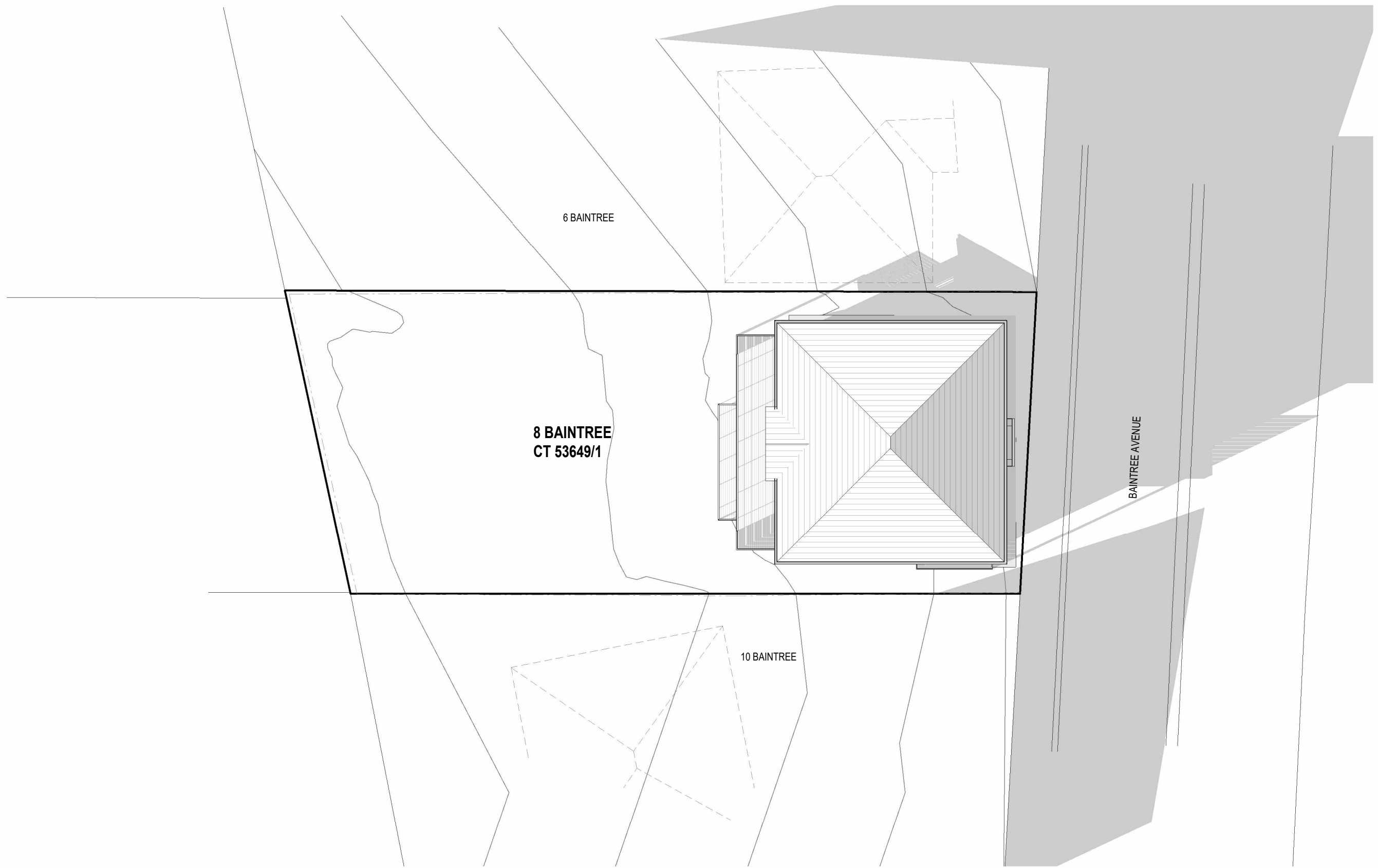
PROJECT No.
G25025

DWG No.
A306

STATUS:
PLANNING APPLICATION

NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REVISION:
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A	PLANNING APPLICATION	CDP	AGE	27.10.2025



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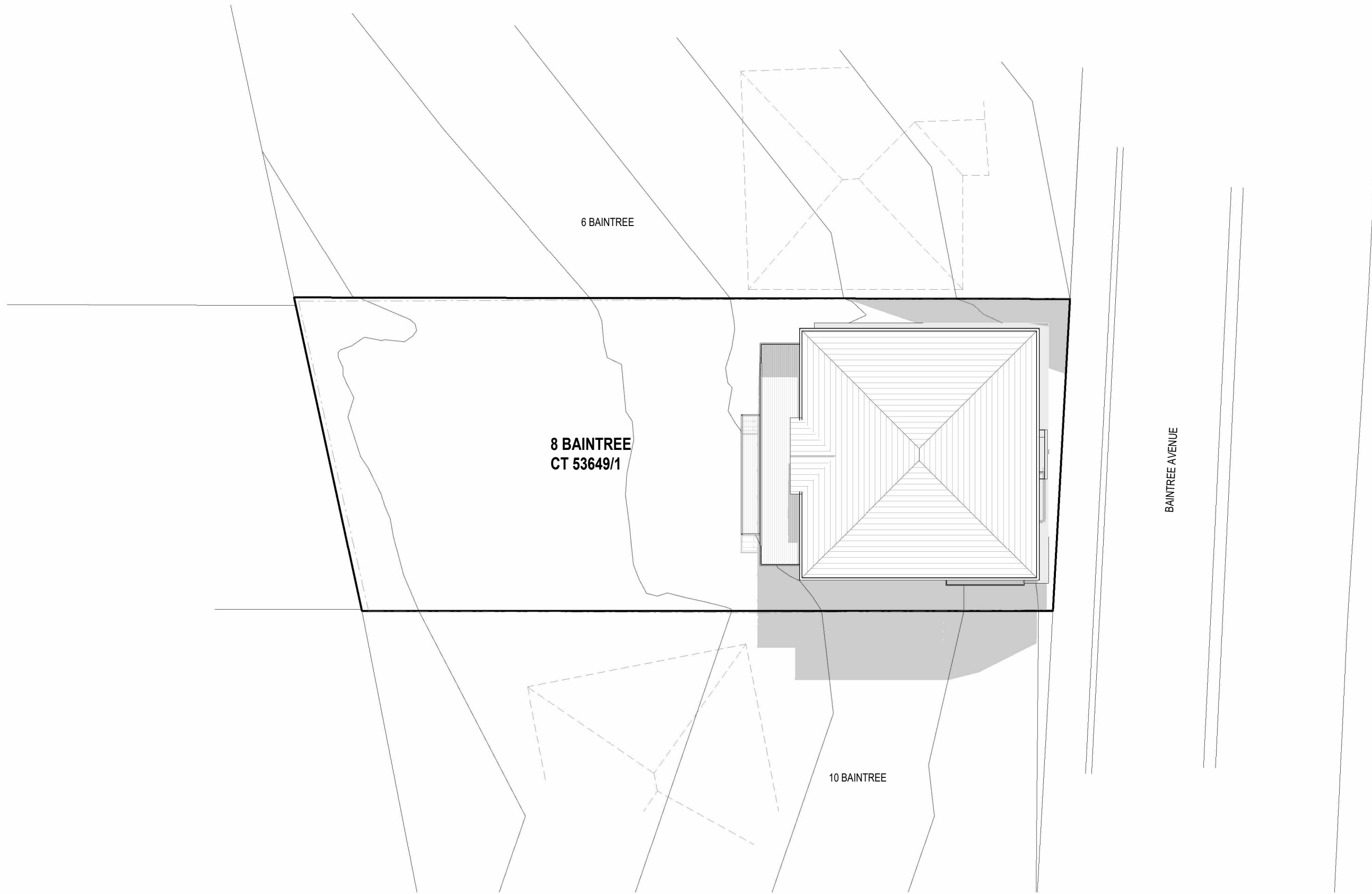
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ENGINEER: AGE	SCALE: 1 : 200	PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005	DRAWING TITLE: SHADOW DIAGRAM 21 JUNE 3pm	
DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A307
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.	REVISION: A	



NOTE:
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REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE
A	PLANNING APPLICATION	CDP	AGE	27.10.2025



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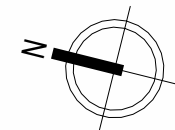
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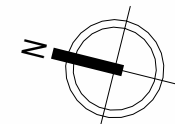
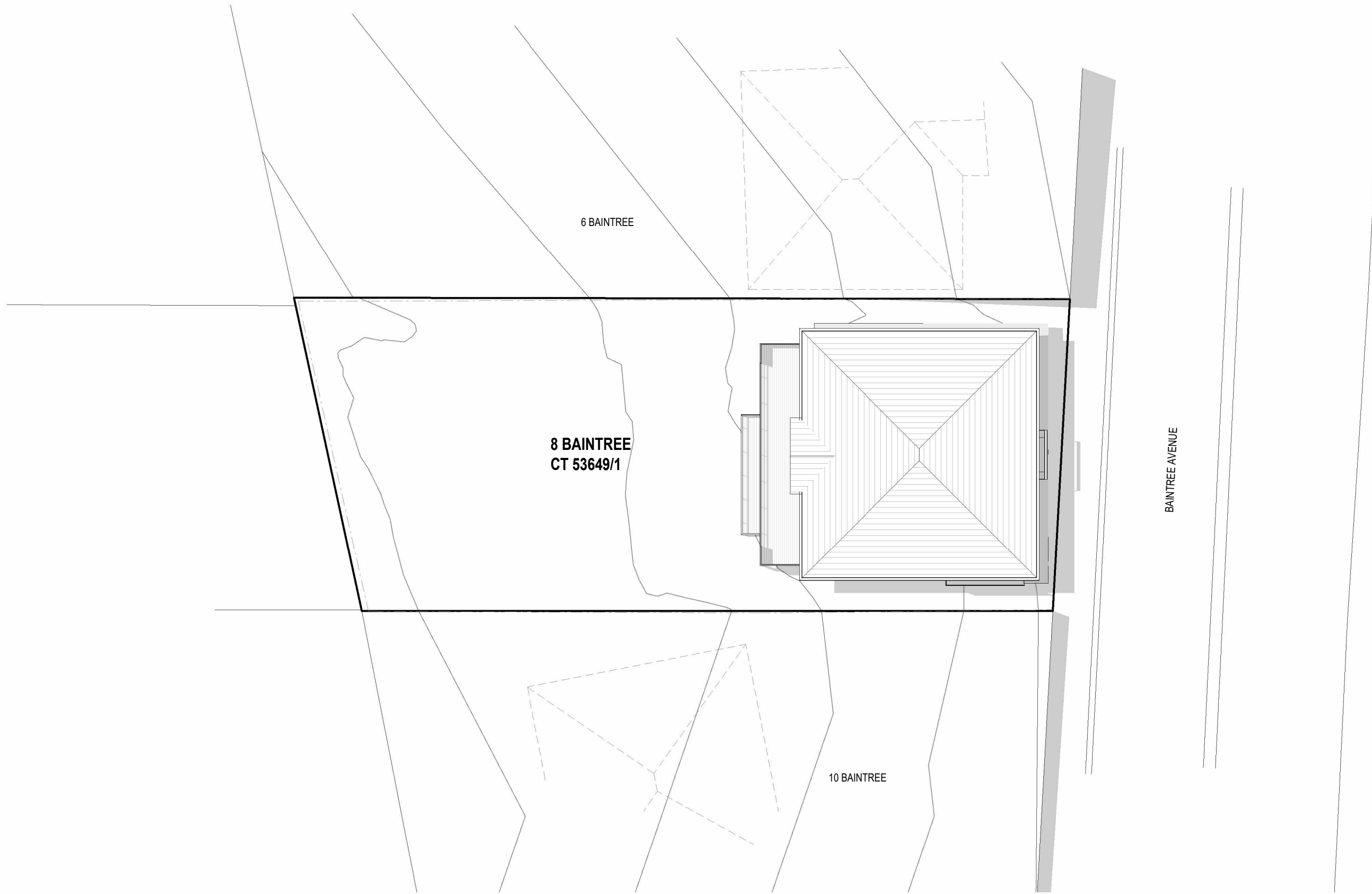
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ENGINEER: AGE	SCALE: 1 : 200	PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005	DRAWING TITLE: SHADOW DIAGRAM 21 DECEMBER 9am	
DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A308
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		
			REVISION: A	





NOTE:
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REV	ISSUE DESCRIPTION	CDP	AGE	CHK	DATE
A	PLANNING APPLICATION	CDP	AGE		27.10.2025
		DRAWN	CHK		

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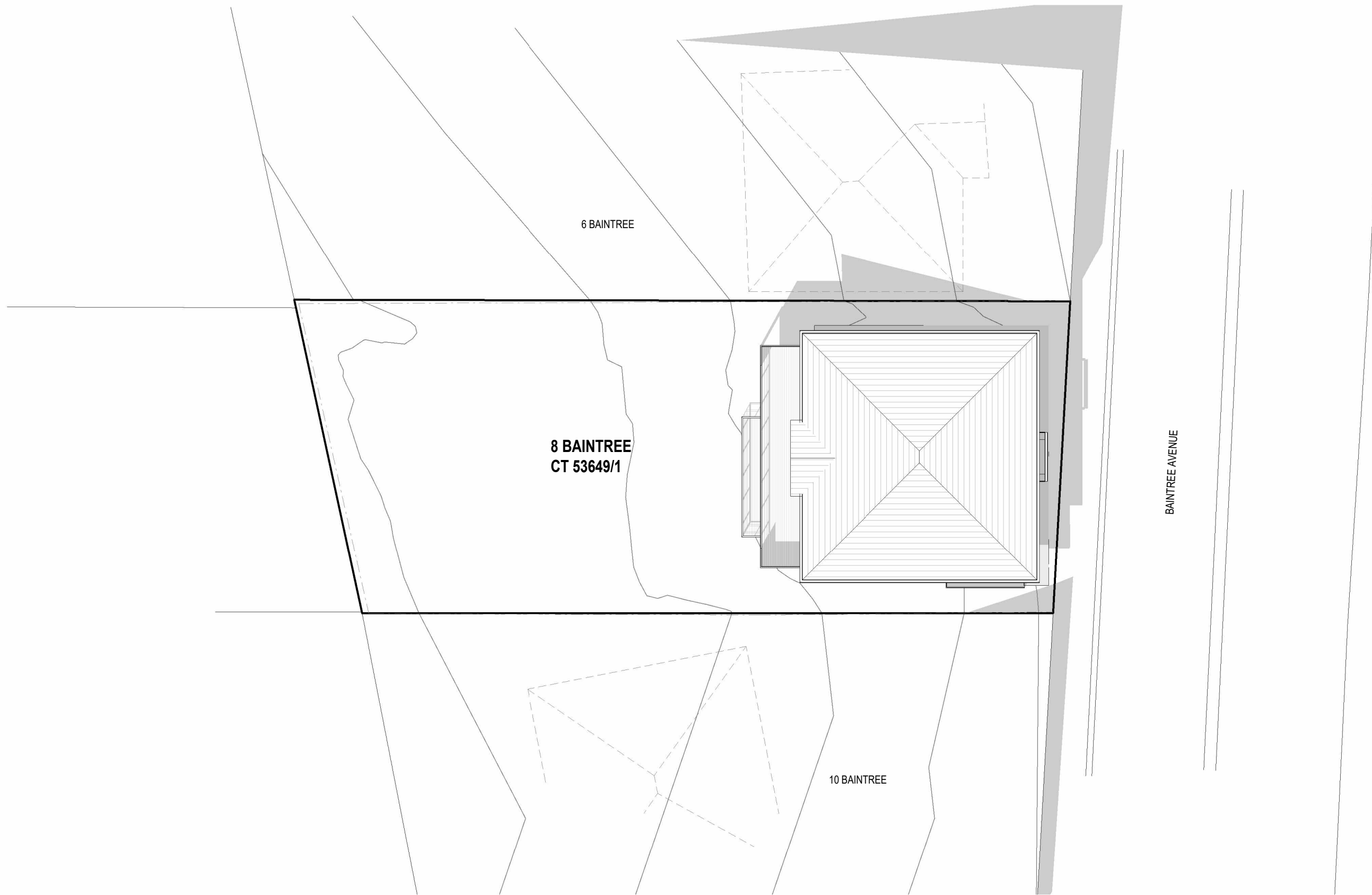
ENGINEER: AGE
DRAFTER: CDP
STATUS: PLANNING APPLICATION

SCALE: 1 : 200
SIZE: A3:

PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005
CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS

NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

DRAWING TITLE: SHADOW DIAGRAM 21 DECEMBER 12pm
PROJECT No. G25025
DWG No. A309
REVISION: A



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REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE
A	PLANNING APPLICATION	CDP	AGE	27.10.2025



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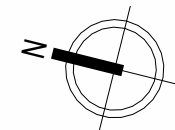
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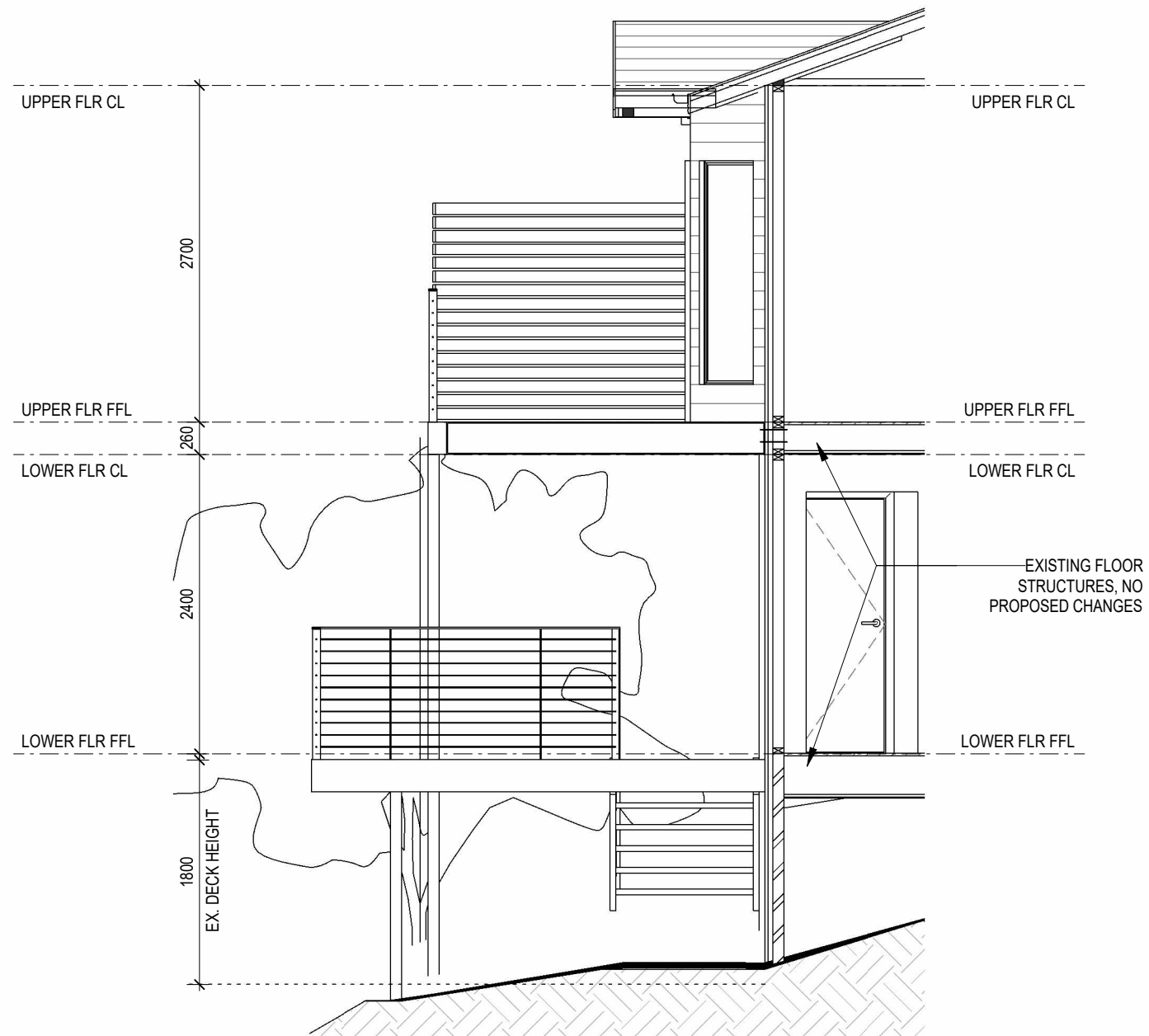
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ENGINEER: AGE	SCALE: 1 : 200	PROJECT: 8 BAINTREE AV, DYNNYRNE, TAS 7005	DRAWING TITLE: SHADOW DIAGRAM 21 DECEMBER 3pm	
DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A310
STATUS: PLANNING APPLICATION		NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		
			REVISION: A	





SECTION - A

SCALE: 1 : 50
SHEET: A202

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							DRAFTER: CDP	SIZE: A3:	CLIENT NAME: ALEX & SHELLEY GRAEME-EVANS	PROJECT No. G25025	DWG No. A400
							STATUS: PLANNING APPLICATION	NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		REVISION: A	
A	PLANNING APPLICATION	CDP	AGE	27.10.2025							
REV	ISSUE DESCRIPTION	DRAWN	CHK	DATE							