

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0672

Address

454 ELIZABETH ST NORTH HOBART TAS
7000

Titles

115964/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

115964/1

Total Area: 3277m²

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Wayne Daniels

Enter the date that the last owner, joint or part owner was notified

23/12/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Introduce contemporary amenities to Arcadie, including refurbished wet areas, a new ensuite, and an extension to the southern side of the property. Updating the driveway and front fence.

Will the proposed use or development involve a road reserve?

Yes - complete the section below

No - continue to the next section

Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

850000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	23 Dec 2025	Property Title Document	0 Folio Text 115964_0_1.pdf	Miss Georgina East
1	23 Dec 2025	Property Title Document	1 FOLIO PLAN 115964_0_1.pdf	Miss Georgina East
1	23 Dec 2025	Property Title Document	0 Short URDS Report 115964_0_1.pdf	Miss Georgina East
1	23 Dec 2025	Property Title Document	0 Long URDS Report 115964_0_1.pdf	Miss Georgina East
1	23 Dec 2025	Architectural Plans	Plans	Miss Georgina East
1	23 Dec 2025	Heritage Impact Assessment	Heritage Impact Statement	Bee Newman
1	14 Oct 2025	Other	Land Survey	ARTHUR MOEHRKE SURVEYS PTY LTD

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 115964	FOLIO 1
EDITION 2	DATE OF ISSUE 30-May-2023

SEARCH DATE : 23-Dec-2025

SEARCH TIME : 11.49 am

DESCRIPTION OF LAND

City of HOBART
 Lot 1 on Plan [115964](#)
 Derivation : Part of 13a.0r.30p. Gtd. to G. Bilton.
 Prior CT [2941/88](#)

SCHEDULE 1

[N127043](#) & [N127051](#) ASSENT to BERNARD BURCHAM RIDLEY WALKER
 Registered 30-May-2023 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [111934](#) BENEFITING EASEMENT: Right of carriageway
 (appurtenant to the land marked ABCD on Plan No.
[115964](#)) over Footway and Roadway shown on Plan No.
[115964](#)

UNREGISTERED DEALINGS AND NOTATIONS

N296696 PRIORITY NOTICE reserving priority for 90 days
 APP SEC99 MARY ELIZABETH WOOD, BERNARD
 RIDLEY WALKER,
 DAVID HENRY RIDLEY WALKER and SIMON BURCHAM RIDLEY
 WALKER as Personal Representatives for BERNARD
 BURCHAM RIDLEY WALKER
 TRANSFER MARY ELIZABETH WOOD, BERNARD
 RIDLEY WALKER,
 DAVID HENRY RIDLEY WALKER and SIMON BURCHAM RIDLEY
 WALKER as Personal Representatives for BERNARD
 BURCHAM RIDLEY WALKER to WAYNE KENNETH DANIELS
 MORTGAGE WAYNE KENNETH DANIELS to COMMONWEALTH
 BANK
 OF AUSTRALIA Lodged by WMM LAW on 03-Nov-2025
 BP: N296696

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 23-Dec-2025

SEARCH TIME : 11:49 am

CT: 115964/1

N296696 PRIORITY NOTICE reserving priority for 90 days

APP SEC99 MARY ELIZABETH WOOD, BERNARD

RIDLEY WALKER,

DAVID HENRY RIDLEY WALKER and SIMON BURCHAM RIDLEY

WALKER as Personal Representatives for BERNARD

BURCHAM RIDLEY WALKER

TRANSFER MARY ELIZABETH WOOD, BERNARD

RIDLEY WALKER,

DAVID HENRY RIDLEY WALKER and SIMON BURCHAM RIDLEY

WALKER as Personal Representatives for BERNARD

BURCHAM RIDLEY WALKER to WAYNE KENNETH DANIELS

MORTGAGE WAYNE KENNETH DANIELS to COMMONWEALTH

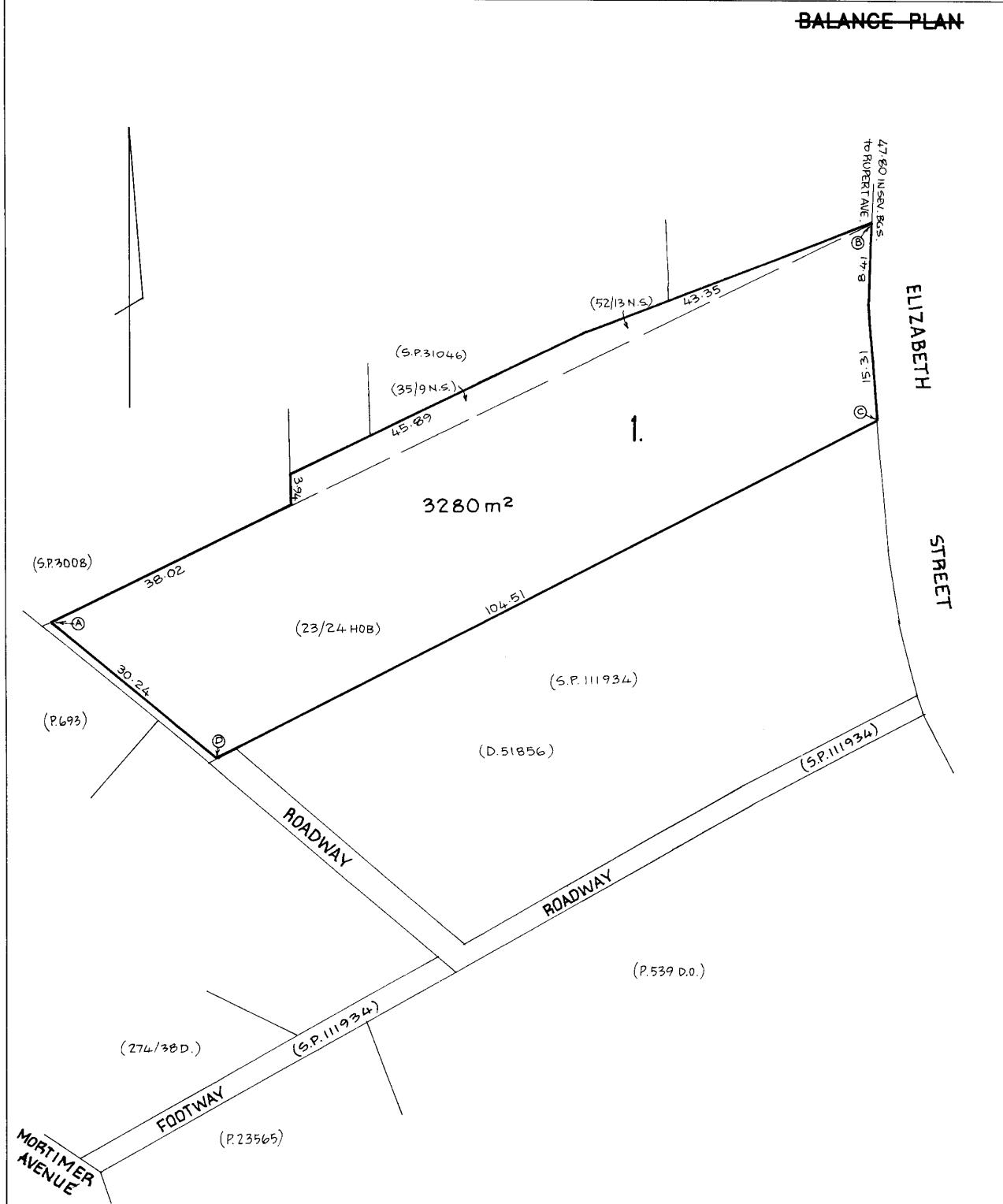
BANK

OF AUSTRALIA Lodged by WMM LAW on 03-Nov-2025

BP: N296696

OWNER		<p align="center">PLAN OF TITLE</p> <p>LOCATION</p> <p align="center">CITY OF HOBART</p>	REGISTERED NUMBER
FOLIO REFERENCE CT 2941-88			<p align="center">P115964</p>
GRANTEE		FIRST SURVEY PLAN No. 23/24 HOB, 35/9 NS, 52/13 NS.	APPROVED 16 JAN 1995
		COMPILED BY	<i>M. Phillips</i> Recorder of Titles
		SCALE 1: 500	LENGTHS IN METRES
MAPSHEET MUNICIPAL CODE No. Z1	LAST UPI No 2473	LAST PLAN No. 23/24 HOB, 35/9 NS, 52/13 NS.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

BALANCE PLAN



A-143

From: Wayne Daniels <waynekdaniels29@gmail.com>

Sent: Monday, January 5, 2026 4:22 PM

To: Richard Loney <richard@dock4.com.au>

Subject: Re: FW: 454 ELIZABETH ST | RFI

Hey Richard - I believe the request is for a declaration from the current Title Owner, Bernard Walker (deceased). I contacted the Land and Titles Office today and can confirm the new Title issued in the name of Mr Wayne Daniels won't be issued for another 4/6 weeks. After speaking with Mary from the HCC Planning Office I can confirm the following statement will suffice:

As required Under section 52 (1) of the Land Use Planning and Approvals Act 1993 I am pleased to advise that both David and Bernard Walker (acting as Vendors and executors to the estate of Mr Bernard Ridley Walker) have been notified of our intentions to submit a planning application for renovations at 454 Elizabeth Street, North Hobart in Tasmania. The correct reference for the Property in scope is Folio of the Register Volume 115964 Folio 1.

The property Settlement date was November 3 2025 and the new Title will be issued in the name of Mr Wayne Daniels in due course.

As the new owner I can also declare knowledge of the application and approve Dock4 Architecture to submit any future applications for the above mentioned property on my behalf.

Yours sincerely,

Wayne Daniels

Richard Loney
Dock4 Pty Ltd
Level 1, 100 Collins Street
HOBART, TAS 7000

10 FEBRUARY 2026

Town Hall, Macquarie St
GPO Box 503
Hobart, Tasmania, 7001

Dear Sir/Madam:

In response to the request for additional information for **454 ELIZABETH ST NORTH HOBART TAS 7000**. Application Reference - PLN-HOB-2025-0672

1 THC1 - Tasmanian Heritage Council

Please see document 260202_454 ELIZABETH ST_HERITAGE LETTER RFI

2 PLN - Amended plans

Please see provided drawing package. 260210_454 ELIZABETH STREET_RFI DRAWINGS

3 PLN - Amended plans

Air extraction, pumping, refrigeration systems or compressors: NA

Mechanical plant and other service infrastructure: NA

External lighting to illuminate external vehicle parking areas and pathways: Minimal lighting around the proposed garage and the new Courtyard space. To be designed at a later stage.

4 HER RFI1: Significant Tree

Please see the three documents listed below.

- *260210_HER RFI1 SIGNIFICANT TREE_ OWNER STATEMENT*
Statement has been prepared by the owners, Wayne & Katie Daniels.
- *260210_HER RFI1 SIGNIFICANT TREE_ JERRY ROMANSKI*
Statement prepared by Jerry Romanski (Tree Inclined)
- *260210_HER RFI1 SIGNIFICANT TREE_ PHILIP JACKSON*
Statement prepared by Philip Jackson (Arborist & Tree Management Services)

5 PLN - ENG - C2.6.2 - Parking and Sustainable Transport Code - Design and layout of parking areas

Please see provided drawing package and refer to drawing 1.12 - PROPOSED PARKING

6 STW - 6.11.2 (g) - Conditions and Restrictions on a Permit - Erosion, and stormwater volume and quality controls

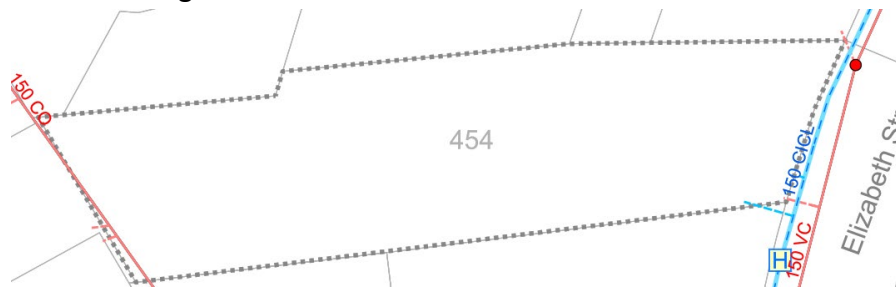
1 Impervious Areas (see drawing 1.11 - PROPOSED SW PLAN)

Existing: 680.21m²

Proposed: 978.80m²

2 To see the connection point to council stormwater infrastructure refer to Archers Underground report. (27012026 Rad-X Management Unit Trust, 454 Elizabeth Street, North Hobart)

3 See drawing 1.01 – SITE PLAN for the locations



4 We have designated an area for an above ground detention system to accommodate the flow of water from in the increased impervious areas. This system will be fully designed at a later stage by a hydraulic engineer. (See drawing 1.11 - PROPOSED SW PLAN for location)

Sincerely,

A handwritten signature in black ink, appearing to be 'Richard Loney'.

Richard Loney

Project Architect

Director | Dock4 Architects

Richard Loney
Dock4 Pty Ltd
Level 1, 100 Collins Street
HOBART, TAS 7000

2 FEBRUARY 2026

Tasmanian Heritage Council
GPO Box 618 Hobart
Tasmania 7000

Dear Russell Dobie:

In response to the notice of interest and request for additional information for **454 ELIZABETH ST NORTH HOBART TAS 7000**. Application Reference - PLN-HOB-2025-0672

1. Please provide details on the condition of the existing roof cladding and justification for replacement rather than repair, including evidence demonstrating that repair is not feasible.

The existing roof cladding has been assessed as defective as part of the pre inspection report provided by Paul Kleywegt, Accredited Builder Low Rise CC 4045 J - Building Evaluate (AS 4349.1 - 2007).

Evidence of water ingress is present internally, including water staining observed to Bedroom 2 and the ground floor dining room and sunroom. These conditions indicate ongoing failure of the roof system.

Externally, the roof sheeting is in poor condition, exhibiting distortion, corrosion and loose fixings, as documented in the accompanying photographs. These defects compromise the weatherproof integrity of the roof and cannot be adequately addressed through isolated or localised repairs.



Inspection of the roof void has identified corrosion to the underside of the roof sheeting in multiple locations, further confirming the extent of material degradation. This corrosion is

consistent with prolonged moisture exposure and indicates systemic failure rather than isolated defects.

In addition, there is no vapour permeable membrane (sarking) installed beneath the roof sheeting. The absence of sarking increases the risk of condensation build-up and prevents secondary protection against minor roof leaks, further exacerbating the deterioration of the roof structure and internal finishes.



Extending the service life of the existing roof sheeting is not considered feasible given its age and current condition. Repair would require removal of the existing corroded sheeting to allow for the installation of sarking, undertaking repairs to damaged framing, and reinstating any sheeting deemed salvageable. This approach carries significant risks, including further damage during removal, ongoing performance issues, and reliance on materials with a limited remaining service life.

From a practical and economic perspective, this approach is not considered reasonable. The estimated cost to scaffold the existing roof and undertake renewal works consistent with the proposal is approximately \$25,000. It would be unreasonable to expect the ongoing maintenance and risk management of a roof of this scale and condition, particularly where repair does not provide a durable or long-term outcome.

Full replacement of the roof cladding is therefore justified on the basis of condition, performance, risk and cost. The proposed replacement will maintain the original roof colour (**Heritage Red and Classic Cream**), sheet layout and overall appearance, ensuring that the

heritage character of the building is preserved while providing a durable, compliant and long-term solution.

2. Please provide justification for the demolition of the original servery joinery, and original built-in wardrobes on the 1st floor (all identified as original fabric of high significance), including why the joinery cannot be retained or reconfigured in situ, or how the fabric will be meaningfully reused in the proposal (as per the Heritage Impact Assessment).

Servery Joinery

The removal of the original servery joinery is proposed to improve the functional planning of the dwelling while retaining an understanding of the original layout. A bulkhead between the former dining room and kitchen is to be retained as a subtle interpretive element, allowing the historic separation of spaces to remain legible. The Servery has been altered already (the painting over the glass and the laminate on the inside) as well as rough functioning of the sliding doors, lower build quality and not a good technical example of the period.



Removal of the servery enables a more contemporary domestic layout, improving visual and physical connections between the living, dining and kitchen areas and strengthening their relationship to the proposed extension, garden setting and access to natural light. This improved functionality supports the ongoing residential use of Arcadie, which is critical to the long-term conservation and viability of the place. Retention or reconfiguration of the servery joinery in situ would compromise the functionality of these spaces and is therefore not considered feasible. (For additional information refer to the Heritage Impact Statement Prepared by Bee Newman)

Hallway Joinery – Ground Floor

The proposal for the ground floor hallway joinery to be reconfigured to provide a more practical storage functional solution and a higher build quality. The existing timber will be stored and reused where possible in the new design (doors to be used in the new joinery) and the new design will be sympathetic to the design style of the original unit. The full design will be done later in the project and shop drawings will be supplied to Heritage Tasmania.

Original Built-in Wardrobes – First Floor

Within the private bedroom spaces, the removal of the original built-in wardrobes is proposed to improve functionality. The wardrobes are scribed over skirting boards, with internal wall surfaces behind exhibiting only a thin paint finish, indicating that removal can occur with minimal impact to original fabric. Note the wood seems different from the doors, skirting and other timber details and of a lower build quality.

New joinery elements will be designed to be sympathetic to the existing heritage fabric and will be scribed around existing skirtings and mouldings. This approach ensures that original interior finishes of heritage value are retained and not altered or removed.

The original hallway joinery on the first floor is of a similar quality and can be removed with minimal impact to original fabric. It will be replaced with a larger more functional unit and will be sympathetic to the design style of the original unit.

3. Please confirm the material and colour of the new garages (vehicle and access doors).

The new garage will be constructed using bricks to match the existing dwelling and garage (Red clay bricks with off white mortar joints). Reclaimed bricks will be prioritised for use on the outdoor fireplace and making good existing walls that are to be retained and bricked in on the existing residence.

The garage roof will be clad in metal roof sheeting in **Heritage Red**, to match the existing house roof.

As per the house and existing shed the "vehicle and access doors" will be finished in **Classic Cream**. Construction material will be colorbond steel.

4. Please nominate the material and colour(s) for the fascia board and rainwater goods to the proposed garage.

Roof sheeting will be Heritage Red, Gutter and Facia Classic Cream, Downpipes in Heritage Red as per the existing home and garage.

5. Please provide a detailed construction drawing showing how the proposed addition and steel window box will connect to the heritage building (as referred to in the Heritage Impact Assessment).

Please refer to drawing number 3.01 - DETAIL 1

6. Please nominate colours for the following external elements of the proposed addition:

- (i) door and window frames; and*
- (ii) steel window box; and*
- (iii) roof trims, flashing and rainwater goods.*

(i) All external door and window frames to the proposed addition will be finished in black.

(ii) The steel window box will be finished in black.

(iii) Roof trims, flashing and rainwater goods associated with the proposed addition will all be finished in black.

Sincerely,



Richard Loney
Project Architect
Director
Dock4 Architects

Heritage Impact Statement

***Arcadie* Alterations & Extensions**

454 Elizabeth Street, North Hobart, Tasmania, 7000.

Nipaluna, Country of the Muwinina people, Lutruwita.

Prepared for Wayne & Katie Daniels

Prepared by Bee Newman, Next 50
PO BOX 16, North Hobart, Tasmania, 7002

Version: February 2026

CONTENTS

1. INTRODUCTION	2
1.1 BACKGROUND	2
1.2 LIMITATIONS	2
2 SITE DESCRIPTION	3
2.1 SITE CONTEXT	3
2.2 HISTORY OF <i>ARCADIE</i>	4
2.3 TIMELINE OF KEY EVENTS	10
2.4 STATUTORY SIGNIFICANCE	11
2.5 STATEMENT OF SIGNIFICANCE (NON-STATUTORY)	11
2.6 CONSERVATION MANAGEMENT PLAN	11
3 ASSESSMENT METHODOLOGY	12
3.1 DESCRIPTION OF THE SCOPE OF WORKS	12
3.2 ASSESSMENT AGAINST THE WORKS GUIDELINES	23
3.3 SUMMARY OF ASSESSMENT	33
3.4 HERITAGE RECOMMENDATIONS	33
4 LIST OF FIGURES AND TABLES	34
4.1 LIST OF FIGURES	34
4.2 LIST OF TABLES	34
5 REFERENCES	35
6 APPENDICES	36
6.1 APPENDIX A	36
6.2 APPENDIX B	37

1. INTRODUCTION

1.1 Background

Wayne and Katie Daniels commissioned Next 50 Architects to prepare this Heritage Impact Statement (HIS) to accompany a Development Application for the proposed **Alterations & Additions** at **Arcadie**, 454 Elizabeth Street, North Hobart, TAS 7000, located on Certificate of title Reference 115964/1 with Property ID 5497239.

Arcadie is permanently registered on the **Tasmanian Heritage Register (THS ID Number: 146)** as a place of historic cultural heritage significance to the State of Tasmania in accordance with the Historic Cultural Heritage Act 1995 (TAS). The property is also identified as a **Local Heritage Place (HOBC6.1.1175)** in table C6.1 of the Hobart Local Provisions Schedule of the Tasmanian Statewide Planning Scheme. *Arcadie* does not have a National Heritage List (NHL) listing.

The assessment is based on the following:

- Architectural Drawings, prepared by Dock 4 Architects (see Appendix A).

This report was prepared by Bee Newman of Next 50 Architects. Bee holds a Bachelor of Environmental Design, a Master of Architecture and a Graduate Diploma of Archaeology and Heritage Management.

1.2 Limitations

The property is located within the bounds of the **Hobart City Council** Urban Mixed Zone which formally adopted the Tasmanian Planning Scheme 26/08/2025. Under clause C6.2.3 of the *Tasmanian Planning Scheme - State Planning Provisions (TPS-SPP)*, the Local Historic Heritage Code does not apply to this site as it is permanently entered on the Tasmanian Heritage Register, except in relation to the lopping, pruning, removal or destruction of a significant tree as defined by the Code. As no works are proposed to any significant trees, the requirements of C6.6 - Development Standards for Local Heritage Places are not applicable and accordingly are not addressed in this Heritage Impact Statement.

This report considers only the registered built heritage of *Arcadie*. It does not assess potential impacts on archaeological features, cultural landscapes, or Aboriginal heritage values within the site, as these fall outside the defined scope of this assessment.

2 SITE DESCRIPTION

2.1 Site Context

The site is located at 454 Elizabeth Street, North Hobart (CT 115964/1). The title is rectangular in form, orientated east–west, and is accessed from Elizabeth Street along its eastern boundary (**Figure 1**). The property is situated approximately 400 m north of the edge of the present North Hobart shopping precinct.

The land has a total area of 3,277 m² and comprises an established landscaped setting with mature plantings. The principal dwelling, *Arcadie*, is positioned centrally within the allotment. Vehicular access is provided via a driveway running along the northern side of the residence, via a garage situated near the north-western corner of the site. A central opening in the boundary frontage provides direct access to Elizabeth Street.



Figure 1: Aerial view of the site showing the title boundaries of Arcadie. Image sourced from Google Maps, 2025.



Figure 2: View of Arcadie from Elizabeth Street. Note central gate, roof top in background and significant tree to the right of the image. Photograph taken from google street view May 2024.



Figure 3: Photograph of Arcadie primary elevation from within property boundary. Photograph from realestate.com.

2.2 History of Arcadie

The land on which *Arcadie* now sits originally formed part of a larger grant to George Bilton. The subject deed was issued in 1838 (Tasmanian Lands Titles Office 1838, Historic Deed 02/2022) which occupied the area between Augusta Road's western side and the northern end of Elizabeth Street, at the juncture where the roadway becomes New Town Road (**Figure 4**).



Figure 4: Boundaries of Arcadie overlaid on the Town Grant Chart – New Town No. 13 (1899).

The entirety of the land was sold to John Swan in 1871 for £500 (Tasmanian Lands Titles Office 1896, Historic Deed 05/7726) and at that time included the property known as *Beaulieu*, located in the north-mid corner of the holding and still extant and entered on the Tasmanian Heritage Register (#THR 2738). The land subsequently changed ownership on several occasions, including transfers within the Swan family and to Russell Young in 1896 (Tasmanian Lands Titles Office 1896, Historic Deed 06/1506). Following Young's death in 1913 (Tasmanian Archive and Heritage Office 1913, BU 18163) the land was likely sold or inherited and then subdivided by the Brent family, with Herbert Edward Simmons purchasing the subject land on 2 August 1919 (Tasmanian Lands Titles Office 1919, Historic Folio 262/121) (**Figure 5**).



Figure 5: The plan from the Certificate of Title record (90688/-1) with the transfer of land from Henry Robert Brent and associates to Herbert Edward Simmons on 2 August 1919. The land acquired under this transfer includes the sites of both Arcadie and the later residence constructed for Simmons' mother and was subsequently subdivided to create the separate allotments on which these houses were developed.

Arcadie was designed by Hobart architect Bernard Ridley Walker (1884 – 1957) in 1924 under Hutchinson and Walker Architects, Engineers and Surveyors for Mr Simmons. A photograph of the original blueprints (later modified) for the house describes 'Proposed Residence at New Town for H. E. Simmons Esq.' (Figure 7).



Figure 6: Photograph of H.E. Simmons taken at the Tasmanian Exhibition in 1894 (Libraries Tasmania 1894)

Hobart solicitor Herbert Edward Simmons (1865–1963) (Figure 6) and his wife Edith Emily Simmons (née Seabrook) were a prominent Hobart family. Simmons was a long-standing partner in the legal firm that later became Simmons, Wolfhagen, Simmons & Walch, while Edith was a leading figure in the Tasmanian Y.W.C.A. (Youth Women's Christian Association) and active in wider philanthropic and missionary endeavours. Contemporary newspaper accounts record that Mr and Mrs Simmons frequently hosted garden fetes and fundraising events at Arcadie, including those in support of the London Missionary Society (The Mercury, 1927; The Mercury, 1933).

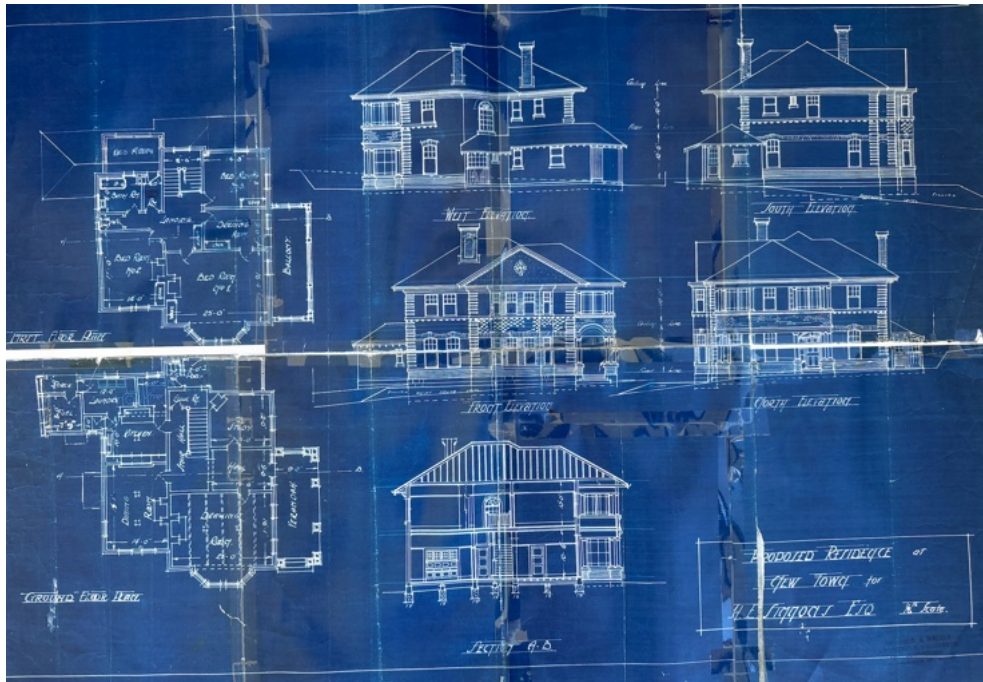


Figure 7: Photograph of Arcadie blueprint design by Walker. Photograph provided by Katie Daniels.

Arcadie is a substantial two-storey brick residence set within a large urban allotment of established gardens with mature trees, following the architect's Arts and Crafts influenced approach through its principal hipped roof, projecting gable with stuccoed panels, double-hung windows, panelled verandah entry, careful proportions, and restrained yet resolved expression of structure and materials.

The architect Bernard Walker is also responsible for the design of the two properties immediately adjoining *Arcadie*. In 1919 he designed *The Elms* (452 Elizabeth Street), a two-storey Federation Arts and Crafts residence commissioned by Mr Albert Flexmore, located to the south of *Arcadie*. To the north, in 1935, he designed 458 Elizabeth Street, a single-storey inter-war bungalow with strong Arts and Crafts and Federation influences, constructed for the mother of Mr Herbert E. Simmons of *Arcadie* (Architecture BRW Solutions n.d.) (**Figure 8, Figure 9**). Designed over a sixteen-year period, the houses, while distinct in appearance, collectively reflect the gradual development of the architect's approach and stylistic exploration over time.



Figure 8: Adjacent houses designed by Walker. Diagram by author from google maps image.



Figure 9: The Elms 452 Elizabeth street (image left) and 458 Elizabeth street (image right) designed by Walker. Images from realestate.com.

Arcadie has undergone at least one modest renovation, involving an addition to the rear upper level, as evidenced in the blueprint drawings where original room labels have been erased and a revised bedroom layout overlaid. This documentary evidence corresponds with the physical fabric observed on site, where the room is set at a lower level than the remainder of the upper floor and there are traces of altered openings (**Figure 10**) on both upper and lower levels. The bedroom addition is generally consistent with the architectural language of the existing house, although it incorporates sliding timber windows, and, given that the alterations were made directly onto the original blueprint drawings and Walker’s continued involvement with the family, including the design of Simmons’ mother’s house in 1935, it is likely that the works continued to be overseen by Bernard Walker.

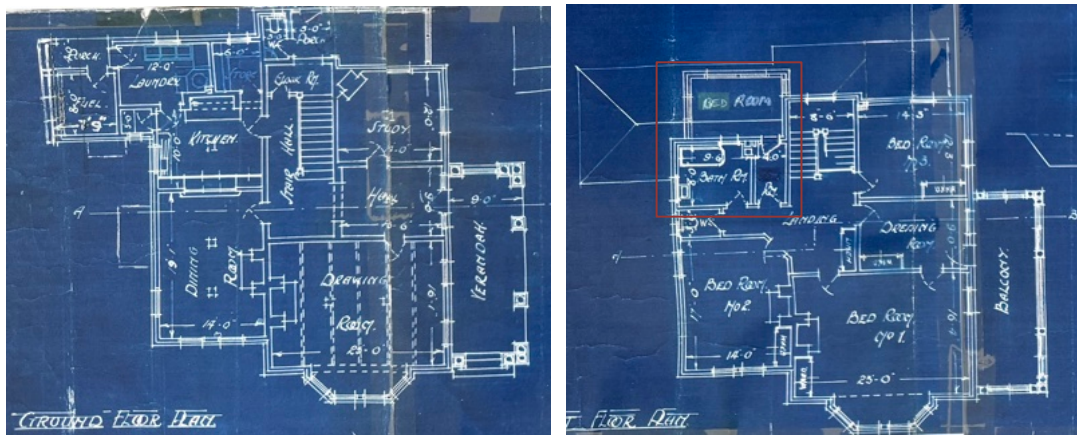


Figure 10: Photograph of Arcadie blueprint design by Walker with extension bedroom, and change of use of hall access highlighted. Photograph provided by Katie Daniels.

The verandah entry has been reoriented from its original position on the east (short) elevation, as shown on the original blueprints, to a central position along the long elevation at an unknown time. The former large step on the east elevation remains visible within the garden and is consistent with the original plans.

Other alterations evident in the surviving fabric dating to the c. 1950s include the blocking of a former store off the kitchen to facilitate bathroom access via the porch WC on the ground floor; replacement of the laundry window; renovation of the upstairs bathroom; and replacement of the upper portion of the boundary fence with a steel design.

Later changes include kitchen updates, downstairs bathroom renovation, removal of the original kitchen fire to allow for benchtop installation, and associated laundry upgrades (c. 1980s). Wallpaper and paint finishes throughout.



Figure 11: 26 March 1946 Aerial Photograph indicating present structures at that time. (a) Main residence, (b) Garage, (c) Small structure, (d) shed.

In a 1946 aerial photograph of the property (**Figure 11**), several structures that remain on the site today can be identified, including: (a) the main residence, incorporating the western bedroom extension; (b) a garage located toward the front of the property; (c) a pergola garden structure; and (d) associated sheds and toilet facilities. The physical evidence observed on site indicates that these ancillary structures are consistent with the early development of the property and form part of the initial phase of the design.

Bernard Ridley Walker (1884 – 1957) – Hobart Architect

Bernard Ridley Walker was a prominent Hobart architect active in the first half of the twentieth century, described by McNeil & Wooley and as one of the last “gentleman architects” (2002). A grandson of Quaker businessman and philanthropist George Washington Walker, he was part of a family closely associated with *Narryna* and the founding of The Friends’ School in Hobart.



Figure 12: Photograph of Bernard Walker (Architecture BRW Solutions n.d.).

While Walker is best remembered for the Hobart Cenotaph and the Friends' School portico, his domestic practice was prolific and "defined" early twentieth-century development in parts of Sandy Bay and New Town. Walker's work is closely associated with the adaptation of Federation and inter-war styles in Tasmania, often filtered through Arts and Crafts principles - emphasis on good proportions, honest expression of structure and materials (especially local timbers and brickwork), well-resolved planning and finely handled but generally restrained ornament.

The following information has been taken from the website "Bernard Ridley Walker" online project www.architecture.brwsolutions.com.au. Walker trained in Hobart with A. C. Walker (no relation) and Salier, and later joined the engineering and surveying practice Huckson & Hutchison, eventually forming the long-running partnership Hutchison & Walker. Between 1911 and 1913 he undertook further study and travel in London, where he was strongly influenced by the British Arts and Crafts Movement; this influence is evident in his careful use of local materials, crafted detail and generally restrained ornamentation.

During the First World War Walker served with the Australian Imperial Force in the medical services from 1917 to 1919, including service in France. After returning to Hobart he resumed practice and developed a substantial domestic and institutional portfolio, becoming architect to The Friends' School during a major phase of rebuilding between 1924 and 1937. He was also active on various public bodies, including the Scenery Preservation Board, and retired from practice in 1955.

Most of Walker's professional drawings were destroyed on his retirement, but a significant body of surviving material - including plans, photographs, diaries, sketchbooks and an index of works - is held by the Tasmanian Archives in multiple series (e.g. NS1963, NS5175-77, NS5187-90, NS5202-06, NS5400-01, NS5405-08, NS5410).

2.3 Timeline of Key Events

1838	Land granted to George Bilton
1871	April 29 Land sold to John Swan (merchant) for £500 including the property 'Beaulieu' from Bilton.
1896	January 1 Land sold to Russell Young (solicitor) from Swan.
1913	July 1 death of Russell Young, property passed to his estate. Land was either sold or distributed by will to the estate of surname Brent.
unknown	Transfer to Robert Henry Brent and others.
1920	August 2 Portion of the land purchased by Hebert Simmons (solicitor) from Brent.
1924	Architectural plans prepared by Bernerd Ridley Walker for Herbert E. Simmons.
1927	November 29, Garden Party held by Mr & Mrs Herbert Simmons to raise funds for London Missionary Society
1933	April 23, Garden Party held by Mr & Mrs Herbert Simmons to raise funds for London Missionary Society
1935	Bernard Walker designs an adjacent residence (to the north) for Mr. Herbert Simmon's mother.
unknown	Occupation of the property by Mr and Mrs Norman Farrer .
1941	April 23, Engagement announced of the daughter of Mrs V Farrer and Norman Farrer, of <i>Arcadie</i>
1944	January 12, Wedding reception held at <i>Arcadie</i> for Valma R. Farrer to Cpl Peter Ross Day, RAAF.
1972	Purchased by the Jim and Jane Walker , descendants of architect Bernerd Walker.
2025	Purchased by Wayne and Katie Daniels

Summary

The historic deed documents contain no reference to any dwelling or other structures on the land prior to its subdivision in 1919, suggesting it is unlikely that a house occupied the site before that time. *Arcadie* was designed in 1924 by Hobart architect Bernard Ridley Walker for solicitor Herbert E. Simmons and is a substantial Arts and Crafts - influenced brick residence characterised by careful proportions, honest expression of structure and materials, restrained ornament, and a well-resolved domestic plan. The house has remained in continuous residential use since its construction and has also served as a social and philanthropic setting for community and charitable events, with only limited alterations that are largely consistent with the original design intent. The property retains its substantial garden setting with mature plantings as a key component of its heritage significance.

2.4 Statutory Significance

The Tasmanian Heritage Register datasheet for THR #146 (Tasmanian Heritage Council 2009; see also Appendix B) identifies significance in accordance with the *Historic Cultural Heritage Act 1995* under criteria (d) and (f). No data is recorded for criteria (a), (b), (c), (e), (g), or (h).

(d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.

Arcadie is of historic heritage significance for its ability to demonstrate the principal characteristics of a two storey brick Federation Free Style building in its garden setting.

(f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.

This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.

2.5 Statement of Significance (non-statutory)

The Tasmanian Heritage Register datasheet for *Arcadia* THR #146 (Tasmanian Heritage Council 2009; see also Appendix B) does not include a formal *statement of significance* (non-statutory summary), but it provides the following registered information:

Setting:

This building is a significant element in the urban streetscape.

Description:

A building set on a large urban allotment with established gardens. The garden features many mature trees dating from the development of the building. The house features a projecting gable with stuccoed panels, a principal hipped roof, double hung windows and panelled entry off a verandah.

History:

Designed by Hutchinson and Walker Architects, Engineers and Surveyors for H E Simmons Esquire in 1924.

2.6 Conservation Management Plan

There is no known Conservation Management Plan (CMP) for *Arcadie*.

3 ASSESSMENT METHODOLOGY

This Heritage Impact Statement (HIS) has been prepared in accordance with the principles and processes outlined in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance (2013)* and the requirements of the *Historic Cultural Heritage Act 1995 (Tas)*. The following methodology was adopted to assess the potential heritage impact of the proposed works:

- Review of Background Documentation. Previous studies, archival records, and existing heritage listings, were reviewed to establish the historical context and identify the heritage values of *Arcadie*.
- Site Inspection. A detailed site visit was undertaken to assess the condition, fabric, and spatial characteristics of the building. Altered areas were distinguished from original elements to inform the scope of proposed interventions.
- Assessment of Significance. The cultural heritage significance of the place was reviewed based on statements of significance from relevant registers, supported by documentary and physical evidence.
- Evaluation of Proposed Works. The proposed works were analysed in terms of their potential impact on the physical fabric, spatial character, setting, and heritage values of the residence. Consideration was given to the reversibility, visual compatibility, and retention of original material.
- Compliance with Best Practice. The works were considered against relevant guidelines for minor works, and conservation best practice principles, with attention to mitigating impacts and supporting the long-term use of the building.
- Preparation of Recommendations. Recommendations were formulated to guide implementation, ensure appropriate heritage outcomes, and support the ongoing conservation and adaptive reuse of the site.

3.1 Description of the Scope of Works

The proposed works do not involve a change of use, and the property will continue to be used as a residential dwelling. The works seek to introduce contemporary amenities to *Arcadie*, including refurbished wet areas, a new ensuite, and an extension to the southern side of the property. This will require demolition of existing fabric. Associated landscape works include replacement of the upper portion of the existing boundary fence, widening and sealing of the driveway, and construction of a new garage set behind the main house. The extensive landscape plantings and trees will be retained in their current state, with no proposed removal of trees.

The following **Table 1** summarises the proposed scope of works impact on the existing fabric, based on Architectural Drawings prepared by Dock 4 Architects (see Appendix A) and is supplemented by photographs taken by the author.

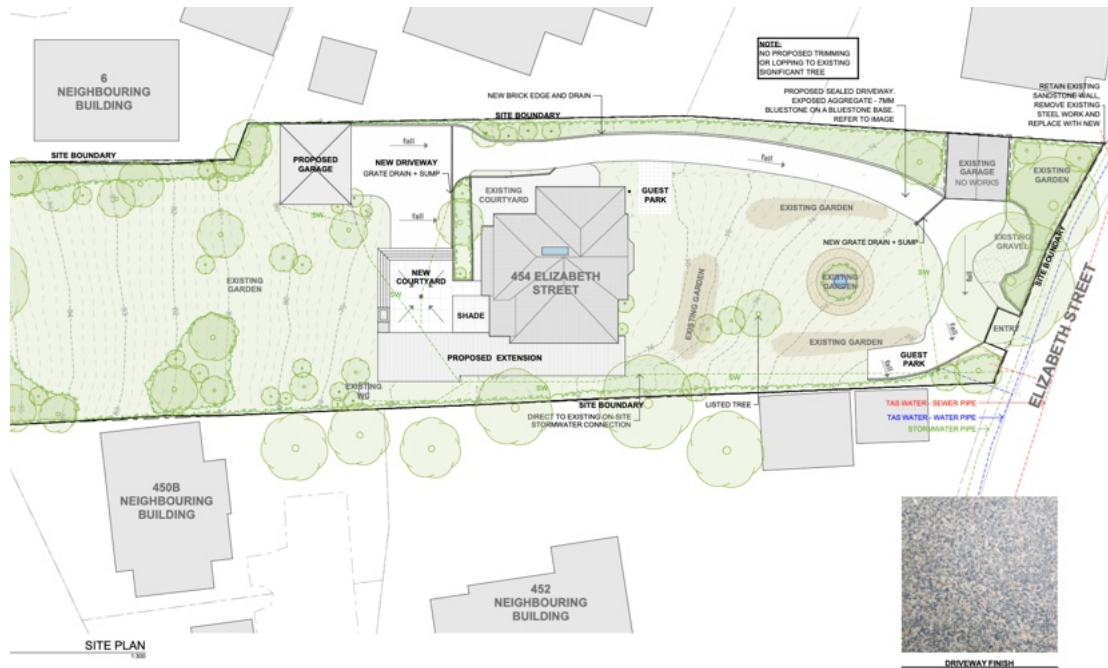
Table 1: Scope of proposed works.

Room / Area of Works	Scope of works
Garden & Landscape	<ul style="list-style-type: none"> • Repair existing sandstone front boundary fence with lime mortar where damaged. • Replace c.1950's iron fence with palisade iron fence. Retain '454 Arcadie' pedestrian gate sign for reuse in new works. • Step-in gate and driveway to provide safe waiting area for new gate • Widen existing driveway to smooth curve of access and

seal with exposed aggregate concrete

- Provide new guest parking space adjacent to entry on semi-permeable pavers
- New freestanding brick garage behind line of house
- Demolition of shed and pergola
- Removal of old heating system structure
- New landscaping courtyard to rear

Proposed site plan (dock 4 architects):



Garden & Landscape existing photographs:



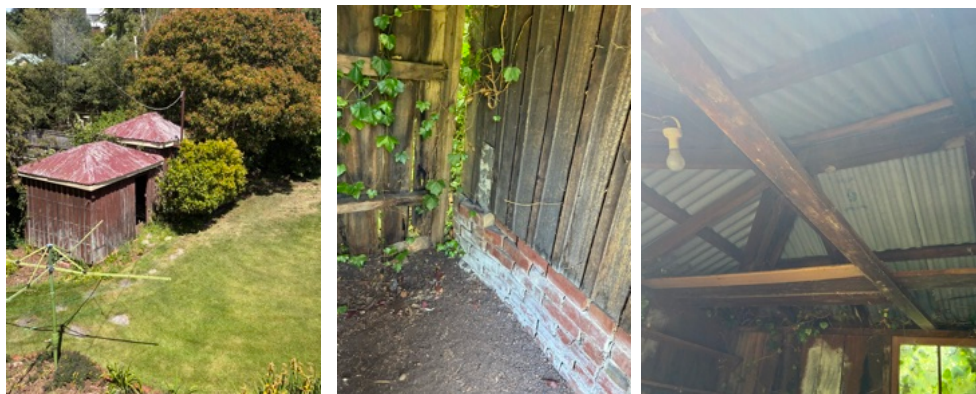
Retain existing '454 Arcadie' gate sign for reuse in works. Existing front boundary fence. Proposed works to replace c.1950's steel fence topper with new steel palisade style fence for privacy. Retain and repair sandstone base. *Sandstone likely original fabric high significance, metal and brick fence component low to medium significance.*



Existing garage (left image) to be retained, gravel driveway to house to be adjusted to reduce curve at top of driveway, and replaced with exposed aggregate concrete. Widening to effect non-significant plantings along the northern boundary fence (right image).



Pergola structure to be demolished. Timber framed ceiling with galvanised roof cladding (Lysaught Orb Australia 26G) with orb logo in blue text. Rotten floorboards. Timber framed wall with diagonal braces and external lattice. *Early-to-original fabric. Medium significance.*



Shed structure to be demolished. Shed has two phases, inner structure next to toilet, followed by a later addition in a similar style, as seen in brick plinth in image. Inner structure galvanised roof sheet (Lysaught Orb Galvanised tinned) with orb logo in blue text. Roof cladding likely pre-1940's where the use of 'tinned' fell out of use. *Original fabric. Medium significance.*



Existing outbuilding toilet to be retained in existing condition. *Original fabric, medium significance.*



Existing heating system to be removed on southern edge of house. *Fabric of low significance.*

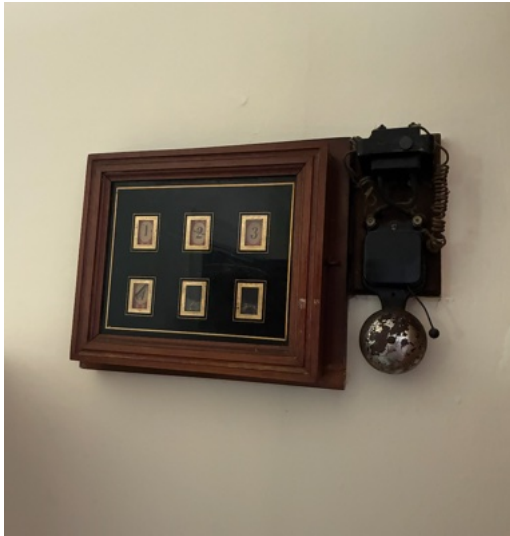
<p>Ground Floor – Demolition</p>	<ul style="list-style-type: none"> • Original ‘Fuel’ Room: Demolition of internal and external brick wall, vertical panelled door, roof structure and roof lining and joinery. • ‘Kitchen, Dining and Laundry’: Demolition of internal and external brick walls, kitchen fireplace, joinery, doors and windows (total 4x original, 1x other) West: 1x Original window, 1x other window, 1x original window associated with the verandah. South: 1x original window. East: 1x original window. • Partial demolition and reconfigure of internal joinery to hallway. • Removal of non-historic wallpaper, contemporary wet
----------------------------------	--



Demolition of external wall fabric, including windows, doors, concrete capped brick stairs to the west. Window double hung left, *original fabric high significance*. Window central with three panes, mid-century fabric with concrete mortar lintel, *low significance*, External timber window as part of porch, *original fabric with modifications, medium-high significance*. Existing sandstone footing to be retained *original fabric, high significance*.



Removal of contemporary fittings and fixture to lower level. *Intrusive fabric*.



Remove and reinstate early electric servant call system. *Fitting of high significance.*



Partial demolition and reconfiguration of the entry hall joinery unit is proposed to reuse the doors. The joinery unit is a strong feature in the hallway and is scribed over the skirting boards, with the internal wall surfaces behind exhibiting a single pigment finish, indicating that the unit was installed a short period after initial wall finishing. The unit does not appear on the original blueprint drawings and is likely to have been installed after the original construction phase. The brass cabinetry lock is stamped “SECURE 2 LEVER – MADE IN GREAT BRITAIN” and is likely to date from the interwar to early post-war period (c. 1930s–1950s); *the joinery is period-appropriate, early fabric and of high contributory heritage significance.*



Demolition of the internal wall containing a built-in joinery unit accessed from both the kitchen and dining spaces is proposed. The through-joinery unit is shown on the original blueprint drawings in plan (but no details of any joinery design) and the decorative stained glass is period appropriate. The joinery unit itself exhibits a low quality of workmanship, is in average condition and the obscured glass has been painted over. *Original fabric, high significance.*



Demolition of left side of kitchen, including fireplace at ground level (retained and supported at first level). Fireplace has been modified to accommodate contemporary kitchen. Remove and retain window (with fan) as pictured. *Original fabric (window) high significance, (brick walls of fireplace - modified) medium significance, and intrusive fabric (1980's joinery, cork floor covering, light fittings) low significance.*

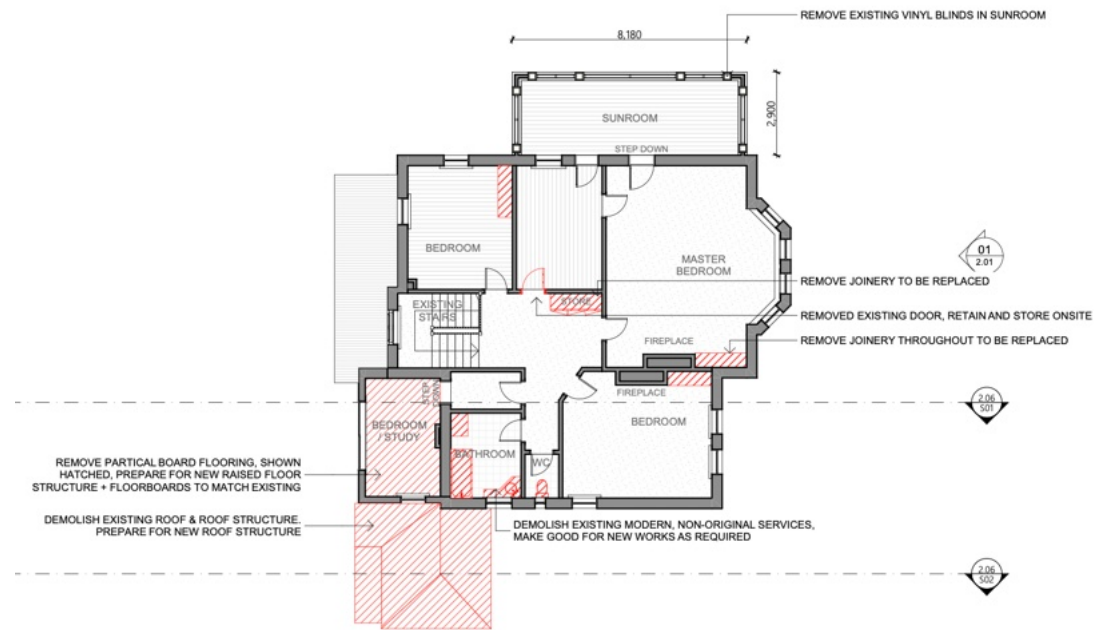


Remove non-significant vinyl paper back wallpaper from drawing room and hall. Note picture rail, skirting and door has been painted in this room. All other rooms retain original non-painted timberwork. Replace carpet and repaint room. New paint finish only to timber that has previously been painted. *Low significance.*

First Floor – Demolition

- Demolition of modern wet area fittings
- Removal of internal door and architraves (to be retained on site in storage) to new ensuite
- Removal of 4x joinery wardrobes
- Demolition and replacement of bedroom structural floor (addition).
- Removal of non-original wallpaper and curtains.

Floor Plan of proposed first floor demolition (dock 4 architects):



First Floor Demolition existing photographs:



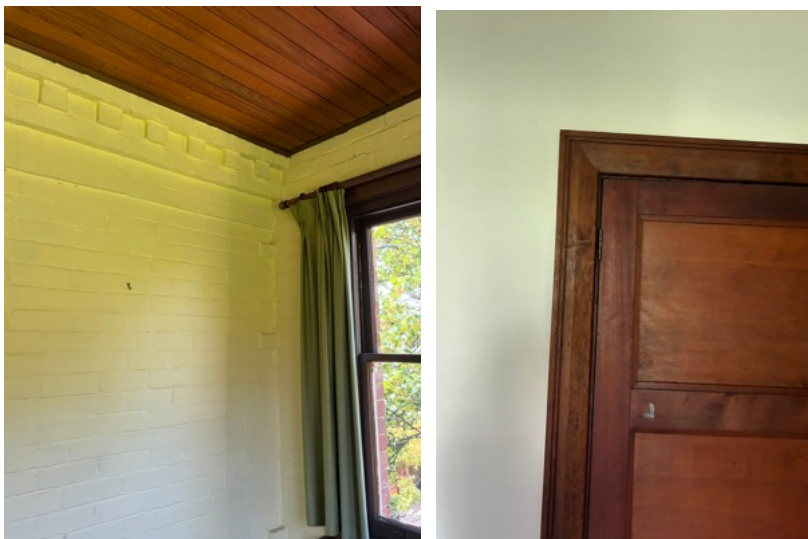
Demolition of non-original c.1950's wet area fittings and linings. *Intrusive fabric.*



Proposed removal of wardrobes in each bedroom on the upper level and one matching storage cupboard in the hallway (total of 4). All wardrobes appear contemporary with the construction of the ground floor entry hallway joinery (materials, construction type, locking hardware), and thus not original but installed sometime after the initial construction. The upper-level wardrobes are shown on the original blueprint plans. The construction of the wardrobes is generally low quality, and the materials appear to be different to that of the other interior wood (skirtings, doors). *Early fabric, medium significance.*



Removal on non-original wallpaper throughout upper floor. Removal of curtains to sunroom. *Low significance fabric.*



(Image Left) Western bedroom floor structure to be demolished and raised. Internal of bedroom indicates brickwork patterns that were previously external to the building prior to extension, consistent with alterations indicated on the original house blueprints. *Medium significance.*

(Image Right) Detail photograph of proposed door and architraves to be removed for new ensuite, to be retained and stored on site. *High significance.*

3.2 Assessment against the Works Guidelines

Table 2 sets out the definitions applied to assess the heritage impacts identified in this review.

Table 2: Definitions of Significance.

Impact Level	Description	Reversibility
High	Major alteration or removal of significant heritage fabric; affects the overall heritage values of the place.	Usually irreversible or permanent
Medium	Alteration or removal of moderate heritage fabric; some effect on heritage values but not critical to overall significance.	Can be reversible in some cases, sometimes permanent
Low	Minor alterations or interventions; little effect on overall heritage significance.	Reversible
Positive	Actions that enhance or conserve heritage values.	Usually reversible, sometimes permanent

The proposed works have been assessed against the *Works Guidelines for Historic Places* (2025). Some of the works are considered eligible for **minor works** approval under the following categories:

- 1.11 Painting and applied finishes
- 9.1 Internal alterations (generally)

The remaining works are considered **discretionary** under the appropriate outcomes in the following categories:

- 6.3 Partial demolition
- 6.4 Total demolition
- 8.3 New structures
- 9.1 Internal alterations (generally)
- 9.4 External alterations
- 9.5 Additions
- 10.6 Parking and external circulation
- 13.4 Removing or modifying an historic fence or gate

Details of these categories are outlined in **Table 3**.

Table 3: Assessment against the Works Guidelines.

1. Maintenance and Repair of Built Elements	
Appropriate Outcomes/Minor Works	Comments on Proposed Works
1.11 Painting and applied finishes	
Painting of previously painted surfaces where: - the colour scheme/s are compatible with the	The proposed works include the painting of internal surfaces that have previously been painted and the removal of non-significant

<p>character of the place; and</p> <ul style="list-style-type: none"> - surfaces are repainted using the original types of materials and methods e.g. lime wash, lime-based render; and - the work does not involve applying new texture coatings. <p>Painting of non-significant elements in colour/s that do not intrude on the place’s heritage character.</p> <p>Removing non-significant renders, texture coatings and paint, including removal to expose heritage fabric where:</p> <ul style="list-style-type: none"> - layers that are heritage fabric will not be affected, - the removal technique does not involve a process that could damage the heritage fabric, such as the use of harsh abrasive; and - suitably qualified and experienced contractors will be employed. <p>Reconstructing historically significant finishes to surfaces that have been covered, damaged or degraded where surfaces will be coated with the same treatments as previously applied e.g. grained finish, limewash, distemper, oil-solvent paint, shellack, wax, oil.</p>	<p>wallpapers and applied finishes. No new texture coatings are proposed, and the works will not involve the painting of previously unpainted historic surfaces, including original brickwork or timber joinery that has historically remained unpainted.</p> <p>Assessment: The proposed painting and removal of non-significant applied finishes will have a low impact, as the works are limited in scope and avoid impacts on fabric of heritage value. The works are considered eligible as Minor Works under 1.11 – Painting and Applied Finishes.</p>
---	--

<p>6. Demolition and relocation of built elements</p>	
<p>Appropriate Outcomes/Discretionary</p>	<p>Comments on Proposed Works</p>
<p><u>6.3 Partial Demolition</u></p> <p>Demolishing parts of a place that are historic fabric.</p> <p>This should be avoided or minimised as far as practicable, to retain the heritage values of the place.</p> <p>Partial demolition may be justifiable where it can achieve a greater conservation benefit; for example, where the partial demolition will allow for the sustainable use and conservation of the more significant parts of the place.</p> <p>Where partial demolition is unavoidable, the historic parts and details i.e. spaces and fabric, that are of greatest heritage value should be retained in situ; and, where that is not practicable, the historic parts should be salvaged and relocated to where they can</p>	<p>The proposed partial demolition involves the removal of historic fabric primarily associated with the former service areas of the house, including the fuel room, kitchen, laundry, and associated internal walls, openings, and roof elements. While this fabric forms part of the original construction phase, it is largely confined to the rear and southern portions of the building and does not include the principal public elevations, primary formal rooms, or the elements most strongly associated with the public appreciation of the place’s heritage significance.</p> <p>The removal of this fabric has been proposed to facilitate adaptation of the building for contemporary residential use, including improved functional planning and the provision of modern amenities.</p>

<p>still exist in a meaningful way.</p> <p>Where an internal wall or other structural element is removed, it is desirable to keep vestiges i.e. traces, of the removed element as evidence of the past form of the building. Vestiges may be patches in the floor, wall nibs and ceiling bulkheads. In most cases the retention of vestigial elements is preferable to the complete removal of historic fabric.</p> <p>Where the fabric proposed to be removed is significant and has the potential to be reinstated or meaningfully reused at the place, or if it has archaeological value i.e. as an artefact, it should be stored in good condition at the place.</p>	<p>The removal of the kitchen through-joinery is proposed to rationalise internal planning and improve functional relationships. The unit while a feature of the original design intent (kitchen servery) is of low workmanship quality, compromised by later alterations and painting of the stained glass. Its removal can be justified as it enables functional adaptation within a service space and does not result in the loss of high-quality or defining heritage fabric.</p> <p>Partial demolition and reconfiguration of the hallway joinery is proposed to improve functionality, with doors and significant elements retained for reuse; this approach is acceptable as the joinery is early but not original fabric of contributory significance, and its retention in part preserves the aesthetic quality of the ground-floor hallway.</p> <p>The removal of the upper-level wardrobes and hallway cupboard is proposed to improve room functionality and is generally acceptable as these elements comprise early fabric of medium significance with low construction quality and limited contribution to the place's primary heritage values.</p> <p>Historic fabric proposed for removal that has potential for reuse or interpretation - including joinery elements, doors, skirtings, and service fittings - is identified for salvage and on-site retention. The proposal also provides for the retention of vestigial evidence, including bulkhead and brick junction references, to maintain the legibility of the original form, layout, and evolution of the building.</p> <p>Assessment: The proposed works will have a medium-high impact on the heritage values of the place; however, this impact is appropriately managed through the targeted removal and reconfiguration of service-area and early fabric, the retention and reuse of contributory elements, and the conservation of the place's significant external form and principal interiors, and are therefore consistent with the appropriate outcomes of Clause 6.3 – Partial Demolition.</p>
<p><u>6.4 Total Demolition</u></p> <p>Demolishing a complete structure that contributes to the place's heritage values.</p> <p>Total demolition of an historic structure is</p>	<p>The proposed total demolition relates to ancillary structures within the curtilage of <i>Arcadie</i>, including the pergola and shed structures identified as early or original fabric. While these structures contribute to the</p>

<p>generally not an acceptable outcome but a solution of last resort i.e. where no feasible and prudent alternative exists. In order for the Heritage Council to consider such an application, it will require information as to why retention as-existing, or in a repaired or modified form to suit a new use, is not practically achievable i.e. as justification for the proposed demolition.</p> <p>Where total demolition is justifiable, an archival record should be made of the structure to be demolished i.e. an extant record that is provided to Heritage Tasmania. The record will need to be prepared to the standards set by the Heritage Council. Interpretation should be provided at the site of any significant built heritage that is demolished, to compensate for the loss. See also section '4 Interpretation'.</p> <p>Building material that can be used for heritage conservation projects, at the subject site or another, should be salvaged and made available for re-use rather than being discarded.</p>	<p>historical layering of the site, they are secondary in scale and function and do not form part of the principal dwelling or the key elements underpinning the place's registration on the Tasmanian Heritage Register. The original outbuilding toilet will be retained in situ, preserving physical evidence of the early development and service arrangements of the site.</p> <p>Retention of these structures in their existing form has been assessed as impractical due to their deteriorated condition, limited functional utility, and incompatibility with the proposed works required to support the continued residential use of the place. Their removal enables improved site circulation, upgraded services, and the rationalisation of outbuildings.</p> <p>In accordance with the Works Guidelines, the proposed total demolition must be accompanied by appropriate mitigation measures. A detailed photographic and descriptive archival record of the structures to be demolished should be prepared prior to removal and provided to Heritage Tasmania, ensuring a permanent record of the fabric and its contribution to the site.</p> <p>Assessment: In this context, the total demolition of these ancillary structures is considered of medium-impact and a proportionate response that does not diminish the core heritage values of <i>Arcadie</i> and is consistent with the outcomes of 6.4 Total demolition.</p>
---	--

8. New Buildings	
Appropriate Outcomes/Discretionary	Comments on Proposed Works
<p>8.3 New structures (e.g. garages, carports, sheds, outbuildings).</p> <p>Structures that are likely to diminish the place's heritage values.</p> <p>Appropriate outcomes include new structures that:</p> <ul style="list-style-type: none"> - are sited and designed to avoid visual intrusion on the setting or views to the principal parts of the heritage place (including the visual connection of heritage parts of a place) and avoids physical intrusion into open spaces, areas of garden or areas of 	<p>The proposed garage is set back behind the extent of the original building and is located within the garden landscape, ensuring that it does not intrude on the principal elevations or significant views of the heritage place. Its siting avoids physical intrusion into the primary open garden areas that contribute to the heritage values of the site.</p> <p>The scale of the proposed structure is modest and clearly subservient to the main residence, ensuring that it does not visually dominate the historic building. The use of brick construction</p>

<p>archaeological potential that contribute to the place’s heritage values;</p> <ul style="list-style-type: none"> - in the case of suburban carports or garages, are set back from the facade of buildings as far as can be practicably achieved; - are of a scale / size that is subservient to, and do not visually dominate, any nearby historic buildings; - incorporate roof forms and other details compatible with that of the heritage building e.g. garages can be designed to be in keeping with the architecture of the building to which they relate by matching the forms, fenestration, detailing of the existing building; - have materials or finishes that are visually recessive e.g. neutral colours in darker tones, and non-reflective materials; and/or - are positioned such that they can be screened by landscaping. <p>Where it is not possible to find a site that avoids visual or physical intrusion and no feasible and prudent alternative exists, care should be taken to position and design the structure(s) to minimise the adverse impacts.</p>	<p>with a sheet metal roof is compatible with the material palette of the existing house, while the simple roof form reflects the established architectural language without replicating historic detailing.</p> <p>Due to its location behind the house and the sloping topography of the site, the garage is likely to have minimal visual impact on the garden setting and is not expected to be visible from Elizabeth Street. The structure will also be capable of being further screened by existing and proposed landscaping.</p> <p>Assessment: The proposed works will have a low-medium impact and are considered to minimise physical and visual impacts on the heritage values, fabric and setting of the place and to be generally consistent with the appropriate outcomes of 8.3 – New Structures.</p>
---	--

9. Alterations & Additions	
Appropriate Outcomes	Comments on Proposed Works
<p><u>9.1 Internal alterations (generally) (Minor works)</u></p> <p>New openings into floors, walls, or ceilings that are of little or no heritage value, where the totality of this and past interventions of the kind will have only negligible impact on the place’s heritage values.</p> <p>Upgrading bathroom, kitchen or laundry fit-outs where there will be no alterations to historic door and/or window openings and no impacts to significant joinery, walls, ceilings or floors, or significant archaeological deposits that may exist below floor level.</p> <p>Installation of new fixtures e.g. wardrobes, that are scribed around mouldings e.g. skirtings and cornices, and do not affect interior finishes of heritage value.</p>	<p>The proposed works include the upgrade of fittings within one existing bathroom at first-floor level and two WC facilities at ground and first-floor levels. These works do not involve alterations to historic door or window openings and will not impact significant joinery, walls, ceilings, floors, or any known or potential archaeological deposits below floor level.</p> <p>Proposed new joinery will be installed as freestanding or built-in elements and will be scribed around existing skirtings and mouldings, ensuring that original interior finishes of heritage value are not altered or removed.</p> <p>Assessment: Works specified are considered to have a low impact and are therefore eligible as Minor Works.</p>
<p><u>9.1 Internal alterations (generally) (Discretionary)</u></p> <p>Alterations should be limited to fabric that has</p>	<p>The proposed internal alterations involve the removal and modification of selected internal</p>

<p>a relatively low level of significance, rather than fabric that has a relatively high level of significance.</p> <p>Retain internal fabric of the place that contributes to its heritage value. This fabric may include:</p> <ul style="list-style-type: none"> - the overall room layout, particularly corridors that demonstrate original circulation patterns, - fireplaces and chimney breasts, - the floor, wall and ceiling linings of timber, plaster or other materials, - significant details such as skirtings, door and window architraves, cornices and ceiling roses, - significant fixtures such as historic staircases, fireplace mantels, dado rails, panelling, doors, windows sashes, and built-in shelving or cupboards, and/or - rare and important decorative finishes such as painted surfaces that imitate stone or wood, rare and unusual wallpapers, and the pit-saw surface markings of original floorboards. <p>Where alterations involve the removal of historic fabric that divides internal spaces, vestiges i.e. traces, should be kept of the fabric that is removed. For example, keep wall nibs and ceiling bulkheads to demonstrate the former location of a wall rather than completely removing the wall. Work should be planned to retain significant details such as stairs, fireplaces, ornamental ceilings, panelling, doors and windows, fixtures and fittings.</p> <p>Where significant internal elements are to be removed, it is preferable that they be kept on-site in a secure location, so that they can be returned to their original location at a future date if required.</p>	<p>fabric within former service and utility areas of the house, including original internal walls, circulation elements, built-in joinery, and a ground-floor chimney. These works will alter the historic circulation pattern associated with servant spaces, including the kitchen, pantry, and fuel store, and will result in the loss of some fabric that contributes to the understanding of the building’s service hierarchy and domestic organisation.</p> <p>The proposal seeks to retain the broader spatial hierarchy and legibility of the place, including the primary room layout, stair, principal circulation routes, fireplaces, and significant interior finishes within the main public and family rooms. However, the removal of internal walls and joinery within the former service areas will reduce the legibility of the original servant circulation pattern and working relationships between these spaces.</p> <p>Where original fabric is removed, the earlier configuration of the building remains legible through the deliberate retention of wall junctions and nibs, supported by comprehensive documentary recording. Significant elements, including windows, doors and fittings, are salvaged and retained on site to conserve material evidence of earlier phases and allow for potential future reuse or interpretation.</p> <p>Assessment: The proposed internal alterations will result in a medium-high heritage impact, primarily arising from changes to servant-space circulation patterns and the removal of associated joinery. This impact is appropriately managed through the confinement of alterations to areas of lesser heritage significance, the retention of the principal spatial hierarchy and most intact interior spaces, and the conservation of significant fabric within primary rooms. The works support the ongoing residential use of the place and are consistent with the appropriate outcomes of Clause 9.1 – Internal Alterations.</p>
<p><u>9.4 External Alterations (Discretionary)</u></p> <p>Where the subject place matches the heritage character, form or detail of other adjoining heritage places, alterations should not diminish the characteristics that the places have in common.</p>	<p>The proposed external alterations are limited in extent and are largely confined to secondary elevations and areas of the building that have experienced change over time, including alterations to window openings associated with former service spaces. While these areas form part of the original design intent of the</p>

<p>Alterations should be limited to fabric that has a relatively low level of significance, rather than fabric that has a relatively high level of significance.</p> <p>Any alterations to relatively significant fabric should be reversible.</p> <p>Significant external characteristics of a place should be retained, such as:</p> <ul style="list-style-type: none"> - the formal or public presentation of the place, particularly where a place contributes to the heritage values or character of a streetscape or townscape, - the essential form of the place, including its scale, construction materials and their appearance i.e. unpainted brick or stone should remain unpainted, - roof form and roof materials, chimneys, door and window arrangements and their joinery details e.g. glazing divisions in sashes, and - design details of particular interest or value such as verandahs, decorative mouldings, carvings, joinery or ironwork. 	<p>building, they relate primarily to historic kitchen and laundry functions rather than the principal public or formal elevations.</p> <p>The primary public presentation of the place, including the principal façade, roof form, chimneys, and key architectural detailing visible from Elizabeth Street, will be retained and will continue to express the heritage character of the building within the streetscape.</p> <p>Alterations are focused on fabric of comparatively lower visual heritage significance, including service-related walls, openings, and finishes associated with the former kitchen and utility areas. While these spaces form part of the original design intent for servant and service functions, such areas of a house are generally understood to evolve over time in response to changing domestic needs. The proposed works seek to adapt these areas to accommodate the requirements of a contemporary family home, including a more open kitchen arrangement with improved connection to family spaces and increased access to natural light.</p> <p>Significant external characteristics of the place - such as the overall form and scale of the building, its unpainted brickwork, principal roof forms, and established window and door patterns to the main elevations - will be retained and are not adversely affected by the proposed works.</p> <p>The proposed changes necessitate the removal of a limited amount of fabric assessed as being of high heritage significance. The following key elements will be retained and safely stored on site:</p> <ul style="list-style-type: none"> - Two original kitchen windows - One original (toilet) window - Two internal hallway doors <p>As previously discussed, the proposed works also require the removal of joinery, including the kitchen pass-through joinery unit, re-use and reconfiguration of hall joinery, and removal of the built-in wardrobes. Bricks removed as part of the works are proposed to be salvaged and reused within the new construction.</p> <p>Assessment: The proposed works will result in a medium-high impact on the heritage values of the place, arising primarily from alterations to secondary elevations and former</p>
--	--

	<p>service areas, and the potential removal of elements of high-significance joinery. External alterations are modest in extent and largely confined to elevations and openings historically associated with kitchen, laundry, and service functions. While these areas form part of the original design intent, they are not part of the principal public or formal elevations and are traditionally understood to evolve over time in response to changing domestic needs. The primary public presentation of the place including the principal façade, roof form, chimneys, unpainted brickwork, and key architectural detailing visible from Elizabeth Street will be retained and will continue to express the heritage character and streetscape contribution of the place.</p> <p>While discretionary in nature the works are generally consistent with the appropriate outcomes of 9.4 –External Alterations.</p>
<p><u>9.5 Additions (Discretionary)</u></p> <p>Additions should be subservient to the main historic parts of the place i.e. an addition should not visually dominate the primary historic structure.</p> <p>Significant public views of a place should be retained when additions or extensions are planned and implemented. Where such works will be publicly visible, care should be taken in the configuration and choice of materials to minimise visual impacts. This may be particularly relevant when considering the height of additions; roof forms, materials and colours; wall materials, textures and colours; and window proportions and arrangements.</p> <p>Position additions so that significant spaces or view lines are not intruded on, and so that trees, gardens or garden features are retained.</p> <p>The design of any new additions should be sympathetic to the heritage character of the place.</p> <p>Where minor or small-scale additions are proposed, a higher level of conformity with the historic part is desirable. The new fabric can be distinguished from historic fabric by subtle differences e.g. by slight changes in construction, stylistic details, shift in tone or colour, change of material, or a particular treatment of the junction between old and new. New fabric can also be distinguished by</p>	<p>The proposed additions are located to the south and west of the existing building, positions that limit their visual relationship with the principal historic elevations. Public views of the place are primarily obtained from Elizabeth Street, which lies downhill from the site, and these views are already mediated by the substantial garden setting and mature boundary planting. As a result, the additions are likely to have limited visibility from the public realm and are not expected to intrude on significant view lines.</p> <p>The form of the extension draws reference from the single skillion-roofed service elements historically associated with the rear of the house, including former kitchen and laundry areas. While the additions are of a substantial scale, they adopt a contemporary architectural expression that is distinguishable from the historic fabric and avoids direct imitation.</p> <p>The proposed materials and finishes are modern in character and are intended to remain visually recessive through restrained colour selection.</p> <p>At the interface between the historic building and the proposed works, construction detailing has been developed to avoid adverse conservation impacts. New slabs and retaining walls are offset from existing sandstone footings and lime-mortar brickwork, reducing</p>

<p>incorporating date or marking devices and by keeping records to document the feature as new works.</p> <p>Where the additions are substantial, it is appropriate that the new work is more easily distinguished from the historic part. This can be achieved through a variety of approaches from traditional i.e. design that is in-keeping with the original, but subtly different, to highly contemporary i.e. design that is a contrast with the original. Poor quality imitation or mimicry of historic building forms and styles should be avoided. Designs that provide a visual contrast between old and new should be visually compatible and sympathetic to the historic parts and should not diminish the place's heritage values.</p> <p>Take care to avoid ongoing conservation problems at the interface between the historic place and the addition or extension. For example, construction details in new works should avoid breaching damp proof courses or preventing subfloor ventilation in historic parts which may lead to damp issues that may be difficult and costly to remedy post-construction.</p>	<p>the risk of moisture transfer, damp ingress, or obstruction of subfloor ventilation to the historic fabric.</p> <p>Assessment: The proposed additions are sited and designed to minimise physical and visual impacts on the garden, setting, and public views of the heritage place. The works will have a medium impact on the site, which is offset by allowing the property to continue to function as a dwelling with modern amenities.</p> <p>While discretionary in nature, the works are considered to be generally consistent with the appropriate outcomes of 9.5 Additions.</p>
---	--

10. Access to Heritage Places	
Appropriate Outcomes/Discretionary	Comments on Proposed Works
<p><u>10.6 Parking and external circulation</u></p> <p>Altering landscaped areas or carparks, including creation of new formalised carparks, where the changes result in a physical or a visual impact on the significant elements or spaces of the place.</p> <p>Parking and circulation should be designed to have as little impact on the setting of the place and significant fabric.</p> <p>Signage to indicate the location of accessible parking spaces should minimise impacts on the heritage values of the place, its setting or existing significant fabric.</p> <p>Access from accessible parking areas to pathways, including signage and kerb ramps as necessary, should minimise the impacts on the heritage values of the place, its setting or existing significant fabric.</p>	<p>The proposed works involve modification of the existing driveway through widening along the northern boundary and replacement of the current gravel surface with an exposed aggregate concrete finish. The driveway alignment generally follows the existing circulation route.</p> <p>The proposed new garage and associated turning area is located behind the line of the original building, ensuring that vehicular circulation and parking infrastructure does not visually intrude upon the principal elevations or key views of the heritage place. The visual impact of the altered driveway is mitigated by the existing garden planting and the sloping topography of the site, which elevates the driveway above the level of Elizabeth Street and limits its visibility from the public realm.</p> <p>The proposed driveway surface comprises a 7 mm bluestone exposed aggregate on a</p>

<p>Circulation around heritage places by well-defined paths at appropriate grades and widths and with firm surfaces should minimise impacts on the fabric and setting of the place.</p>	<p>bluestone base. The material and colour are visually recessive and compatible with the heritage setting.</p> <p>The proposed works will have a low impact on the heritage values, fabric, and setting of the place by minimising physical and visual impacts. The works are considered discretionary but are consistent with the applicable outcomes of 10.6 Parking and External Circulation.</p>
---	--

<p>13. Residential and commercial fences and gates</p>	
<p>Appropriate Outcomes/Discretionary</p>	<p>Comments on Proposed Works</p>
<p>13.4 Removing or modifying an historic fence or gate.</p> <p>Permanently removing or replacing an historic fence or gate.</p> <p>Replacing an historic gate with an automated version that is different from the original.</p> <p>Significant fences and gates should be retained.</p> <p>Decayed elements of historic timber gates and fences should be replaced like-for-like, but original hardware should be retained.</p> <p>Where changes are needed to accommodate development, historic fences should be modified to the extent necessary to enable their continued existence</p>	<p>The proposed works involve modification to the existing boundary fencing to accommodate updated access and security requirements.</p> <p>The base of the existing boundary fence, constructed of sandstone, is considered likely to be original and of <i>high significance</i> and is proposed to be retained and repaired in situ using lime mortar where required. The upper metal fence elements and associated brickwork are understood to be later additions dating from the mid-twentieth century (c. 1950s) of <i>low-medium significance</i> and are not considered integral to the original design of the place.</p> <p>The proposed adjustment to the driveway necessitates the introduction of new fencing to the sides of the widened access. The existing mid-twentieth-century metal fencing proposed for removal is proposed to be replaced with a higher metal fence designed to balance visual surveillance and security requirements while remaining visually recessive within the heritage setting.</p> <p>Assessment: The proposed modifications are considered to have a low impact on the heritage values of the place. The works are therefore generally consistent with the appropriate outcomes of 13.4 Removing or Modifying an Historic Fence or Gate.</p>

3.3 Summary of Assessment

Arcadie is of historic heritage significance as a well-resolved example of a two-storey brick Federation Free Style residence set within a generous garden allotment, demonstrating the principal characteristics of this class of place in Tasmania's early twentieth-century residential development (criterion d). The place retains its primary form, scale, materiality and garden setting, which together express the characteristic relationship between substantial domestic architecture and landscaped grounds typical of this period. The dwelling continues to make a strong contribution to the Elizabeth Street streetscape and the broader townscape character of North Hobart.

The proposed works comprise a series of alterations, additions and associated site works intended to support the continued residential use of the place while retaining the elements that underpin its heritage significance. The principal façade, roof forms, chimneys, unpainted brickwork and established garden setting - key attributes relevant to criterion (d) - are retained and not materially altered. Demolition and alteration are concentrated in former service areas and ancillary structures of comparatively lower heritage significance, ensuring that the defining characteristics of the building type and its garden setting remain legible. New works are located to the rear and sides of the dwelling and are designed to be subservient in scale, visually recessive from public viewpoints, and distinguishable as contemporary interventions.

Arcadie is also of historic heritage significance for its strong townscape value and its association with the local community's sense of place (criterion f). The building's continued presence, scale and visual prominence within its landscaped setting contribute to the collective understanding of Elizabeth Street as a residential corridor characterised by substantial early twentieth-century homes. The proposed works do not diminish this contribution; rather, by enabling the ongoing occupation and maintenance of the house as a family residence, they support the long-term conservation of the place and its continued role within the community and streetscape.

Overall, the proposed works are assessed as having an acceptable impact on the heritage values of *Arcadie*. The defining characteristics relevant to criteria (d) and (f) are retained, and the place's ability to demonstrate its architectural type and contribute to the community's sense of place will remain intact. On balance, the works are considered consistent with the intent of the heritage listing and the relevant Works Guidelines, supporting a considered balance between conservation and necessary change for the contemporary use of the building.

3.4 Heritage Recommendations

To ensure that the heritage values of *Arcadie* are appropriately conserved during the implementation of the proposed works, the following recommendations are made:

1. **Archival Recording Prior to Demolition**
A comprehensive photographic and written record should be prepared prior to and during demolition works affecting historic fabric, including internal service spaces, ancillary outbuildings, and original joinery elements. The record should document plan form, materials, construction details, and evidence of change over time, and be prepared and submitted in accordance with Heritage Tasmania archival recording requirements.
2. **Salvage and Retention of Historic Fabric**
Where practicable, historic fabric proposed for removal - including doors, windows, high quality joinery components, hardware, bricks and roof sheeting - should be carefully removed, catalogued, and retained on site in a secure location. Salvaged material should be available for potential reuse, reinstatement, or interpretation as part of the

ongoing conservation of the place.

3. Unexpected Finds Protocol
Should previously unidentified historic fabric, features, or archaeological material be uncovered during demolition or excavation works, works in the affected area should cease and advice sought from a suitably qualified heritage professional and Heritage Tasmania prior to proceeding.

4 LIST OF FIGURES AND TABLES

4.1 List of Figures

Figure 1: Aerial view of the site showing the title boundaries of Arcadie. Image sourced from Google Maps, 2025.	3
Figure 2: View of Arcadie from Elizabeth Street. Note central gate, roof top in background and significant tree to the right of the image. Photograph taken from google street view May 2024. ...	4
Figure 3: Photograph of Arcadie primary elevation from within property boundary. Photograph from realestate.com.	4
Figure 4: Boundaries of Arcadie overlaid on the Town Grant Chart – New Town No. 13 (1899).	5
Figure 5: The plan from the Certificate of Title record (90688/-1) with the transfer of land from Henry Robert Brent and associates to Herbert Edward Simmons on 2 August 1919. The land acquired under this transfer includes the sites of both Arcadie and the later residence constructed for Simmons’ mother and was subsequently subdivided to create the separate allotments on which these houses were developed.	6
Figure 6: Photograph of H.E. Simmons taken at the Tasmanian Exhibition in 1894 (Libraries Tasmania 1894)	6
Figure 7: Photograph of Arcadie blueprint design by Walker. Photograph provided by Katie Daniels.	7
Figure 8: Adjacent houses designed by Walker. Diagram by author from google maps image.....	7
Figure 9: The Elms 452 Elizabeth street (image left) and 458 Elizabeth street (image right) designed by Walker. Images from realestate.com.	8
Figure 10: Photograph of Arcadie blueprint design by Walker with extension bedroom, and change of use of hall access highlighted. Photograph provided by Katie Daniels.	8
Figure 11: 26 March 1946 Aerial Photograph indicating present structures at that time. (a) Main residence, (b) Garage, (c) Small structure, (d) shed.	9
Figure 12: Photograph of Bernard Walker (Architecture BRW Solutions n.d.).....	9

4.2 List of Tables

Table 1: Scope of proposed works.	12
Table 2: Definitions of Significance.	23
Table 3: Assessment against the Works Guidelines.	23

5 REFERENCES

Architecture brwsolutions (n.d.) *Bernard Ridley Walker – Background*, sourced 11 December 2025 from: <architecture.brwsolutions.com.au>.

Australia ICOMOS 2013 *The Burra Charter: The Australian ICOMOS Charter for Places of Cultural Significance*. Burwood, VIC: Australia ICOMOS.

‘Garden party, London Missionary Society, opened by Reverend Principal Griffith’, *The Mercury* (Hobart, Tas.), 27 February 1933, p. 3.

‘General news items: Tasmania: Garden fete at Arcadie’, *The Mercury* (Hobart, Tas.), 29 November 1927, p. 2.

Historic Cultural Heritage Act 1995 (TAS)

Libraries Tasmania (1894) *Photograph – Mr H. E. Simmons, Tasmanian Exhibition, 1894–95, Season Ticket Holder – Macquarie Street*, 1 January. Digital image, archival reference NS738-1-2349. Sourced 5 February 2026 from <[https://libriestas.ent.sirsidynix.net.au/client/en_AU/tas/search/detailnonmodal/ent:\\$002f\\$002fARCHIVES_DIGITISED\\$002f0\\$002fARCHIVES_DIG_DIX:NS738-1-2349/one](https://libriestas.ent.sirsidynix.net.au/client/en_AU/tas/search/detailnonmodal/ent:$002f$002fARCHIVES_DIGITISED$002f0$002fARCHIVES_DIG_DIX:NS738-1-2349/one)>.

McNeill, B & Woolley, L 2002 *Architecture from the Edge: The 20th-century architecture of Tasmania*, Hobart.

Tasmanian Archive and Heritage Office (1913) *Burial record: Russell Young, Cornelian Bay Cemetery*, BU 18163, AF35/1/2 and AF70/1/35, Hobart.

Tasmanian Heritage Council 2009 *Tasmanian Heritage Register Datasheet: Arcadie*, Hobart, Tasmania.

Tasmanian Lands Titles Office (1828) *Deed of Transfer*, Historic Deed 02/2022, Hobart.

Tasmanian Lands Titles Office (1871) *Deed of Transfer*, Historic Deed 05/7726, Hobart.

Tasmanian Lands Titles Office (1896) *Deed of Transfer*, Historic Deed 06/1506, Hobart.

Tasmanian Lands Titles Office (1919) *Certificate of Title*, Historic Folio 262/121, Hobart.

Tasmanian Planning Commission 2024 *Tasmanian State Planning Provisions (Effective 26 June 2024)*. Hobart: State Planning Office. Retrieved 29 September 2025 from: <https://www.planning.tas.gov.au/_data/assets/pdf_file/0004/767416/Tasmanian-Planning-Scheme-State-Planning-Provisions-effective-26-June-2024.PDF>.

6 APPENDICES

6.1 Appendix A

Dock 4 Architects 06/02/2026, *Arcadie – Architectural Drawings RFI 1*, pp. 1-22.

Refer to separate A3 documentation.

6.2 Appendix B

Tasmanian Heritage Council 2009 *Tasmanian Heritage Register Datasheet: Arcadie*, Hobart, Tasmania.

Tasmanian Heritage Register Datasheet		 Tasmanian Heritage Council	
		134 Macquarie Street (GPO Box 618) Hobart Tasmania 7001 Phone: 1300 850 332 (local call cost) Email: enquiries@heritage.tas.gov.au Web: www.heritage.tas.gov.au	
Name:	Arcadie	THR ID Number:	146
Status:	Permanently Registered	Municipality:	Hobart City Council
Tier:	State	Boundary:	Whole of Title
Location Addresses		Title References	Property Id
454 ELIZABETH ST, NORTH HOBART 7000 TAS		115964/1	5497239
			
Untitled No copyright on file		Untitled No copyright on file	
Statement of Significance: (non-statutory summary)			
No Data Recorded			
Why is it significant?:			
The Heritage Council may enter a place in the Heritage Register if it meets one or more of the following criteria from the Historic Cultural Heritage Act 1995:			
a) The place is important to the course or pattern of Tasmania's history.			
No Data Recorded			
b) The place possesses uncommon or rare aspects of Tasmania's history.			
No Data Recorded			
c) The place has the potential to yield information that will contribute to an understanding of Tasmania's history.			
No Data Recorded			
d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.			
Arcadie is of historic heritage significance for its ability to demonstrate the principal characteristics of a two storey brick Federation Free Style building in its garden setting.			
e) The place is important in demonstrating a high degree of creative or technical achievement.			
No Data Recorded			
Report Date: Monday, December 8, 202		Page 1 of 2	

- f) **The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.**

This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.

- g) **The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.**

No Data Recorded

- h) **The place is important in exhibiting particular aesthetic characteristics.**

No Data Recorded

Heritage approval is required for work that will result in changes to the nature or appearance of the fabric of a Heritage place, both internal and external.

Please refer to the Heritage Council's Works Guidelines [REDACTED] information about the level of approval required and appropriate outcomes.

Heritage Advisors are also available to answer questions and provide guidance on

[REDACTED] 1300850332

This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.

Setting:

This building is a significant element in the urban streetscape.

Description:

A building set on a large urban allotment with established gardens. The garden features many mature trees dating from the development of the building. The house features a projecting gable with stuccoed panels, a principal hipped roof, double hung windows and panelled entry off a verandah.

History:

Designed by Hutchinson and Walker Architects, Engineers and Surveyors for H E Simmons Esquire in 1924.



ARCADIE

for

KATIE & WAYNE DANIELS

Project Number: 251001

Date: Tuesday, 10 February 2026

454 ELIZABETH ST NORTH HOBART
TAS 7000

Status
RFI 1

ID	SHEET	REV.
	COVER	01 - WIP
1.01	SITE PLAN	01 - WIP
1.02	DEMOLITION PLAN	01 - WIP
1.03	DEMOLITION PLAN	01 - WIP
1.04	DEMOLITION PLAN	01 - WIP
1.05	DEMO ELEVATIONS	01 - WIP
1.06	DEMO ELEVATIONS	01 - WIP
1.07	PROPOSED FLOOR PLAN	01 - WIP
1.08	PROPOSED FLOOR PLAN	01 - WIP
1.09	PROPOSED FLOOR PLAN	01 - WIP
1.10	PROPOSED ROOF PLAN	01 - WIP
1.11	PROPOSED SW PLAN	01 - WIP
1.12	PROPOSED PARKING	01 - WIP
1.13	PROPOSED ENTRY	01 - WIP
1.14	STREET ELEVATION	01 - WIP
2.01	ELEVATIONS	01 - WIP
2.02	ELEVATIONS	01 - WIP
2.03	ELEVATIONS	01 - WIP
2.04	ELEVATIONS	01 - WIP
2.05	GARAGE ELEVATIONS	01 - WIP
2.06	SECTIONS	01 - WIP
2.07	SECTIONS	01 - WIP



LOCATION PLAN

1:2000

PROJECT INFORMATION

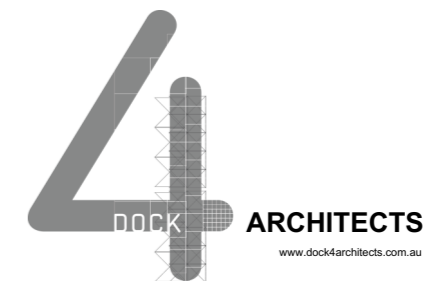
Project Architect: RICHARD LONEY

Accredited Designer: Richard Loney CC 6198Y

Land title Volume: 115964/1

Design Wind Speed: N3

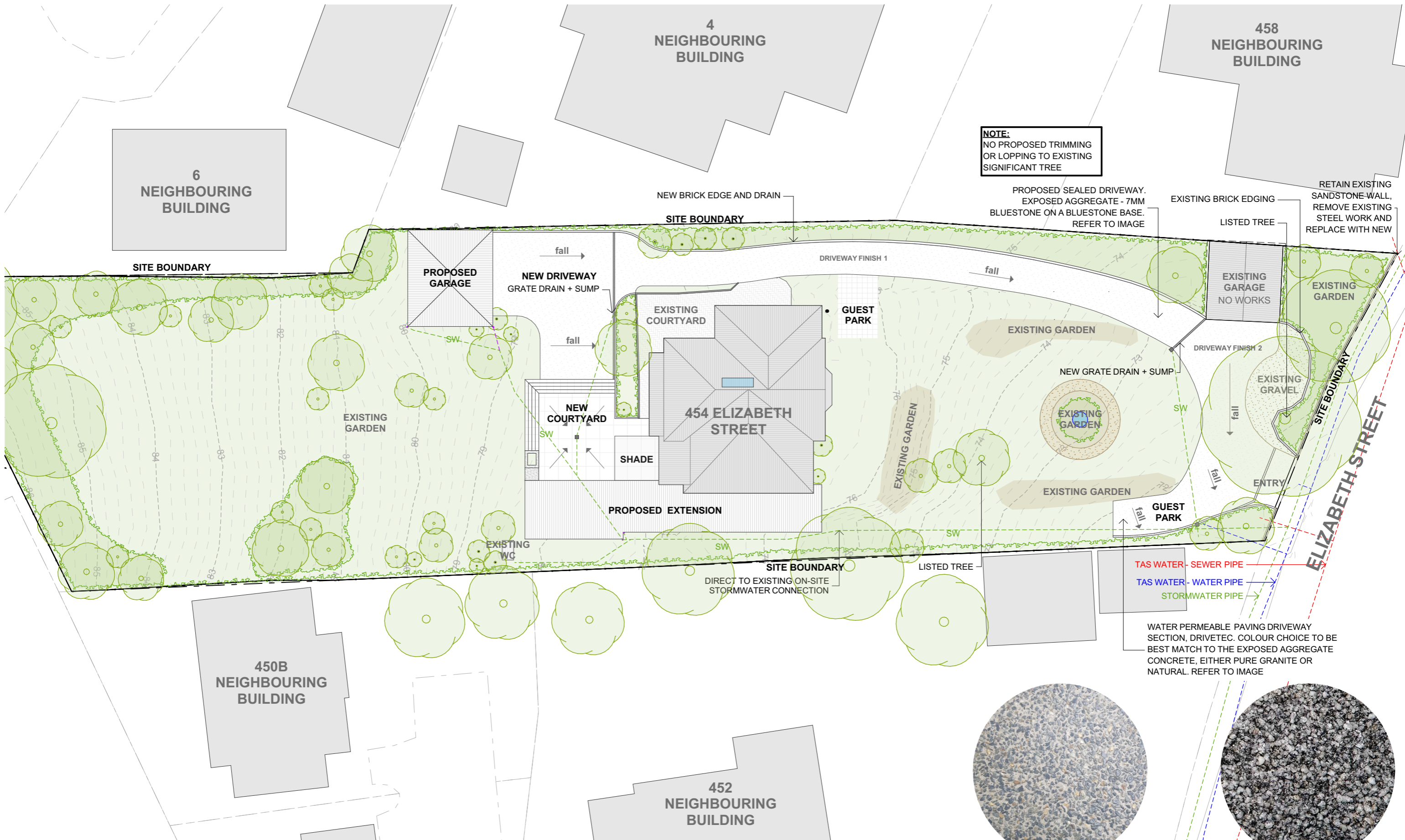
Climate Zone: 7



MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 5375 6169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 5231 0469
info@dock4.com.au

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pn11/02/2026.12:45 PM



NOTE:
NO PROPOSED TRIMMING OR LOPPING TO EXISTING SIGNIFICANT TREE

6
NEIGHBOURING
BUILDING

4
NEIGHBOURING
BUILDING

458
NEIGHBOURING
BUILDING

450B
NEIGHBOURING
BUILDING

452
NEIGHBOURING
BUILDING

SITE PLAN
1:300

1

4
DOCK ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0499
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 11/02/2026

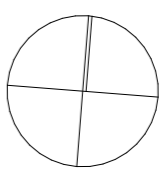
Format: A3

Drawn: GE

Approved: RL

Project number: 251001

Accredited Designer: Richard Loney CC 6198Y

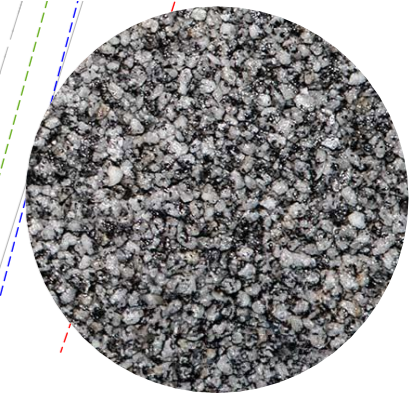


Drawing title: **ARCHITECTURAL SITE PLAN**

Drawing number: **1.01**

Revision: **01**

DRIVEWAY FINISH 1 | BLUESTONE AGGREGATE CONCRETE DRIVEWAY FINISH 2 | PURE GRANITE



TAS WATER - SEWER PIPE
TAS WATER - WATER PIPE
STORMWATER PIPE

WATER PERMEABLE PAVING DRIVEWAY SECTION, DRIVETEC. COLOUR CHOICE TO BE BEST MATCH TO THE EXPOSED AGGREGATE CONCRETE, EITHER PURE GRANITE OR NATURAL. REFER TO IMAGE

ELIZABETH STREET

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

REMOVAL OF WALLS, PARTITIONS, SCREENS, DOORS ETC. TO INCLUDE REMOVAL OF ALL TRIMS, SKIRTINGS, INSULATION AND THE LIKE, COMPLETE, AND MAKING GOOD ADJACENT CEILING, WALL AND OTHER SURFACES AS REQUIRED.

ALL MATERIALS, COMPONENTS AND FIXTURES NOT REQUIRED FOR REUSE WITHIN THIS PROJECT, ARE TO BE DISPOSED OF FOR SALVAGE AND REUSE WHERE POSSIBLE, OR FOR RECYCLING WHERE NOT.

REMOVAL OF FLOOR FINISHES TO INCLUDE FOR REMOVAL OF ALL UNDERLAYS, SCREEDS, TRANSITION AND COVER STRIPS AND THE LIKE AND CLEANING BACK AND PREPARING SUBSTRATES FOR NEW FLOOR FINISHES, INCLUDING LEVELLING SCREED, PATCHING OR OTHER MAKE GOOD AS REQUIRED.

ALL DEMOLISHED MATERIALS AND COMPONENTS ETC ARE TO BE REMOVED FROM SITE UNLESS OTHERWISE NOTED. STRICTLY NO BURNING OFF ON SITE.

LEAVE ALL SURFACES CLEAR AND FREE OF ANY REMNANTS/OBJECTS READY TO MAKE WAY FOR NEW WORKS.

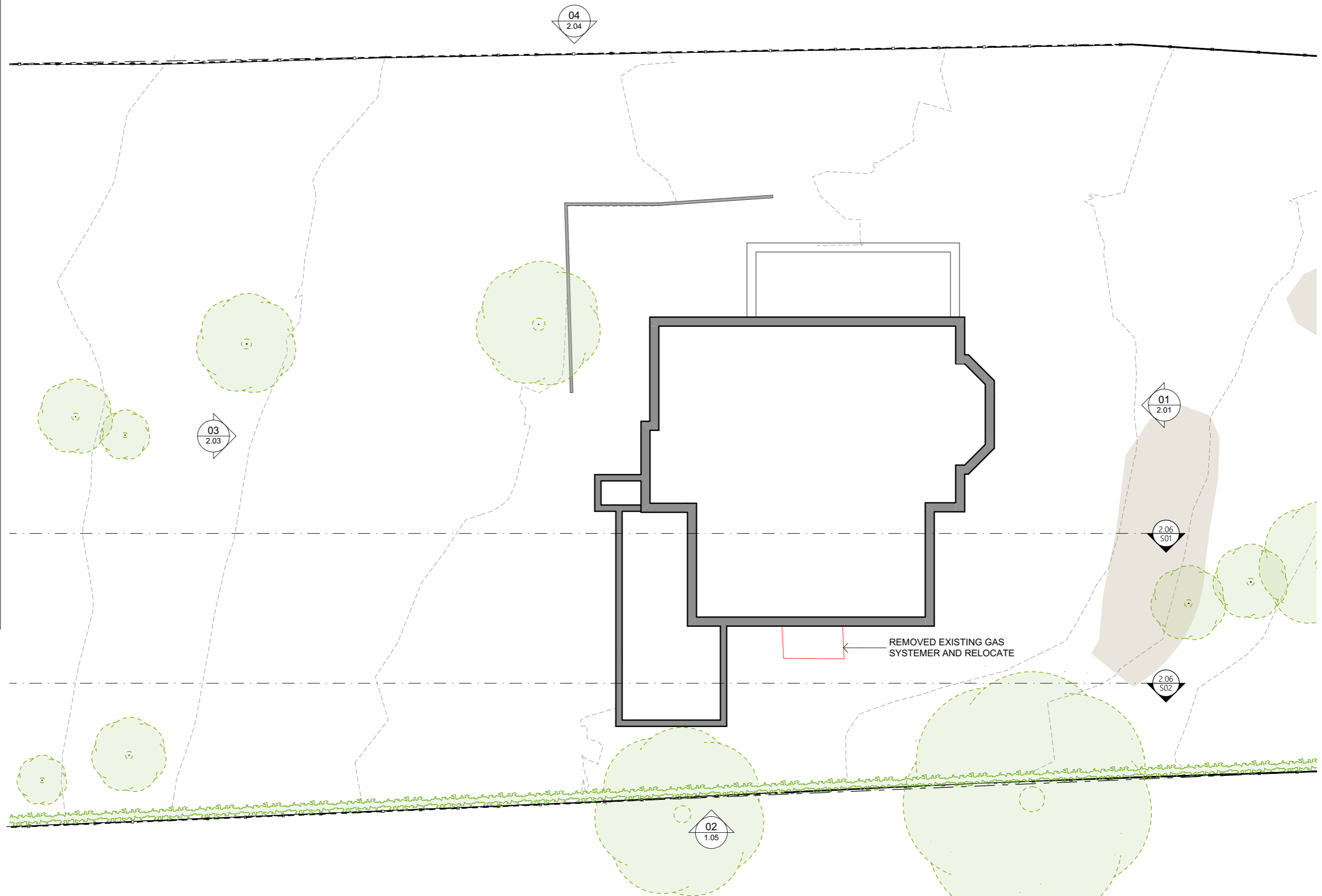
ALLOW TO MAKE GOOD AND REPAIR ALL EXISTING WALLS, PATCH AND PAINT WITH APPROPRIATE MATERIALS, IE. LIME MORTAR AS REQUIRED

REMOVE EXISTING SERVICES AS NOTED FROM CONTRACT AREA AND MAKE GOOD CONCRETE, BRICKWORK, BLOCKWORK, SLAB, CEILING & ROOF PENETRATIONS AS REQUIRED. MAKE GOOD ANY DAMAGE AS REQUIRED.

ENSURE INTEGRITY OF EXISTING STRUCTURES ON DEMOLITION OF WALLS, ROOFS OR OTHER ELEMENTS PROVIDE TEMPORARY PROPPING AS REQUIRED TO STRUCTURAL ENGINEERS APPROVAL.

BUILDER TO ENSURE THAT ALL SERVICES ARE LOCATED, CLEARLY IDENTIFIED AND TERMINATED (OR PROTECTED) PRIOR TO ANY DEMOLITION.

RETAIN ALL RED BRICKS TO BE CLEANED AND REUSED ON SITE



1 DEMO LOWER GROUND 1:150

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 9376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISÉ DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

Accredited Designer: Richard Loney CC 6198Y

Drawing title

ARCHITECTURAL DEMOLITION PLAN

Drawing number: **1.02** Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pn10/02/20262:38 PM

REMOVAL OF WALLS, PARTITIONS, SCREENS, DOORS ETC. TO INCLUDE REMOVAL OF ALL TRIMS, SKIRTINGS, INSULATION AND THE LIKE, COMPLETE, AND MAKING GOOD ADJACENT CEILING, WALL AND OTHER SURFACES AS REQUIRED.

ALL MATERIALS, COMPONENTS AND FIXTURES NOT REQUIRED FOR REUSE WITHIN THIS PROJECT, ARE TO BE DISPOSED OF FOR SALVAGE AND REUSE WHERE POSSIBLE, OR FOR RECYCLING WHERE NOT.

REMOVAL OF FLOOR FINISHES TO INCLUDE FOR REMOVAL OF ALL UNDERLAYS, SCREEDS, TRANSITION AND COVER STRIPS AND THE LIKE AND CLEANING BACK AND PREPARING SUBSTRATES FOR NEW FLOOR FINISHES, INCLUDING LEVELLING SCREED, PATCHING OR OTHER MAKE GOOD AS REQUIRED.

ALL DEMOLISHED MATERIALS AND COMPONENTS ETC ARE TO BE REMOVED FROM SITE UNLESS OTHERWISE NOTED. STRICTLY NO BURNING OFF ON SITE.

LEAVE ALL SURFACES CLEAR AND FREE OF ANY REMNANTS/OBJECTS READY TO MAKE WAY FOR NEW WORKS.

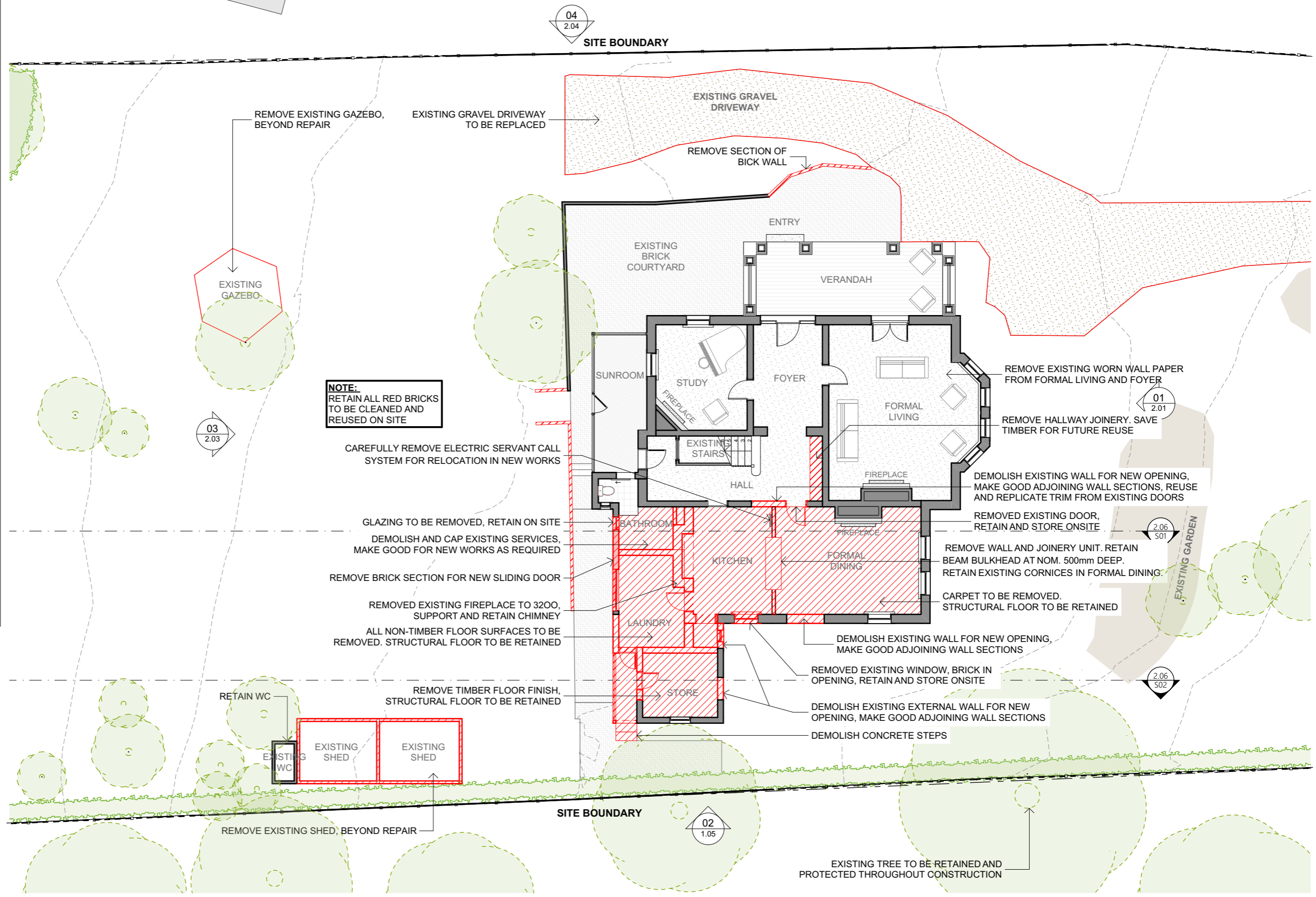
ALLOW TO MAKE GOOD AND REPAIR ALL EXISTING WALLS, PATCH AND PAINT WITH APPROPRIATE MATERIALS, IE. LIME MORTAR AS REQUIRED

REMOVE EXISTING SERVICES AS NOTED FROM CONTRACT AREA AND MAKE GOOD CONCRETE, BRICKWORK, BLOCKWORK, SLAB, CEILING & ROOF PENETRATIONS AS REQUIRED. MAKE GOOD ANY DAMAGE AS REQUIRED.

ENSURE INTEGRITY OF EXISTING STRUCTURES ON DEMOLITION OF WALLS, ROOFS OR OTHER ELEMENTS PROVIDE TEMPORARY PROPPING AS REQUIRED TO STRUCTURAL ENGINEERS APPROVAL.

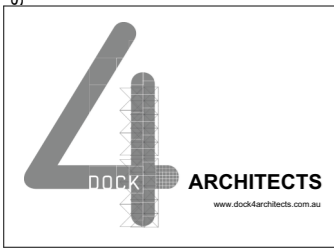
BUILDER TO ENSURE THAT ALL SERVICES ARE LOCATED, CLEARLY IDENTIFIED AND TERMINATED (OR PROTECTED) PRIOR TO ANY DEMOLITION.

RETAIN ALL RED BRICKS TO BE CLEANED AND REUSED ON SITE



NOTE:
RETAIN ALL RED BRICKS TO BE CLEANED AND REUSED ON SITE

1 DEMO GROUND FLOOR 1:150



MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 9378 6169
info@dock4.com.au

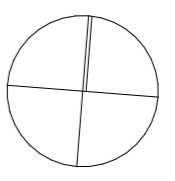
HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000
Status: RFI 1
Date generated: 10/02/2026
Format: A3
Drawn: GE
Approved: RL
Project number: 251001
Accredited Designer: Richard Loney CC 6198Y



Drawing title
ARCHITECTURAL DEMOLITION PLAN
Drawing number: **1.03**
Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

REMOVAL OF WALLS, PARTITIONS, SCREENS, DOORS ETC. TO INCLUDE REMOVAL OF ALL TRIMS, SKIRTINGS, INSULATION AND THE LIKE, COMPLETE, AND MAKING GOOD ADJACENT CEILING, WALL AND OTHER SURFACES AS REQUIRED.

ALL MATERIALS, COMPONENTS AND FIXTURES NOT REQUIRED FOR REUSE WITHIN THIS PROJECT, ARE TO BE DISPOSED OF FOR SALVAGE AND REUSE WHERE POSSIBLE, OR FOR RECYCLING WHERE NOT.

REMOVAL OF FLOOR FINISHES TO INCLUDE FOR REMOVAL OF ALL UNDERLAYS, SCREEDS, TRANSITION AND COVER STRIPS AND THE LIKE AND CLEANING BACK AND PREPARING SUBSTRATES FOR NEW FLOOR FINISHES, INCLUDING LEVELLING SCREED, PATCHING OR OTHER MAKE GOOD AS REQUIRED.

ALL DEMOLISHED MATERIALS AND COMPONENTS ETC ARE TO BE REMOVED FROM SITE UNLESS OTHERWISE NOTED. STRICTLY NO BURNING OFF ON SITE.

LEAVE ALL SURFACES CLEAR AND FREE OF ANY REMNANTS/OBJECTS READY TO MAKE WAY FOR NEW WORKS.

ALLOW TO MAKE GOOD AND REPAIR ALL EXISTING WALLS, PATCH AND PAINT WITH APPROPRIATE MATERIALS, IE. LIME MORTAR AS REQUIRED

REMOVE EXISTING SERVICES AS NOTED FROM CONTRACT AREA AND MAKE GOOD CONCRETE, BRICKWORK, BLOCKWORK, SLAB, CEILING & ROOF PENETRATIONS AS REQUIRED. MAKE GOOD ANY DAMAGE AS REQUIRED.

ENSURE INTEGRITY OF EXISTING STRUCTURES ON DEMOLITION OF WALLS, ROOFS OR OTHER ELEMENTS PROVIDE TEMPORARY PROPPING AS REQUIRED TO STRUCTURAL ENGINEERS APPROVAL.

BUILDER TO ENSURE THAT ALL SERVICES ARE LOCATED, CLEARLY IDENTIFIED AND TERMINATED (OR PROTECTED) PRIOR TO ANY DEMOLITION.

RETAIN ALL RED BRICKS TO BE CLEANED AND REUSED ON SITE

04
2.04

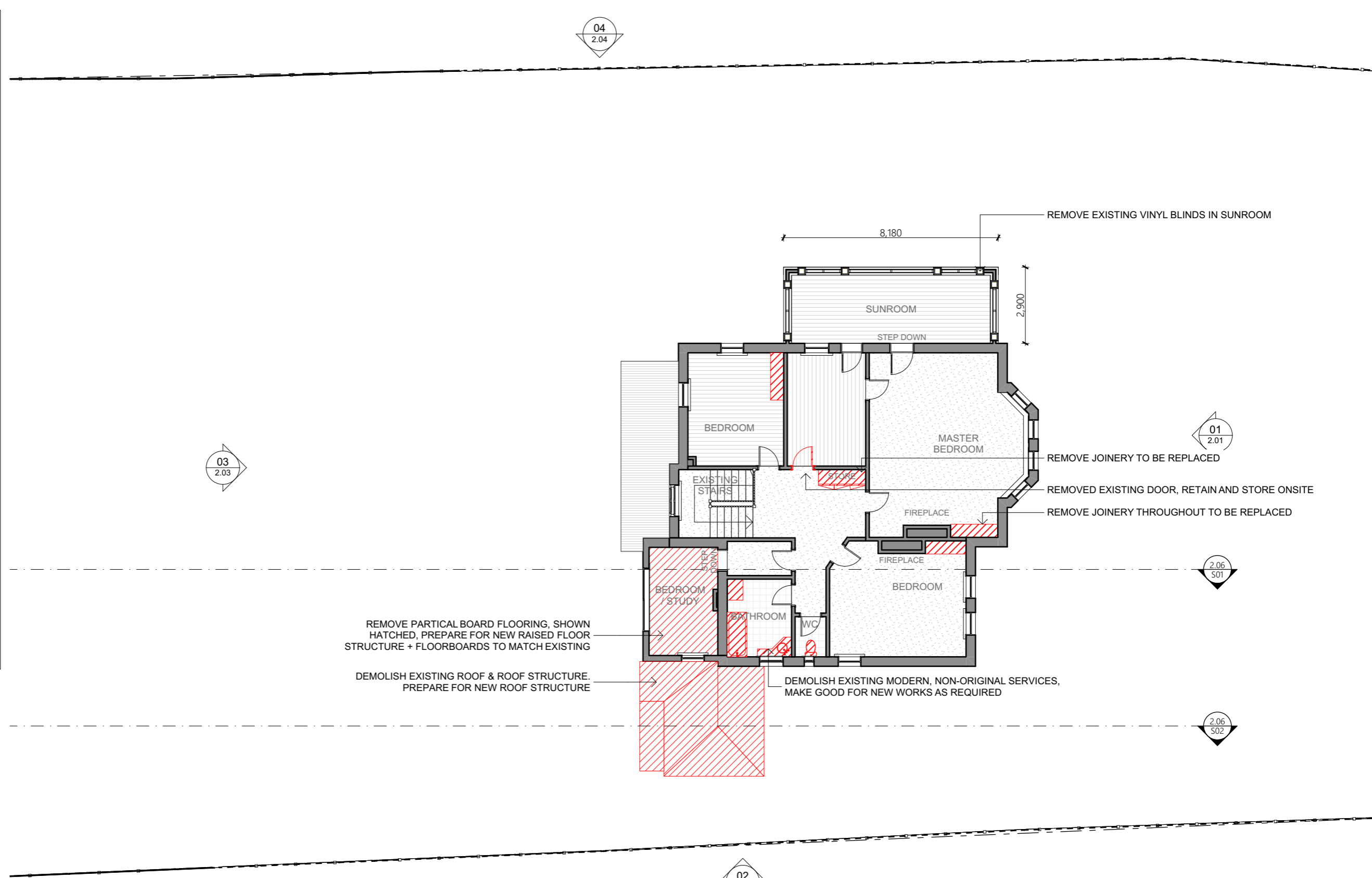
03
2.03

01
2.01

2.06
501

2.06
502

02
1.05



1 DEMO SECOND FLOOR 1:150

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 9376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISOR'S DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

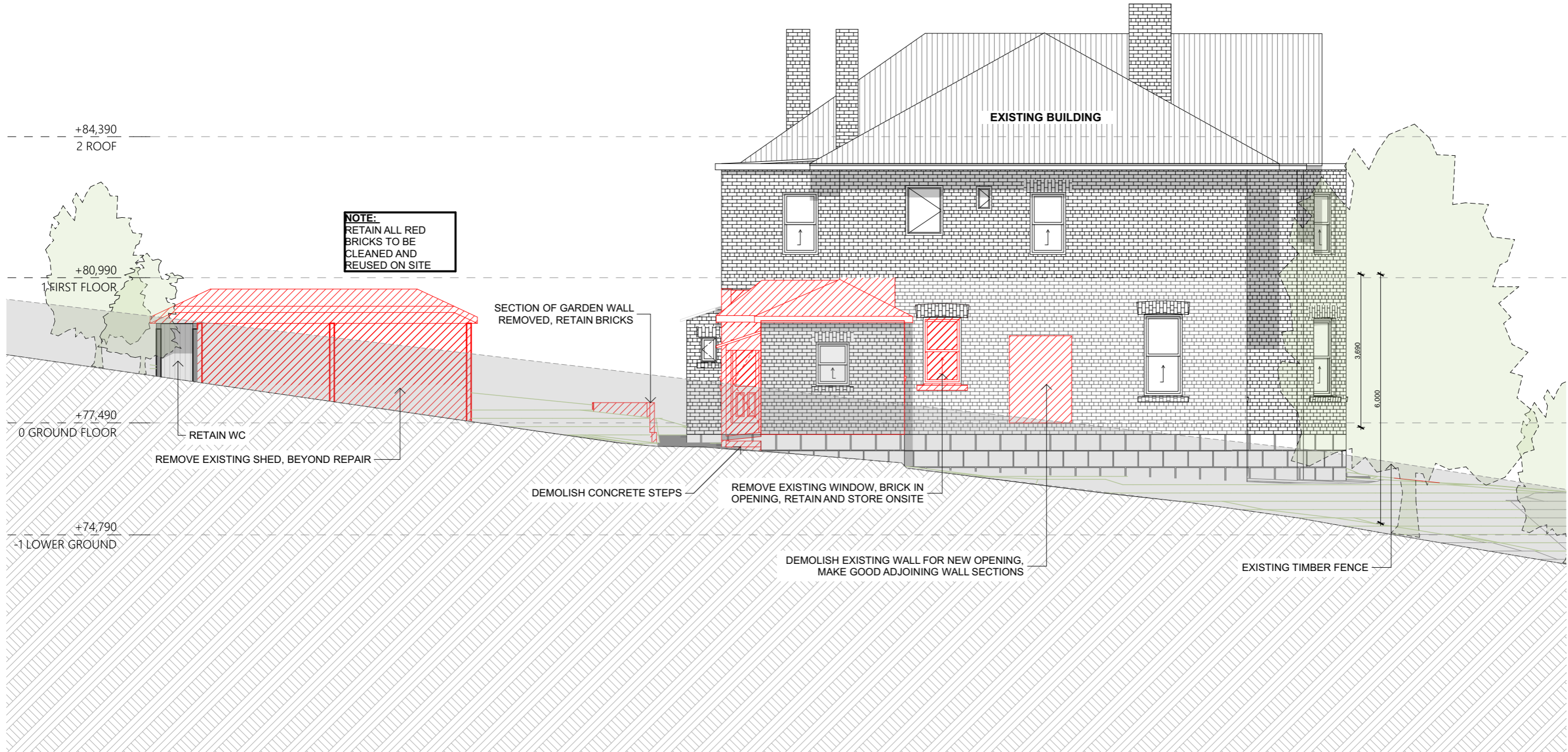
Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL DEMOLITION PLAN

Drawing number: **1.04**

Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ ARCHICAD\260205_454 ELIZABETH ST_DA RFI.pln 10/02/2026 2:38 PM



02 DEMO SOUTH ELEVATION
1:100

4 DOCK ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISED DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

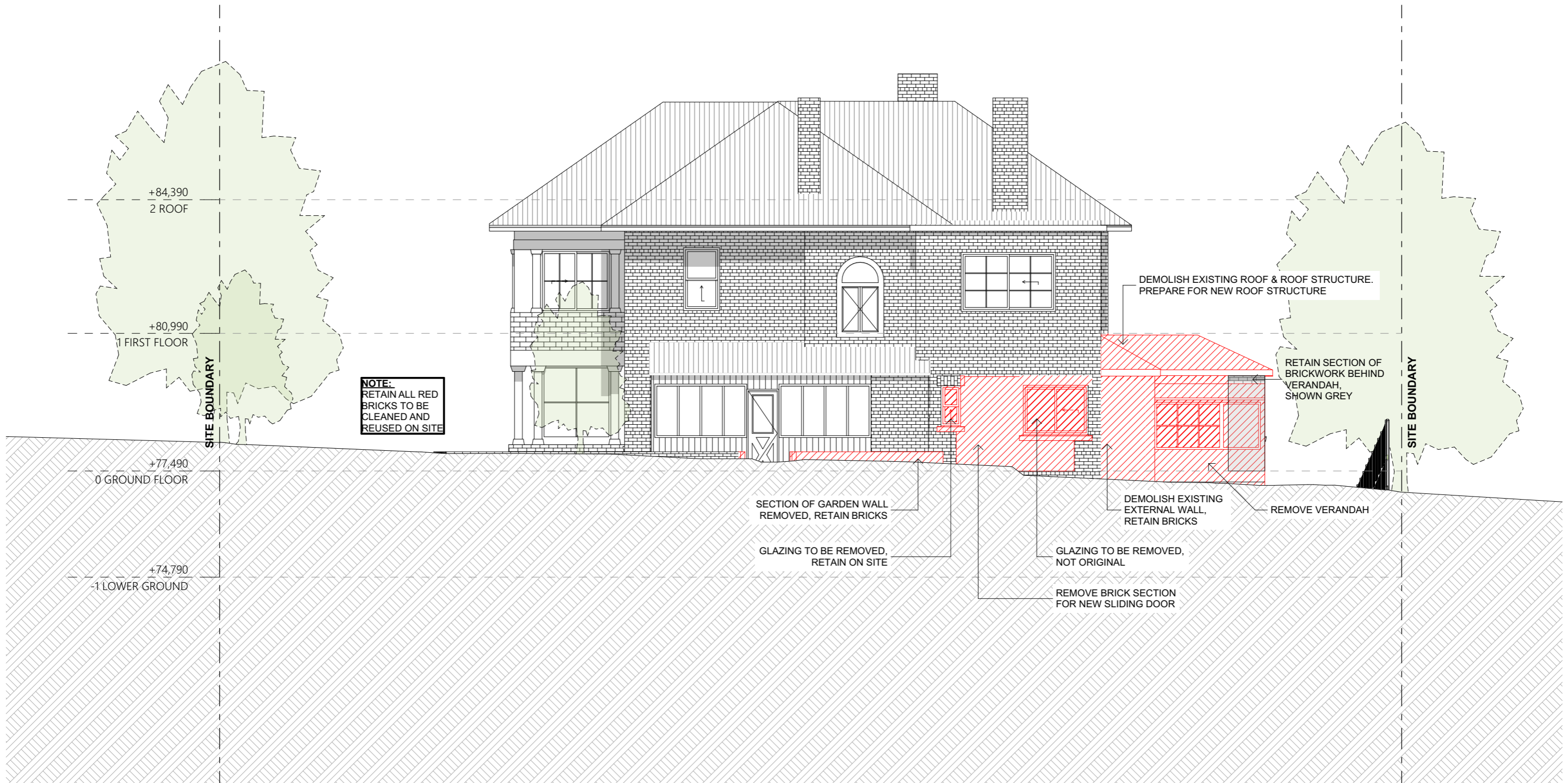
Status: RFI 1
Date generated: 10/02/2026
Format: A3
Accredited Designer: Richard Loney CC 6198Y

Project number: 251001
Drawn: GE
Approved: RL

Drawing title
ARCHITECTURAL DEMO ELEVATIONS

Drawing number: **1.05**
Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



03 DEMO WEST ELEVATION 1:100

DOCK4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 8378 8169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISÉ DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Project number: 251001

Drawn: GE

Approved: RL

Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL DEMO ELEVATIONS

Drawing number: **1.06**

Revision: **01**

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

ALL SETBACKS AS NOTED ON PLAN ARE TO BE MEASURED FROM TITLE BOUNDARIES.

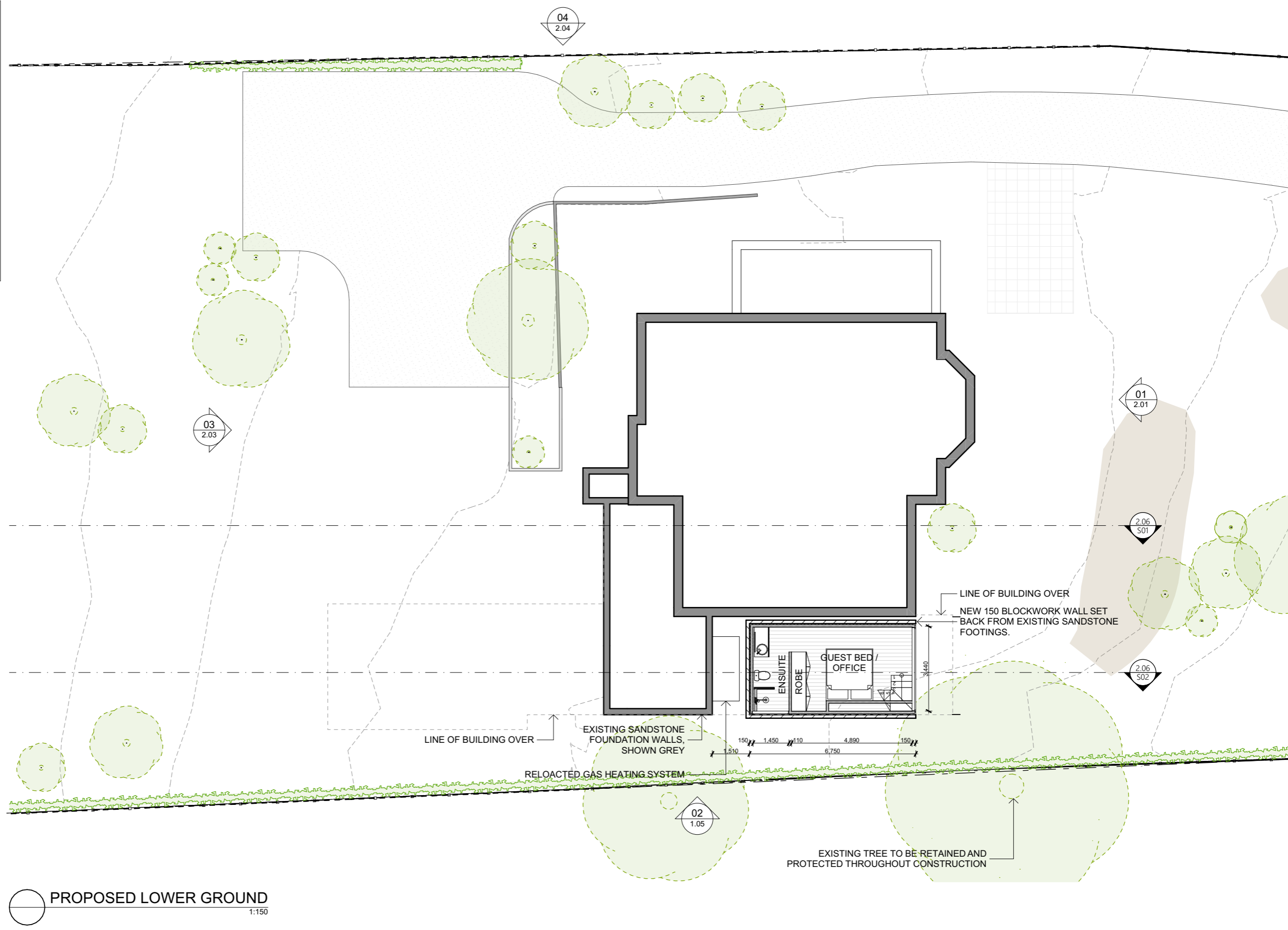
ALL SARKING TO ROOFS AND WALLS TO BE VAPOUR PERMEABLE AND COMPLIANT WITH AS4200.1 AND AS4200.2.

WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BCA CLAUSE 3.8.1.1 AND IN ACCORDANCE WITH AS 3740.

METAL ROOF AND WALL CLADDINGS TO COMPLY WITH AS1562.1

RE-PAINTING OF WALLS AND CEILING THROUGHOUT. **NO EXISTING UNPAINTED SURFACES** (IE. TIMBER PICTURE RAILS, ARCHITRAVES OR SKIRTING) **TO BE PAINTED - RETAIN TIMBER FINISH.**

RETAIN ALL EXISTING CHIMNEYS



○ PROPOSED LOWER GROUND 1:150

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\E ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 9378 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
 REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

Accredited Designer: Richard Loney CC 6198Y

Drawing title

**ARCHITECTURAL
PROPOSED FLOOR PLAN**

Drawing number

1.07

Revision

01

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

ALL SETBACKS AS NOTED ON PLAN ARE TO BE MEASURED FROM TITLE BOUNDARIES.

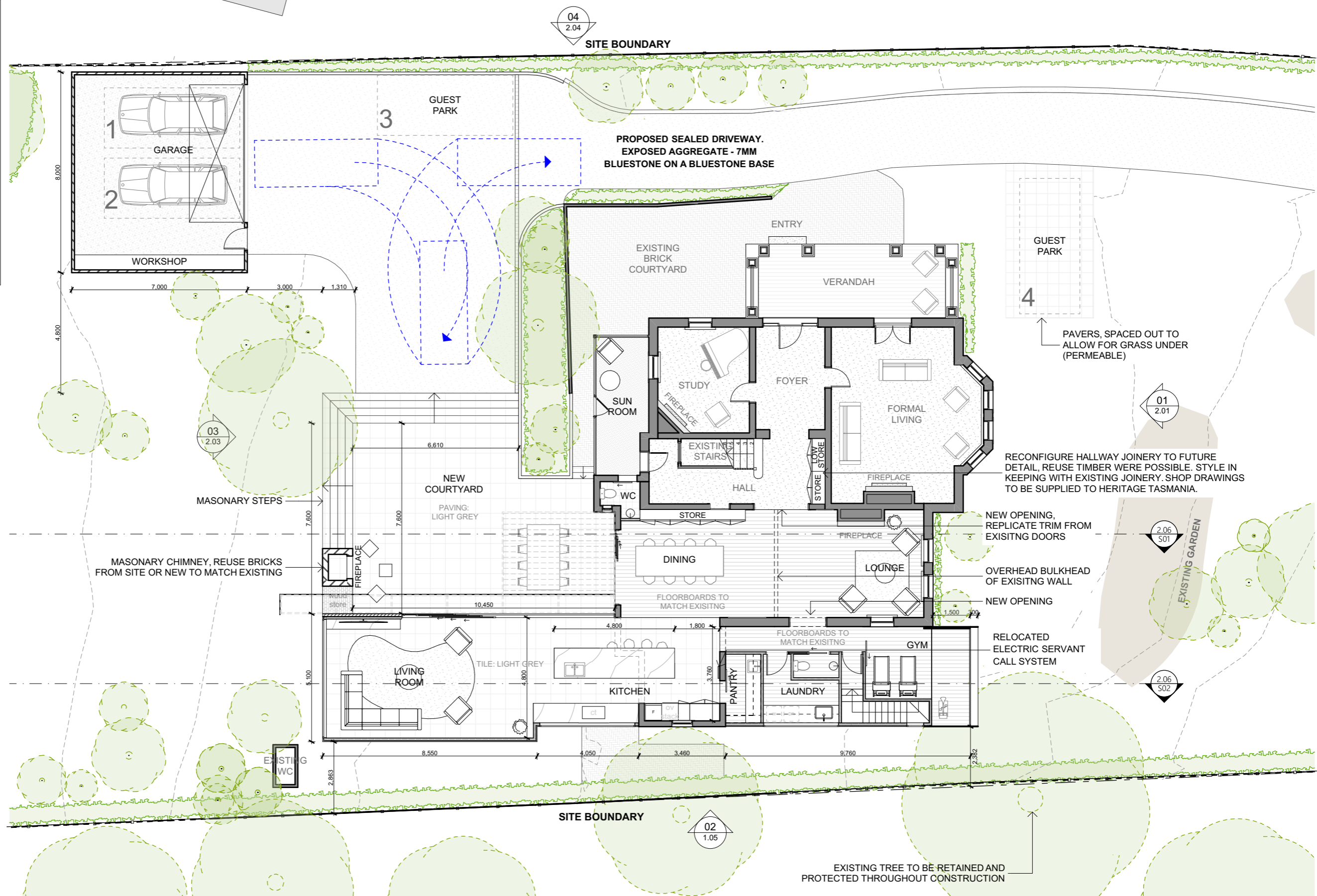
ALL SARKING TO ROOFS AND WALLS TO BE VAPOUR PERMEABLE AND COMPLIANT WITH AS4200.1 AND AS4200.2.

WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BCA CLAUSE 3.8.1.1 AND IN ACCORDANCE WITH AS 3740.

METAL ROOF AND WALL CLADDINGS TO COMPLY WITH AS1562.1

RE-PAINTING OF WALLS AND CEILING THROUGHOUT. **NO EXISTING UNPAINTED SURFACES** (IE. TIMBER PICTURE RAILS, ARCHITRAVES OR SKIRTING) **TO BE PAINTED - RETAIN TIMBER FINISH.**

RETAIN ALL EXISTING CHIMNEYS



1 PROPOSED GROUND FLOOR 1:150

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

4 DOCK ARCHITECTS
 www.dock4architects.com.au

MELBOURNE
 LVL 1, 673 BOURKE STREET
 MELBOURNE, VIC. 3000
 PH: (03) 9378 6169
 info@dock4.com.au

HOBART
 LVL 2, 102 COLLINS STREET
 HOBART, TAS. 7000
 PH: (03) 6231 0489
 info@dock4.com.au

Date	Set Name	ID
Work in Progress	RFI 1	01

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
 REVISÉ DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
 454 ELIZABETH ST NORTH HOBART
 TAS 7000
 Status
 RFI 1
 Date generated 10/02/2026
 Format A3
 Drawn GE
 Approved RL
 Accredited Designer: Richard Loney CC 6198Y

Project number 251001
 Drawing number 1.08
 Revision 01

ARCHITECTURAL PROPOSED FLOOR PLAN

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

ALL SETBACKS AS NOTED ON PLAN ARE TO BE MEASURED FROM TITLE BOUNDARIES.

ALL SARKING TO ROOFS AND WALLS TO BE VAPOUR PERMEABLE AND COMPLIANT WITH AS4200.1 AND AS4200.2.

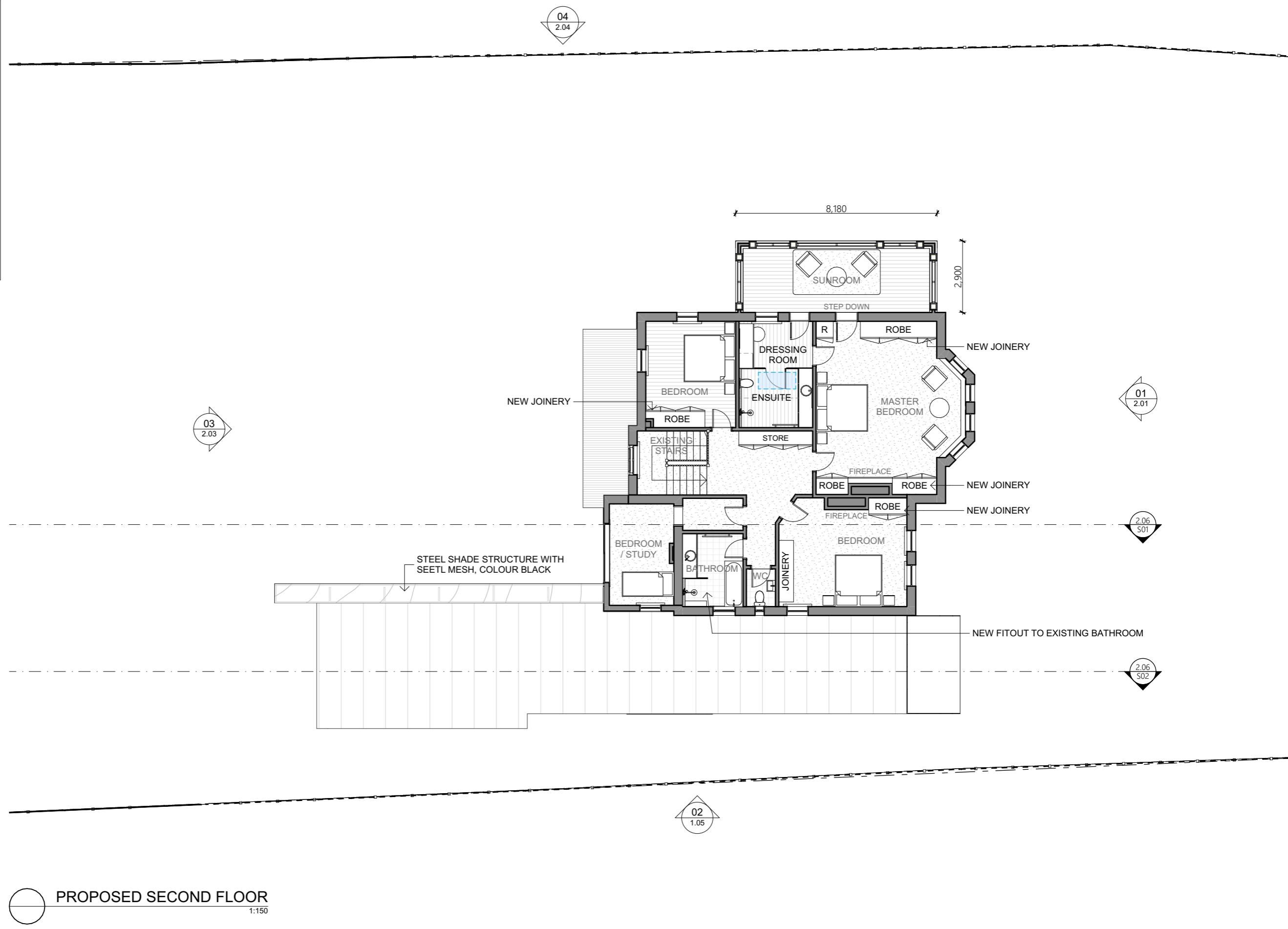
WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BCA CLAUSE 3.8.1.1 AND IN ACCORDANCE WITH AS 3740.

METAL ROOF AND WALL CLADDINGS TO COMPLY WITH AS1562.1

RE-PAINTING OF WALLS AND CEILING THROUGHOUT. **NO EXISTING UNPAINTED SURFACES** (IE. TIMBER PICTURE RAILS, ARCHITRAVES OR SKIRTING) **TO BE PAINTED - RETAIN TIMBER FINISH.**

RETAIN ALL EXISTING CHIMNEYS

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



PROPOSED SECOND FLOOR
1:150

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8378 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISER DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

Accredited Designer: Richard Loney CC 6198Y

Drawing title

**ARCHITECTURAL
PROPOSED FLOOR PLAN**

Drawing number: **1.09** Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

ALL SETBACKS AS NOTED ON PLAN ARE TO BE MEASURED FROM TITLE BOUNDARIES.

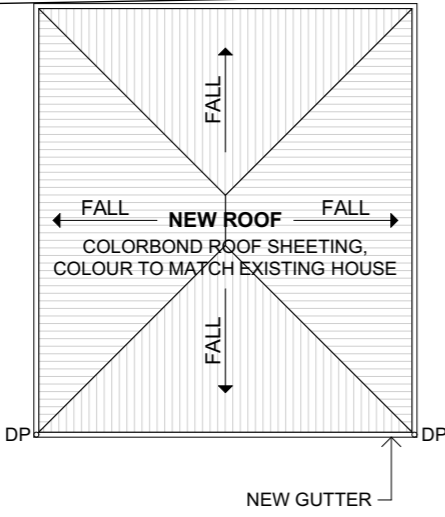
ALL SARKING TO ROOFS AND WALLS TO BE VAPOUR PERMEABLE AND COMPLIANT WITH AS4200.1 AND AS4200.2.

WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BCA CLAUSE 3.8.1.1 AND IN ACCORDANCE WITH AS 3740.

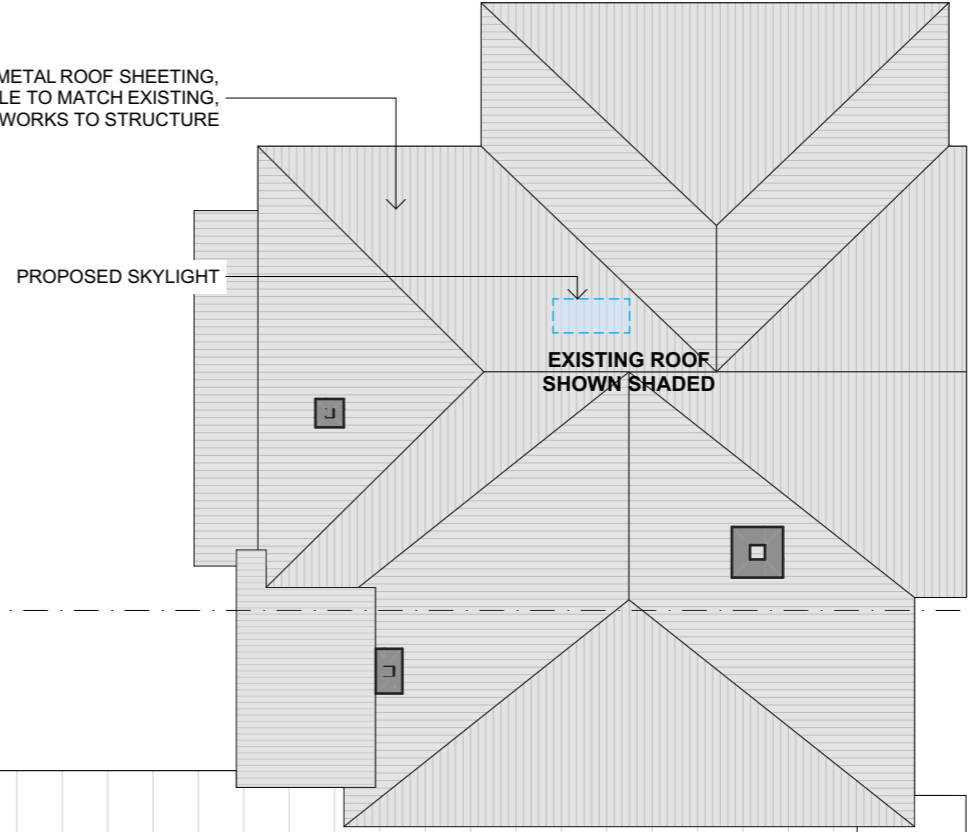
METAL ROOF AND WALL CLADDINGS TO COMPLY WITH AS1562.1

RE-PAINTING OF WALLS AND CEILING THROUGHOUT. **NO EXISTING UNPAINTED SURFACES** (IE. TIMBER PICTURE RAILS, ARCHITRAVES OR SKIRTING) **TO BE PAINTED - RETAIN TIMBER FINISH.**

RETAIN ALL EXISTING CHIMNEYS



REPLACE EXISTING METAL ROOF SHEETING, COLOUR AND PROFILE TO MATCH EXISTING, LIKE FOR LIKE. NO WORKS TO STRUCTURE



03
2.03

04
2.04

01
2.01

2.06
501

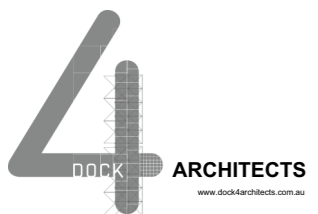
2.06
502

02
1.05

NEW ROOF TO REPLACE EXISTING, LIKE FOR LIKE

NEW ROOF
COLORBOND ROOF SHEETING,
COLOUR MIDNIGHT BLACK

1 PROPOSED ROOF PLAN 1:150



MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 9378 6169
info@dock4.com.au

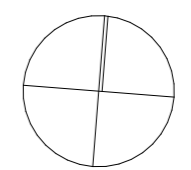
HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

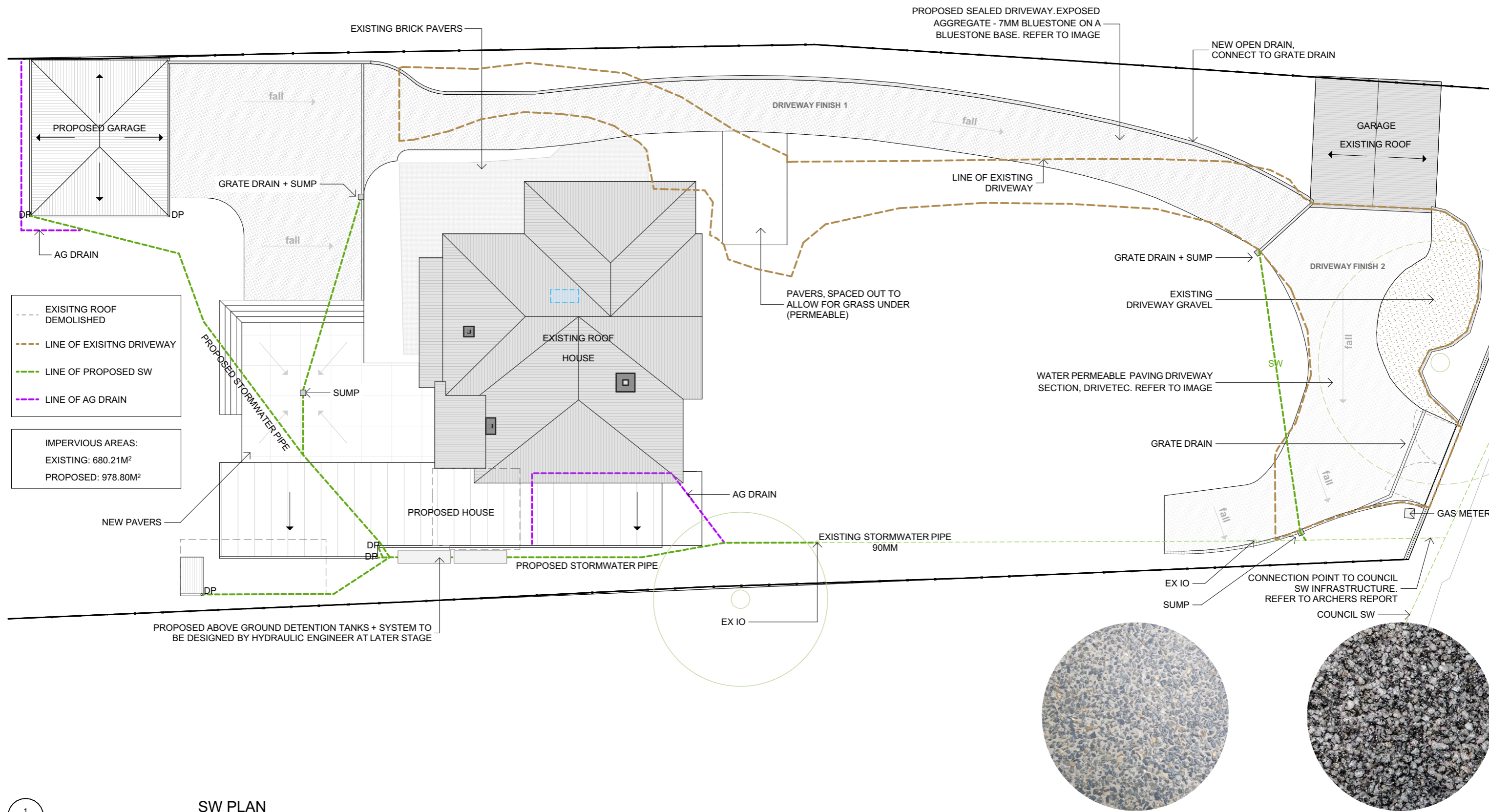
FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISÉ DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000
Status
RFI 1
Date generated 10/02/2026
Format A3
Drawn GE
Approved RL
Accredited Designer: Richard Loney CC 6198Y



Drawing title
ARCHITECTURAL PROPOSED ROOF PLAN
Drawing number **1.10** Revision **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pn11/02/2026.12:45 PM



PROPOSED ABOVE GROUND DETENTION TANKS + SYSTEM TO BE DESIGNED BY HYDRAULIC ENGINEER AT LATER STAGE

1 SW PLAN 1:200

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 9376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0499
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISÉ DOCUMENT
REPLACE EARLIER ISSUE

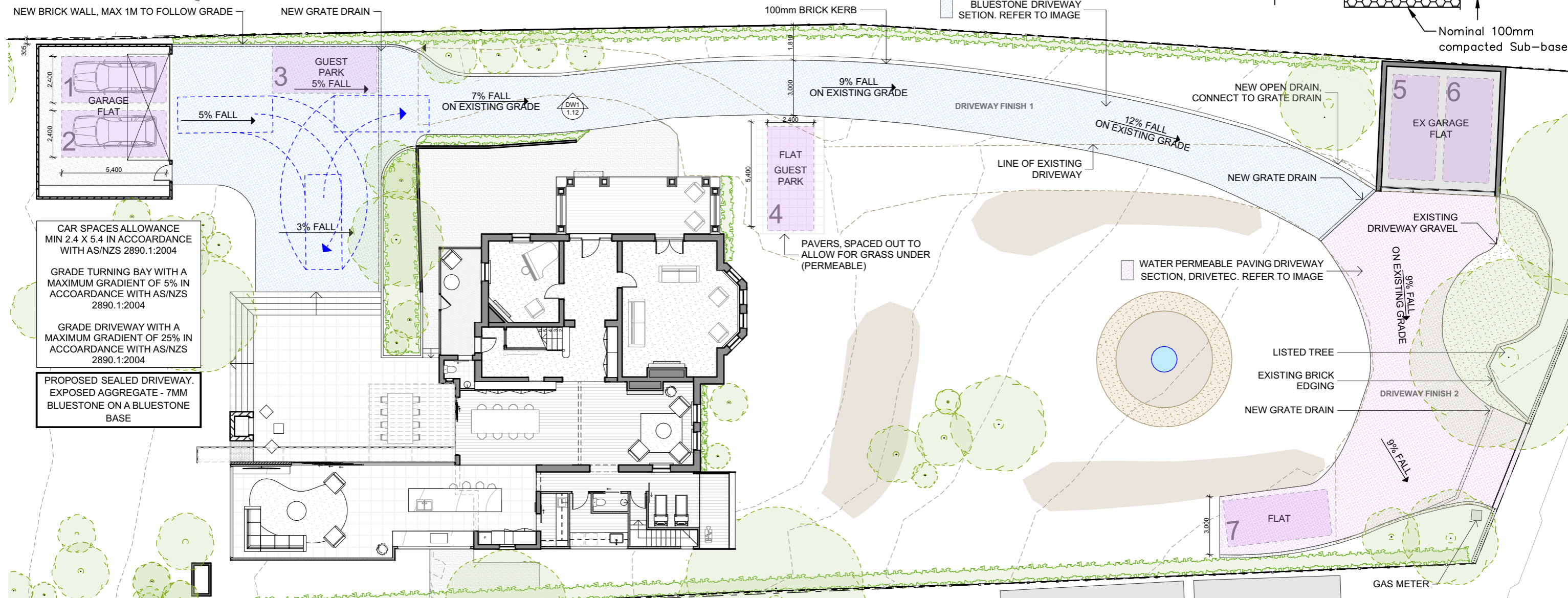
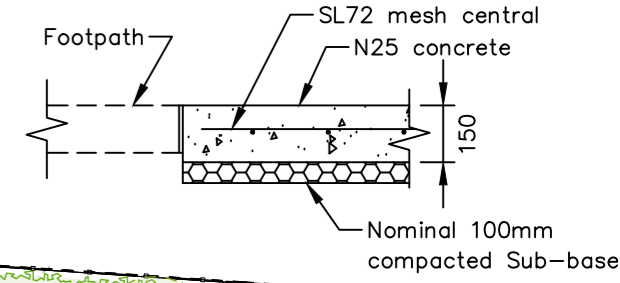
ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000
Status: RFI 1
Date generated: 11/02/2026
Format: A3
Accredited Designer: Richard Loney CC 6198Y

Project number: 251001
Drawn: GE
Approved: RL

Drawing title
ARCHITECTURAL PROPOSED SW PLAN

Drawing number: **1.11**
Revision: **01**

TYPICAL PLAN (DOMESTIC)
(‘TYPE KC’ KERB SHOWN)



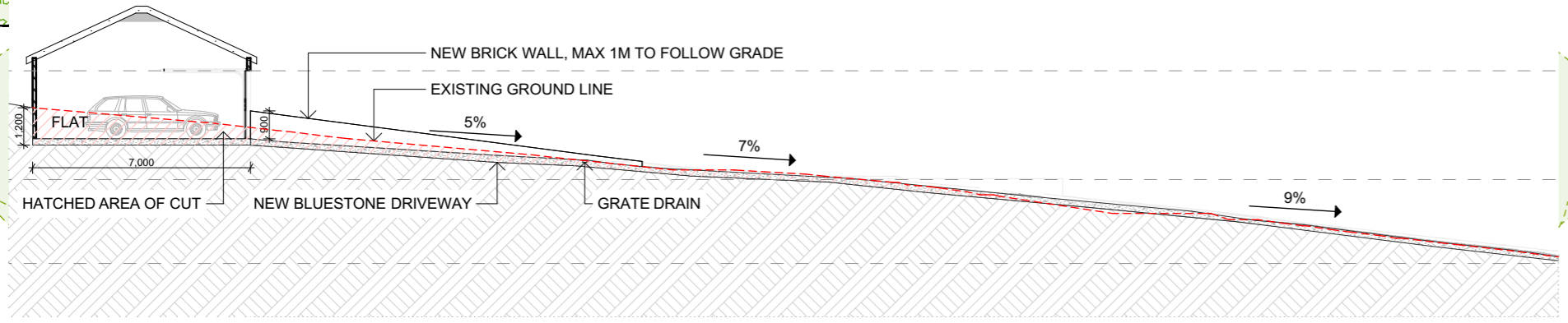
CAR SPACES ALLOWANCE
MIN 2.4 X 5.4 IN ACCORDANCE
WITH AS/NZS 2890.1:2004

GRADE TURNING BAY WITH A
MAXIMUM GRADIENT OF 5% IN
ACCORDANCE WITH AS/NZS
2890.1:2004

GRADE DRIVEWAY WITH A
MAXIMUM GRADIENT OF 25% IN
ACCORDANCE WITH AS/NZS
2890.1:2004

PROPOSED SEALED DRIVEWAY.
EXPOSED AGGREGATE - 7MM
BLUESTONE ON A BLUESTONE
BASE

WATER PERMEABLE PAVING DRIVEWAY
SECTION, DRIVETEC. REFER TO IMAGE



DRIVEWAY FINISH 1 | BLUESTONE AGGREGATE CONCRETE DRIVEWAY FINISH 2 | PURE GRANITE

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pn11/02/2026\12:45 PM

1 **PARKING**
1:200

MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 9376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 11/02/2026

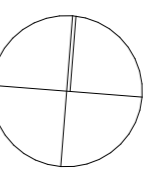
Format: A3

Drawn: GE

Approved: RL

Project number: 251001

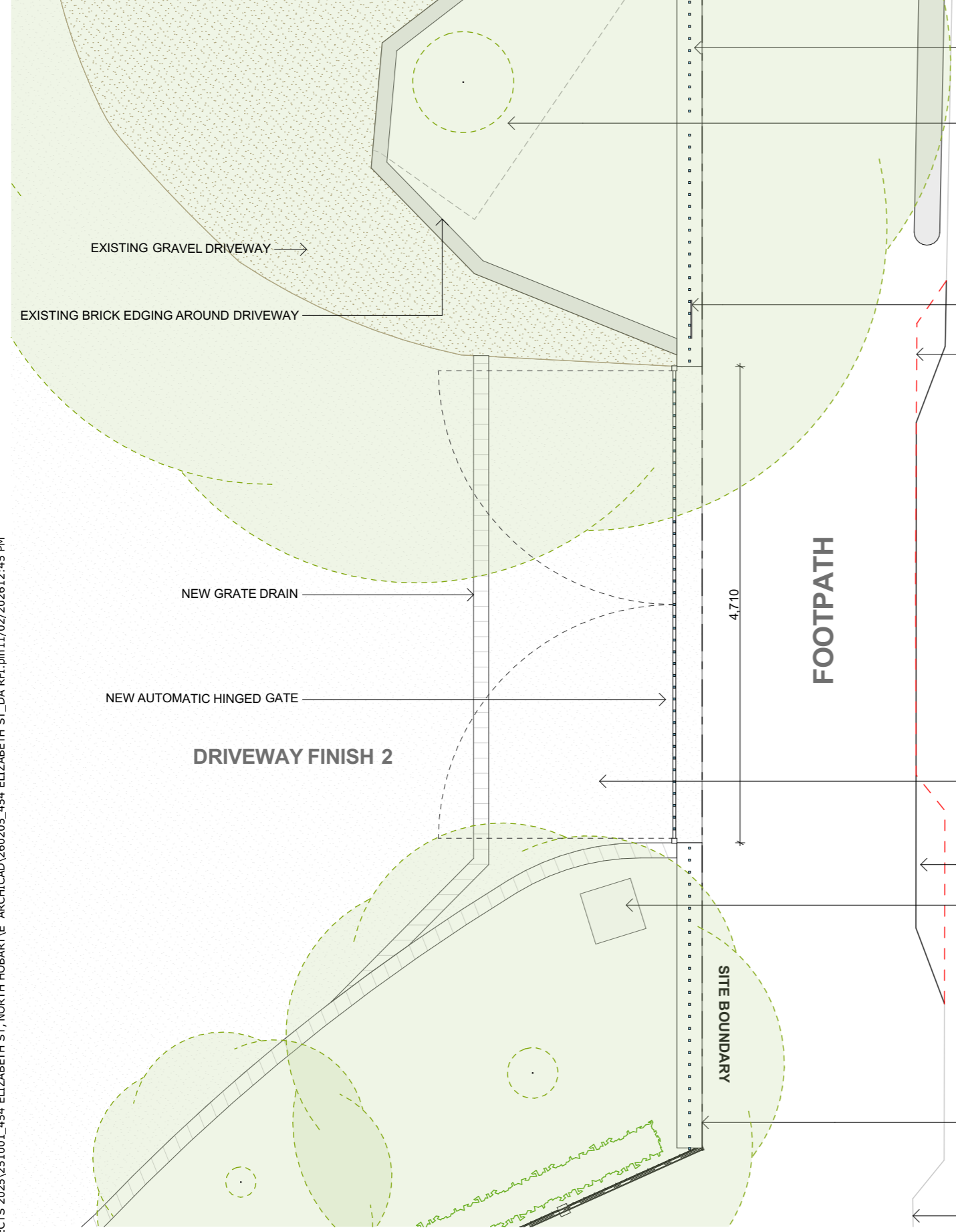
Accredited Designer: Richard Loney CC 6198Y



Drawing title
**ARCHITECTURAL
PROPOSED PARKING**

Drawing number: **1.12**
Revision: **01**

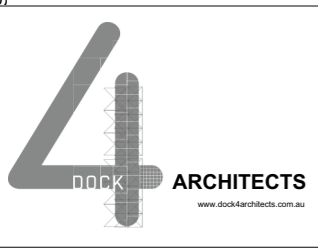
S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 11/02/2026 12:45 PM



DRIVEWAY FINISH 1 | BLUESTONE AGGREGATE CONCRETE

DRIVEWAY FINISH 2 | PURE GRANITE

1 PROPOSED ENTRY 1:50



MELBOURNE
 LVL 1, 873 BOURKE STREET
 MELBOURNE, VIC. 3000
 PH: (03) 8376 6169
 info@dock4.com.au

HOBART
 LVL 2, 102 COLLINS STREET
 HOBART, TAS. 7000
 PH: (03) 6231 0489
 info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
 REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
 454 ELIZABETH ST NORTH HOBART
 TAS 7000

Status: RFI 1 Project number: 251001

Date generated: 11/02/2026 Format: A3 Drawn: GE Approved: RL

Accredited Designer: Richard Loney CC 6198Y

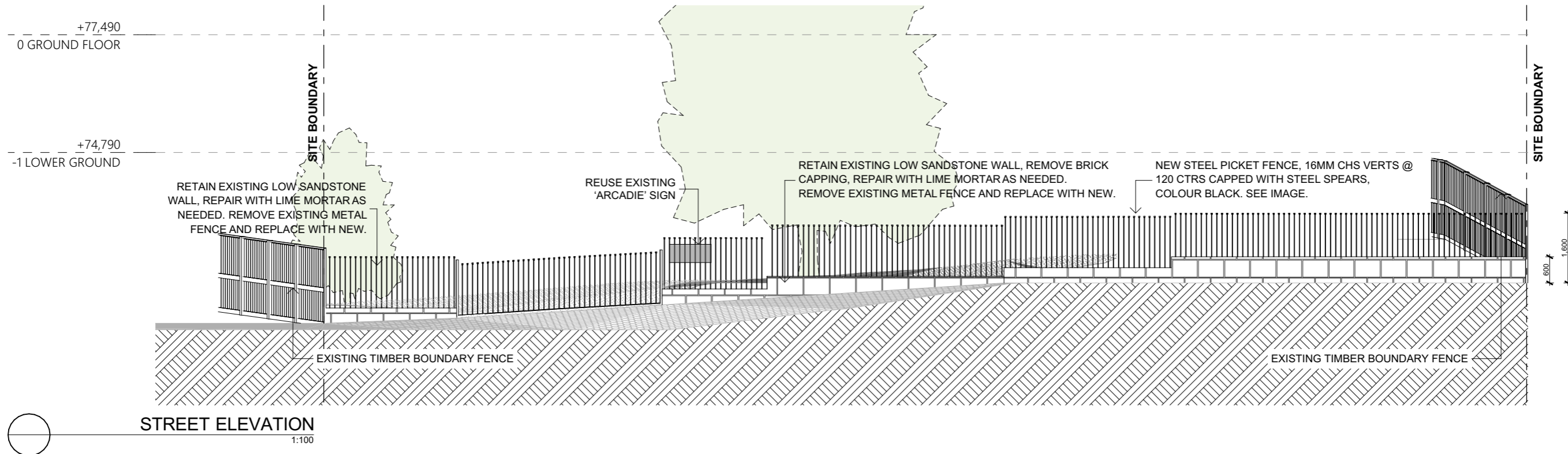
Drawing title
ARCHITECTURAL PROPOSED ENTRY

Drawing number: **1.13** Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



FRONT FENCE



STREET ELEVATION 1:100

DOCK4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISOR'S MARK: REVISOR'S MARK
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1 Project number: 251001

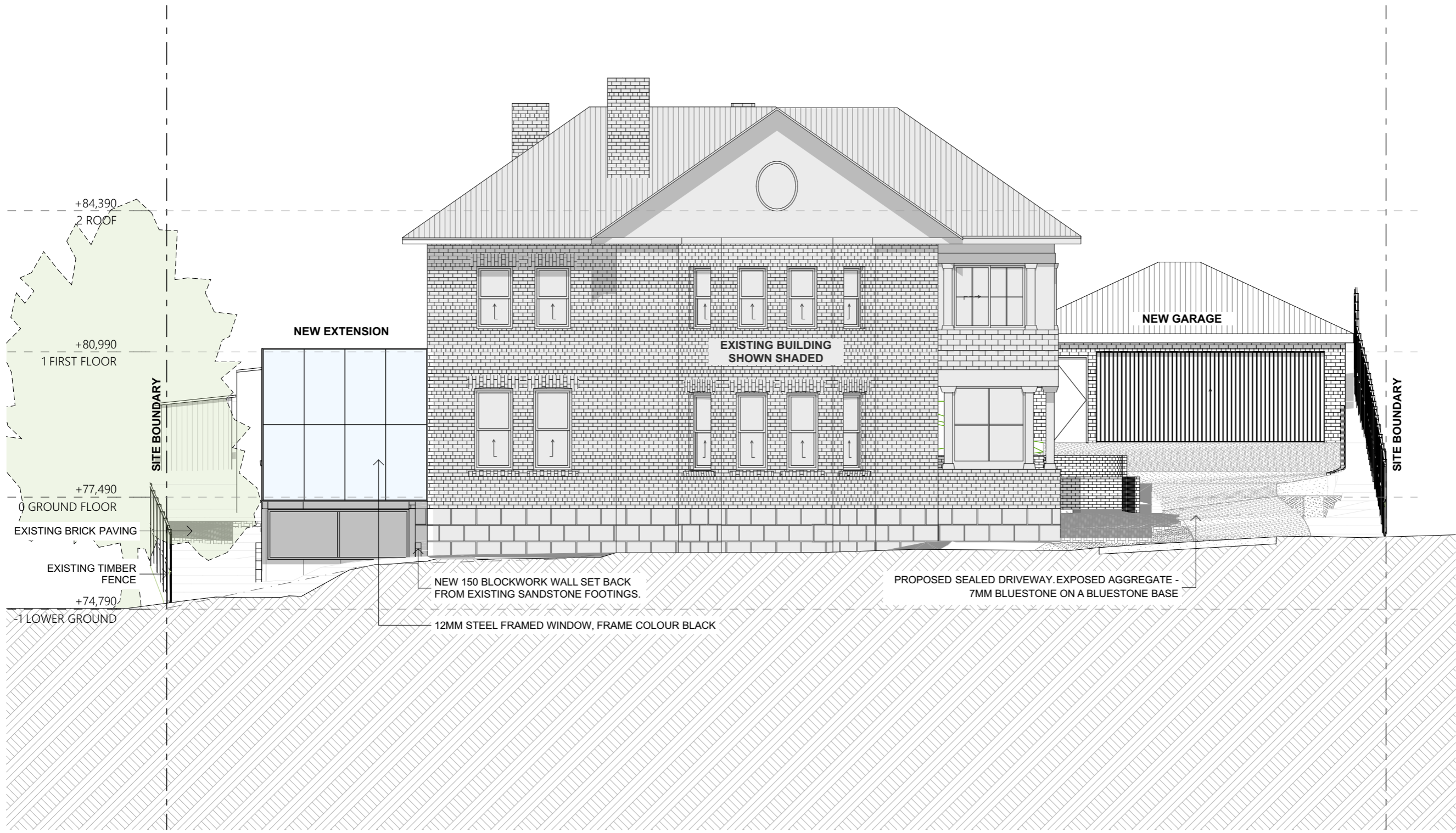
Date generated: 10/02/2026 Format: A3 Drawn: GE Approved: RL

Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL STREET ELEVATION

Drawing number: **1.14** Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



EAST ELEVATION

1:100

01

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

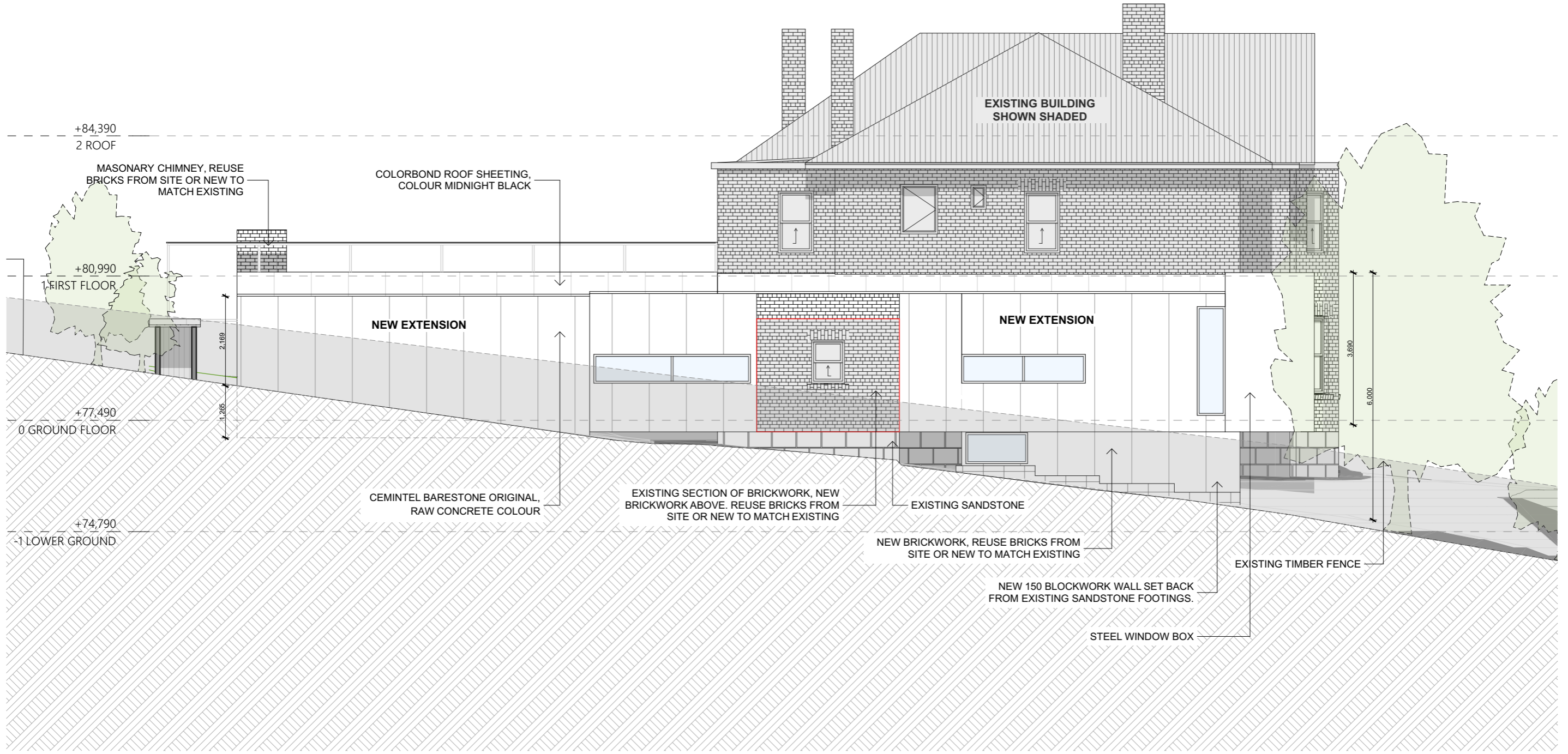
Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL ELEVATIONS

Drawing number: **2.01**

Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



02 SOUTH ELEVATION 1:100

DOCK4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISED DOCUMENT
REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

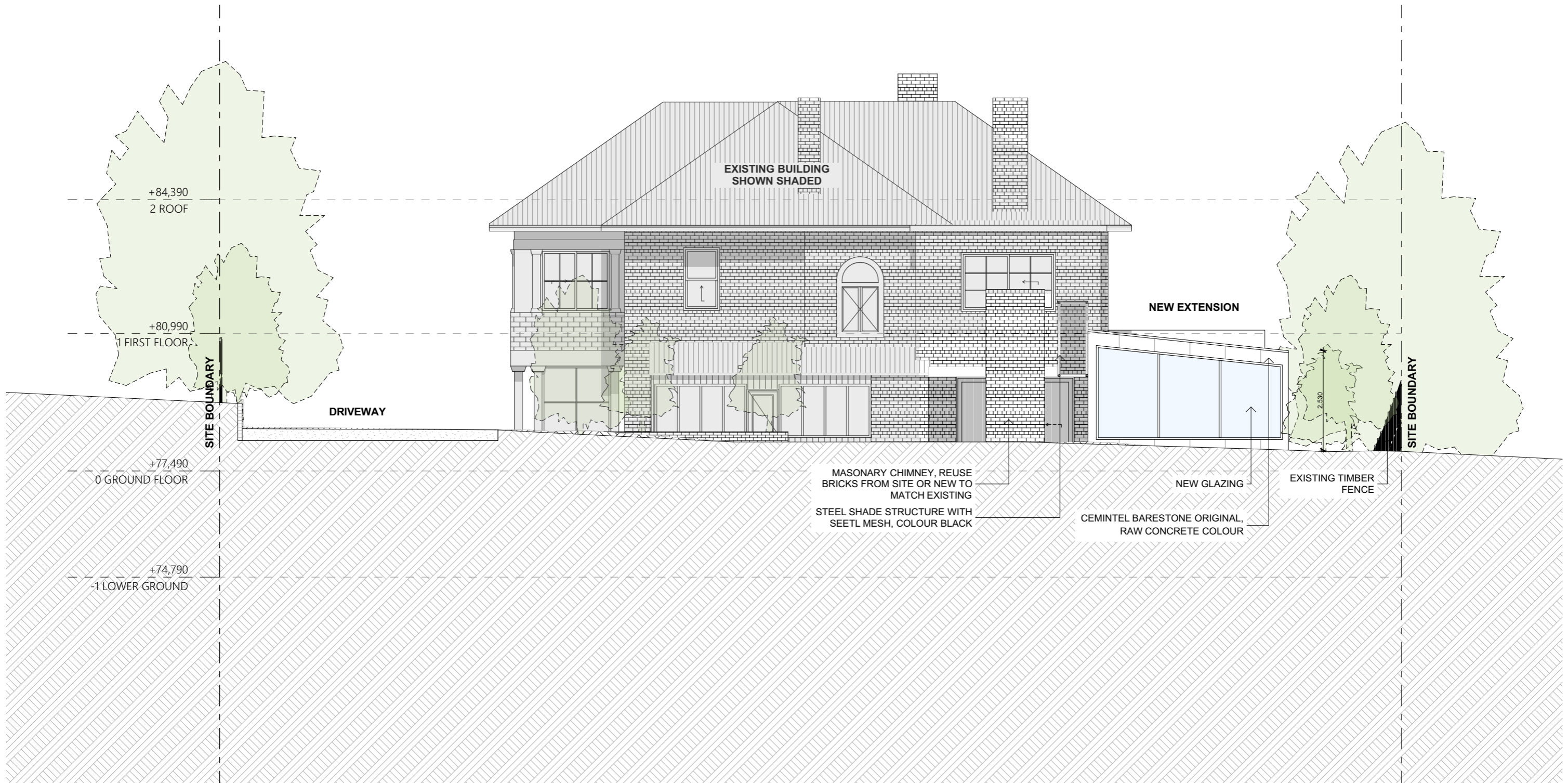
Accredited Designer: Richard Loney CC 6198Y

Drawing title: **ARCHITECTURAL ELEVATIONS**

Drawing number: **2.02**

Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



03 WEST ELEVATION 1:100

DOCK4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISED DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Project number: 251001

Drawn: GE

Approved: RL

Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL ELEVATIONS

Drawing number: **2.03**

Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



04 NORTH ELEVATION 1:100

DOCK 4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISED DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

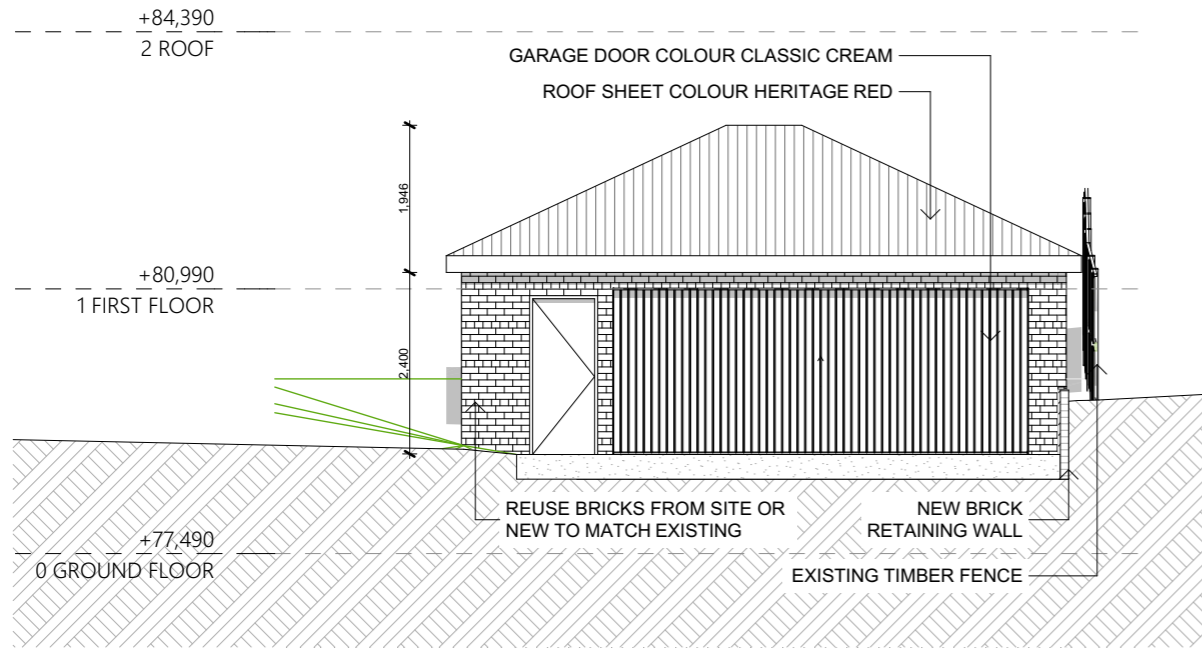
Project number: 251001

Accredited Designer: Richard Loney CC 6198Y

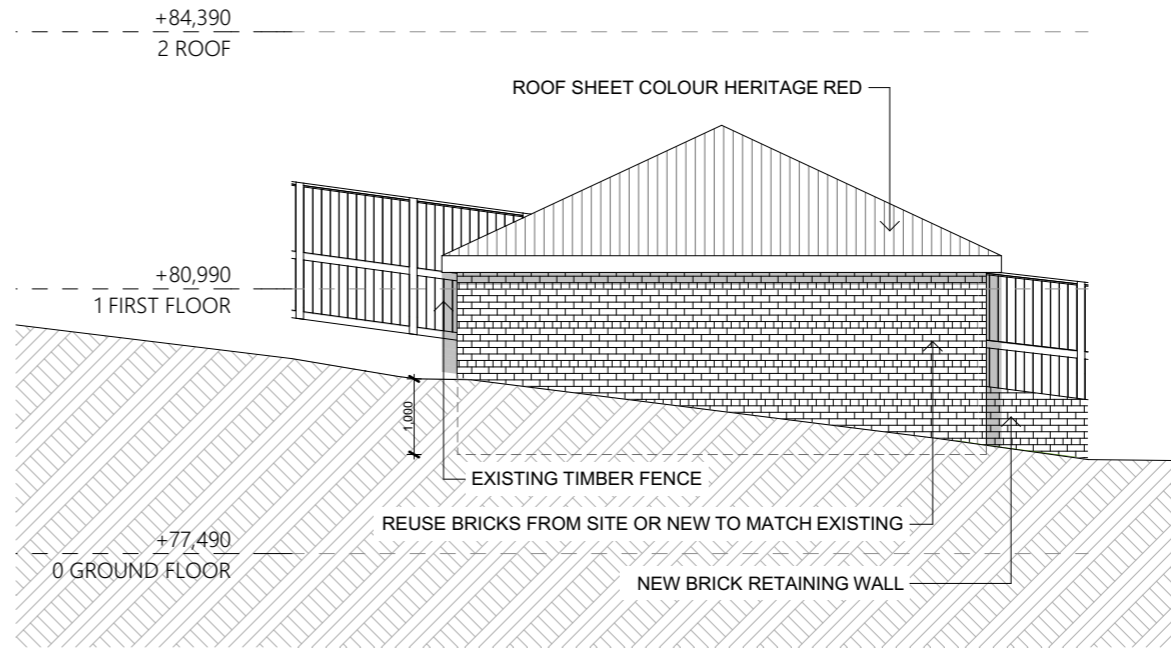
Drawing title
ARCHITECTURAL ELEVATIONS

Drawing number: **2.04**

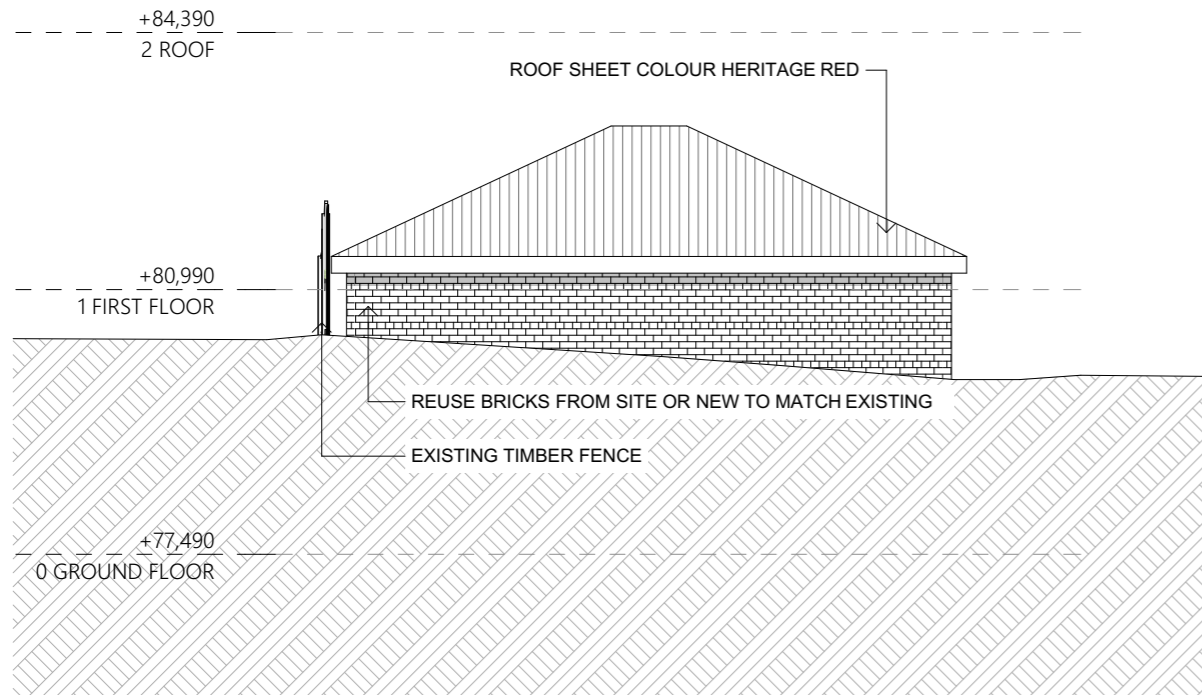
Revision: **01**



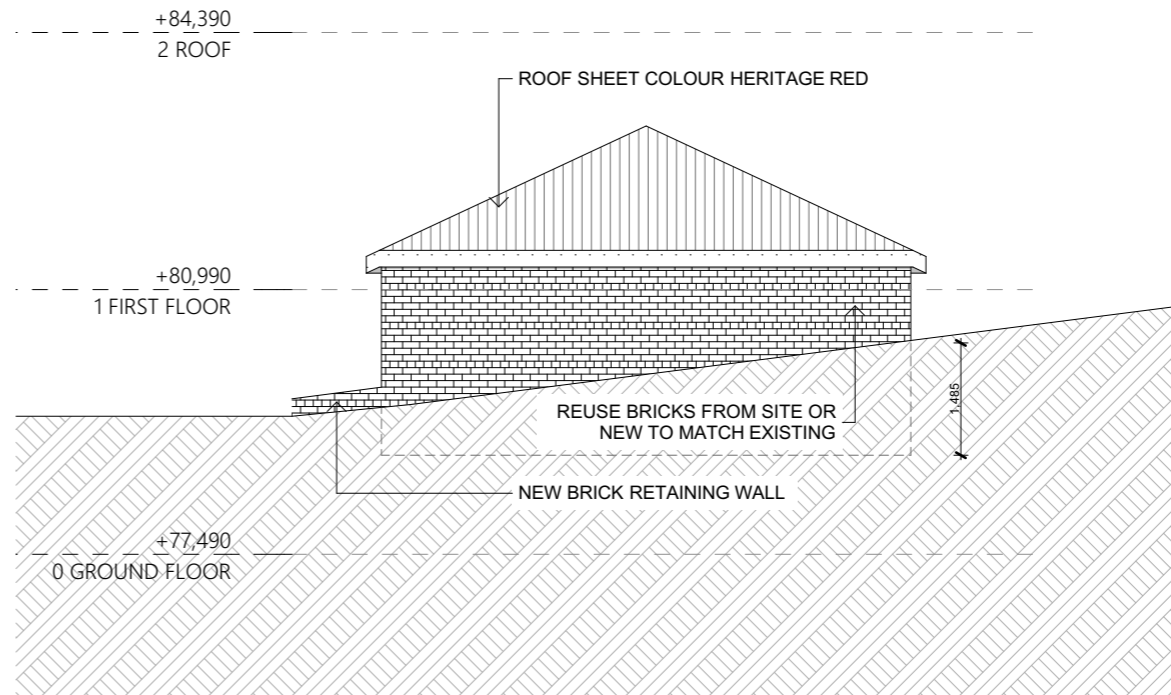
○ EAST GARAGE ELEVATION
1:100



○ SOUTH GARAGE ELEVATION
1:100



○ WEST GARAGE ELEVATION
1:100



○ NORTH GARAGE ELEVATION
1:100

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM

4 DOCK ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISED DOCUMENT

REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1
Date generated: 10/02/2026

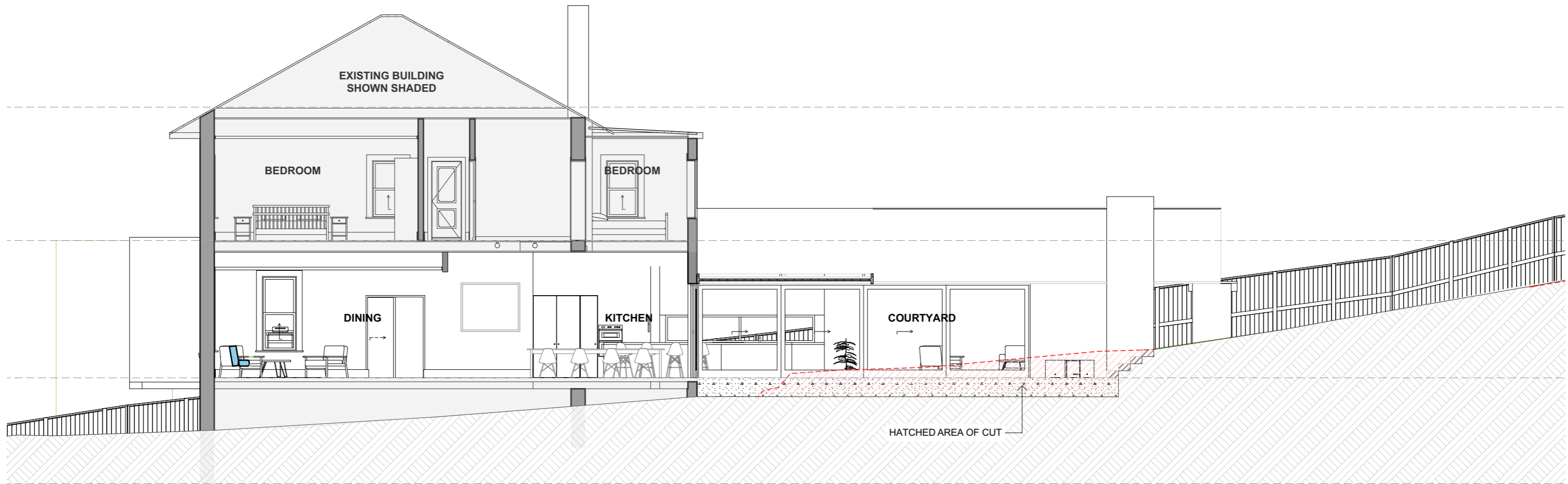
Project number: 251001
Format: A3
Drawn: GE
Approved: RL

Accredited Designer: Richard Loney CC 6198Y

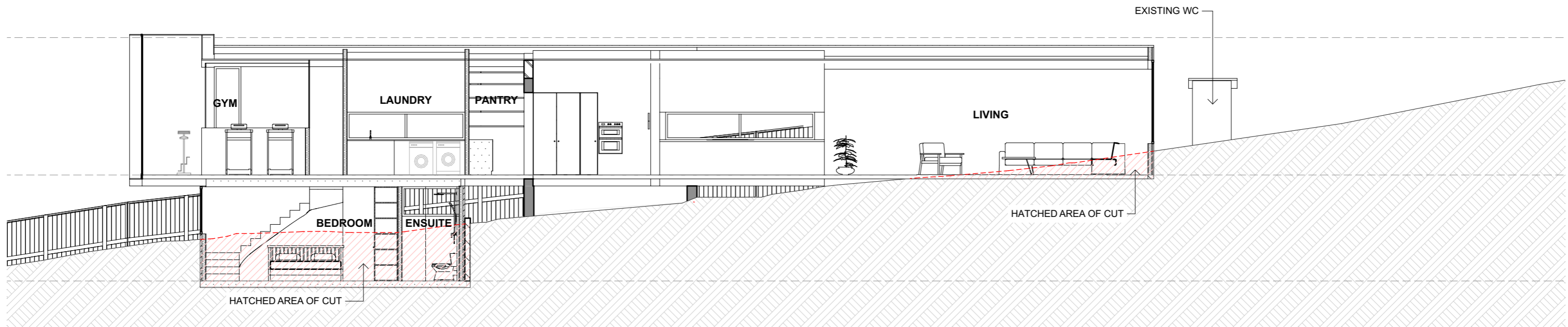
Drawing title
ARCHITECTURAL GARAGE ELEVATIONS

Drawing number: **2.05**
Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\VE ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



S01 SECTION 1:100



S02 SECTION 1:100

4 DOCK ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 9376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISÉ DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 10/02/2026

Format: A3

Drawn: GE

Approved: RL

Project number: 251001

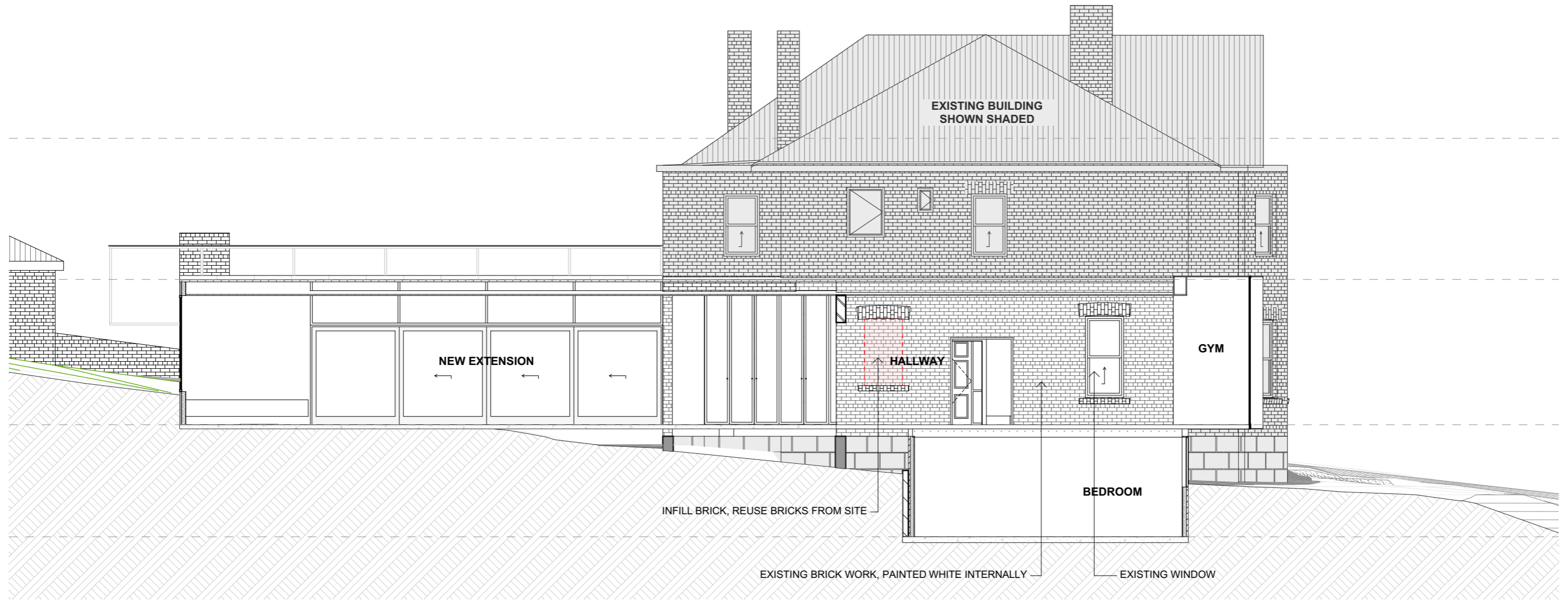
Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL SECTIONS

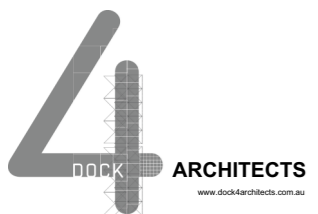
Drawing number: **2.06**

Revision: **01**

S:\125 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ ARCHICAD\260205_454 ELIZABETH ST_DA RFL.pln 10/02/2026 2:38 PM



INTERNAL WALL
1:100



MELBOURNE
LVL 1, 673 BOURKE STREET
MELBOURNE, VIC, 3000
PH: (03) 8376 6169
info@dock4.com.au

HOBART
LVL 2, 102 COLLINS STREET
HOBART, TAS, 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Set Name	ID
Work in Progress	RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISED DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1
Date generated: 10/02/2026

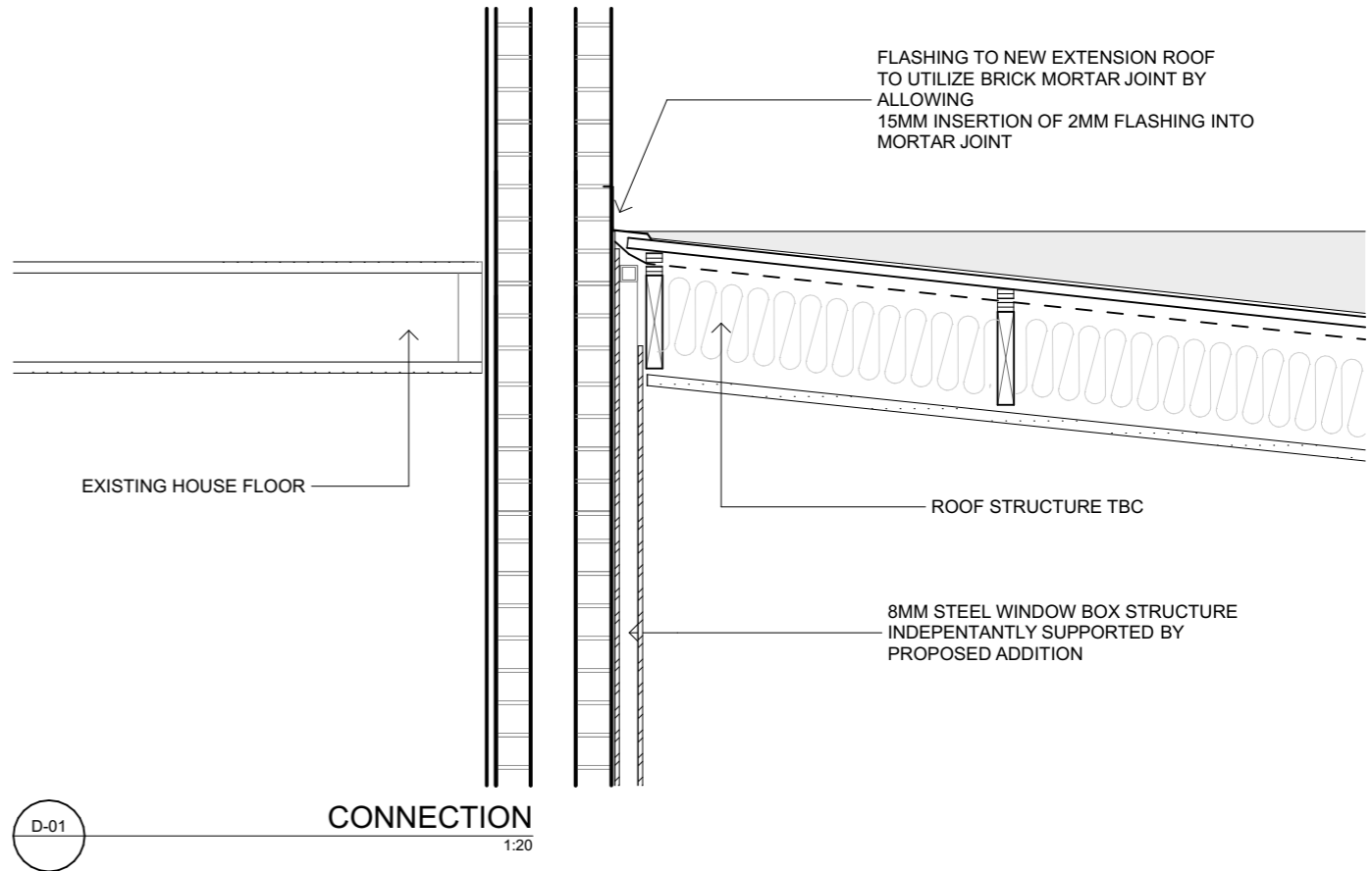
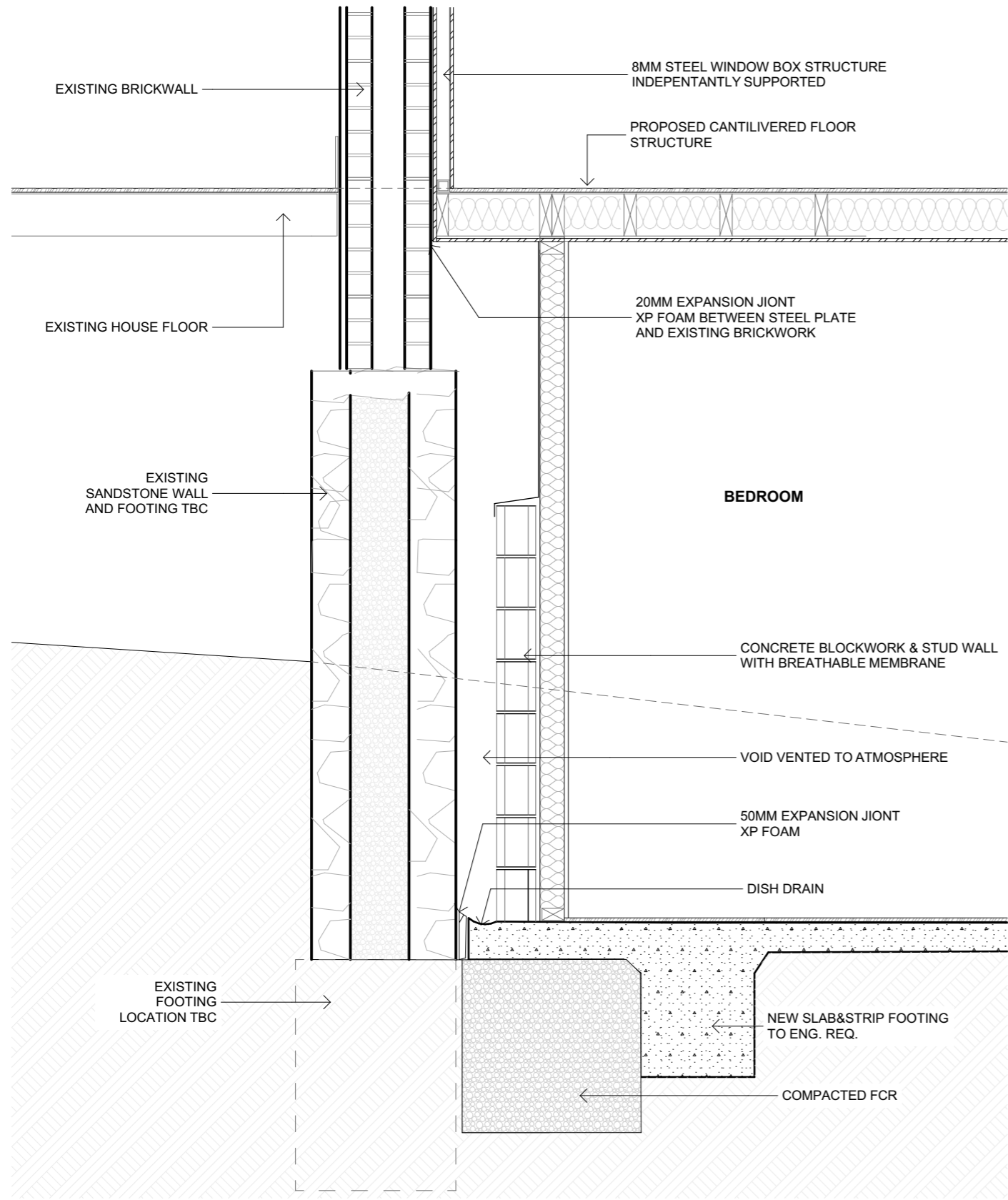
Project number: 251001
Format: A3
Drawn: GE
Approved: RL

Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL SECTIONS

Drawing number: **2.07**
Revision: **01**

C:\Users\giles\OneDrive - The trustee for Dock4 Trust\25 PROJECTS 2025\251001_454 ELIZABETH ST, NORTH HOBART\ ARCHICAD\260122_454 ELIZABETH ST_DA RFI.pln 29/01/2026 11:30 AM



D-01 CONNECTION 1:20

D-01 CONNECTION 1:20

DOCK4 ARCHITECTS
www.dock4architects.com.au

MELBOURNE
LVL 1, 873 BOURKE STREET
MELBOURNE, VIC. 3000
PH: (03) 8378 6169
info@dock4.com.au

HOBART
LVL 2, 100 COLLINS STREET
HOBART, TAS. 7000
PH: (03) 6231 0489
info@dock4.com.au

KATIE & WAYNE DANIELS

Date	Work in Progress	Set Name	ID
		RFI 1	01

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION
 REVISOR'S DOCUMENT
 REPLACE EARLIER ISSUE

ARCADIE
454 ELIZABETH ST NORTH HOBART
TAS 7000

Status: RFI 1

Date generated: 29/01/2026

Format: A3

Drawn: GE

Approved: RL

Accredited Designer: Richard Loney CC 6198Y

Drawing title
ARCHITECTURAL DETAIL 1

Drawing number: **3.01**

Revision: **01**

Project number: 251001

Customer: **Rad-X Management Unit Trust**

WA-37L46130

Contact:

Phone: **0408435988**

Address: 46 Georgina Place, Acton Park

Email: waynekdaniels29@gmail.com

Worksite: **454 Elizabeth Street, North Hobart**

Site Contact: **Wayne**

Assigned to: **Bruce Crosland**

Phone: **0408 435 988**

Date Completed: **27-01-2026**

PO or Job#: **Nil**

Signatures:

If a Quotation or a Variation by signing below I acknowledge that I am accepting the same, if a Work Approval I sign as acknowledgement that I authorise the works specified above to proceed. I have read and understand the TERMS AND CONDITIONS OF TRADE (overleaf or attached) of Archers Underground Services Pty Ltd which form part of, and are intended to be read in conjunction with this Multi Purpose Form and agree to be bound by these conditions. I authorise the use of my personal information as detailed in the Privacy Act clause therein. I agree that if I am a director/shareholder (owning at least 15% of the shares) of the Customer I shall be personally liable for the performance of the Customer's obligations under this contract.

Archers Underground Services

Customer

Name: **Bruce Crosland**

Name: **Wayne Daniels**




Located:	Asset Name	Quality	Comment
	Stormwater	B	

Photos:





Archers UNDERGROUND SERVICES Pty Ltd
 PLANT LOCATOR SITE RECORD FORM 71095

WORK SITE ADDRESS: 404 Elizabeth St North Hobart
 Postcode: 7000

LOC	FEEDER	MAIN NETWORK	NBN	TARWATER	Notes
OL	OL	OL	OL	OL	Water
OL	OL	OL	OL	OL	OL 5

Sketch of work site & assets located

DISCLAIMER: Duty of Care. All asset owners guidelines to apply.
 Pothole by hand or use Non-destructive Hydro Excavation methods to expose and verify location and depth of all assets.

Comments/Notes:

Certified Plant Locator	Customer/Client
Name (PRINT): B. Crossland	Name (PRINT): W. Daniels
WA #: 37L 46130	Business Name: Rod-X
Date: 27/01/26	Date: 27/01/26
Signed: [Signature]	Signed: [Signature]



From: [Wayne Daniels](#)
To: [Richard Loney](#)
Cc: [Georgie East](#); [Katie Daniels](#)
Subject: Fwd: Tree Report
Date: Monday, 9 February 2026 8:29:56 PM
Attachments: [Fwd Report on the potential impacts of proposed hardstand adjacent significant tree 454 Elizabeth Street.pdf](#)
[Fwd Site visit Report 454 Elizabeth Street Nth Hobart.pdf](#)

Hi Richard,

The following statement has been prepared in response to: **RFI 4 HER RFI1: Significant Tree**

"Specifically provide details of the driveway-related works, including:

- *any excavation for the driveway or changes in ground level within the tree protection zone;*
- *any changes to proximity/alignment of driveway in vicinity of tree;*
- *thickness of driveway generally and at edge; and*
- *any drainage or lighting works.*

Please provide a written statement prepared by a suitably qualified person that the works will not impact the health or appearance of the tree."

We, the owners, are well aware of and respect the value of the Heritage listed tree on the Elizabeth Street boundary of the property, and acknowledge its importance to the community and North Hobart streetscape more broadly. We are determined to ensure we do all we can to maintain the vitality of the tree.

The previous owners have maintained a red gravel driveway and parking area that extends around the base of the tree, requiring regular grading of the driveway and replacement of the gravel that is lost through erosion after rain. We seek to ensure the sloped driveway is more durable in all weather conditions and is better suited to a modern inner city residence, and have made expert enquiries and undertaken our own research to ensure that the impact of driveway works on the tree is minimal.

We have sought the expert opinion of two suitably qualified consultants namely Jerry Romanski (Tree Inclined) and Philip Jackson (Arborist and Tree Management Services). Written statements of advice are attached.

Our understanding is that these English Oak trees have a vast and relatively shallow root system, between 12 and 36 inches deep, extending up to 3 times wider than the canopy of the tree. In the specific instance of the tree at 454 Elizabeth St, we have been advised that the most important root zone is within 11m of the 960mm tree base.

It is noted that Council has installed steel traffic armco railing within 3m of the tree base (2007), and are currently undertaking major resurfacing works to Elizabeth St outside the property (IMG 9132/ 4/ 7 attached). We have sought risk assessments and/or similar tree impact reports from the Hobart City Council in relation to these projects under the assumption that these reports would support our own findings and experts opinions.

Unfortunately, we don't expect a response to RFI F26/8600 prior to submitting our own responses but considering these projects were approved we're optimistic that the findings and recommendations will be consistent with our own.


Our plan for the driveway and parking area is based on protecting the tree's shallow root system. As such we will be minimising excavations within an 1lm radius of the tree, and where excavation is required (such as where the driveway needs to meet the cross-over/footpath), excavation depth will be to a depth no greater than 200mm. Gate support post footings will be hand dug to ensure any affected root systems are protected and if necessary post positions will be adjusted to minimise impact.

To this end, the proposed exposed aggregate concrete driveway will now only commence adjacent to the existing garage/shed and extend beyond to the main residence and proposed garage (see Site Plan for detail). Water permeable paving is now specified for the existing red gravel area at the entrance to the property as noted on the Architectural Site Plan 1.01. The proposed resurfaced area around the tree has also been reduced compared to the long-standing area of red gravel to ensure the maximum amount of existing surface area and organic matter immediately adjacent to the tree base is retained. This design provides a balance in terms of reducing the potential loss of groundwater to the root system and minimising the base preparations required. Additional benefits include a reduction in water runoff to the stormwater system.

We trust this response and the attached written statements satisfy the requirements of **RFI 4 HER RFI1: Significant Tree**

Regards, Wayne & Katie Daniels

|

From: Wayne Daniels waynekdanields29@gmail.com 
Subject: Fwd: Report on the potential impacts of proposed hardstand adjacent significant tree 454 Elizabeth Street
Date: 9 February 2026 at 8:23 pm
To: Katie Daniels katietonta@gmail.com



----- Forwarded message -----

From: **Wayne Daniels** <waynekdanields29@gmail.com>
Date: Mon, Feb 9, 2026 at 8:02 PM
Subject: Fwd: Report on the potential impacts of proposed hardstand adjacent significant tree 454 Elizabeth Street
To: Wayne Daniels <waynekdanields29@gmail.com>

----- Forwarded message -----

From: **Jerry Romanski** <jerry@treeinclined.com>
Date: Thu, Jan 22, 2026 at 1:45 PM
Subject: RE: Report on the potential impacts of proposed hardstand adjacent significant tree 454 Elizabeth Street
To: Wayne Daniels <waynekdanields29@gmail.com>
Cc: Richard Loney <richard@dock4.com.au>, Georgie East <georgina@dock4architects.com.au>

Hi Wayne,

Thanks for meeting with me this morning.

As we discussed, the oak roots are likely to be deep enough to accommodate up to 200 mm of excavation over the footprint of the proposed concrete. We may need to be flexible about the depth just in case we find some large roots, which is unlikely.

The concrete will make the area below drier than it is currently with potential impacts on tree vitality. As we discussed, it would be great to provide some passive recharge by allowing some of the low flow from the driveway grate to filter into the profile along the way to the pit by the property boundary (provide an ag drain pipe or two to stretch between the grate pit and the pit by the boundary).

Another alternative or addition to the above would be adoption of no-fines (permeable) concrete in the section of the driveway below the grate. This would provide some infiltration into the exiting root zone but will have a different finish to the suggested. The no-fines will eventually clog after a few years so the ag drain would provide a longer term recharge while the no-fines would allow time for the tree to adjust to the changing water availability.

Thanks,




Tree inclined

Jerry Romanski | Consulting Arborist

29 Winston Ave, Seven Mile Beach, TAS. 7170

e: jerry@treeinclined.com | m: 0419 363 011 | www.treeinclined.com

From: Wayne Daniels waynedaniels29@gmail.com 
Subject: Fwd: Site visit/ Report - 454 Elizabeth Street Nth Hobart
Date: 9 February 2026 at 8:23 pm
To: Katie Daniels katietonta@gmail.com



----- Forwarded message -----

From: Philip Jackson <tastreereports@gmail.com>
Date: Sat, Feb 7, 2026 at 11:50 AM
Subject: Re: Site visit/ Report - 454 Elizabeth Street Nth Hobart
To: Wayne Daniels <waynedaniels29@gmail.com>

Hello Wayne

As discussed following my site visit on 4 February the proposed driveway & fence construction works in the root zone of the subject tree as indicated in the relevant architectural drawings ("Architectural Proposed Entry" Drawing No: 1.09 Rev 01 & "Architectural Street Elevation" Drawing No: 1.10 Rev 01 Prepared by: Dock 4 Architects, dated: 08/01/26) will likely have an adverse impact on its long term viability & potential stability. However I am confident that the proposed driveway & fence can be constructed in a way that minimises the impact on the tree to acceptable levels by employing alternative 'non-destructive' construction methods including no excavation.

I will be able to provide you with an Arboricultural Impact Assessment detailing the likely impact of the proposed works & making recommendations on how to mitigate these impacts when I return to the office in early March.

Regards
Philip



Philip Jackson - Arborist & Tree Management Services

BSc (hons) - Plant Ecology; BSc - Botany/Env Studies;
AssDipAppSc - Amenity Horticulture; DipHort. - Arboriculture (Cert. 5)

0447759865 www.tastreereports.com

CONFIDENTIALITY NOTICE AND DISCLAIMER

This email and any attachments are confidential and may be privileged.

They are intended solely for the use of the person or entity to whom they are addressed. If you have received this email in error, please notify me immediately.

On Fri, 30 Jan 2026 at 10:52, Wayne Daniels <waynedaniels29@gmail.com> wrote:

Hi Philip - Appreciate you taking my call earlier.

As mentioned, our project has recently received a RFI from HCC that amongst other things includes a request for a 'written statement prepared by a suitably qualified person that the works will not impact the health or appearance of the tree' (see below extract). I'm no expert but my thoughts are that the new proposed concrete hardstand certainly has the potential to impact the tree's health but surely there are practical ways to supplement any potential loss of nutrients/ water therefore allow the tree time to adjust. I guess what options we have will become apparent after a site visit next week

FYI - the best reference to review the proposed driveway and tree will be the Site Plan numbered 1.01 (page 2). I've also included a report on the tree provided by Nicole from the heritage office HCC.

HER RFI1: Significant Tree

There is no acceptable solution under clause C6.9.1 A1. The performance criteria P1 requires that *Works involving construction, soil disturbance or soil compaction within the tree protection zone of a significant tree must not impact the health and appearance of the tree, and be supported by a written statement to that effect prepared by a suitably qualified person.*

Accordingly, please clarify scope of works within the tree protection zone of the Significant Tree at the street front of the property.

Specifically provide details of the driveway-related works, including:

- any excavation for the driveway or changes in ground level within the tree protection zone;
- any changes to proximity/alignment of driveway in vicinity of tree;
- thickness of driveway generally and at edges; and