



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>AJ Phillips Surveying - PA\25\0129</b>
PROPERTY ADDRESS:	<b>95 Chris Street PROSPECT VALE (CT: 106698/35)</b>
DEVELOPMENT:	<b>Multiple dwellings (1 existing, 1 proposed) &amp; Demolition of Residential outbuildings (2 sheds) – building envelope, private open space, privacy, car parking numbers, attenuation area.</b>

The application can be inspected until **Monday, 24 November 2025**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 8 November 2025.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="95 Chris Street"/>	Certificate of Title:	<input type="text"/>
Suburb:	<input type="text" value="PROSPECT VALE"/>	<input type="text" value="7250"/>	Lot No: <input type="text"/>
Land area:	<input type="text" value="760 sq.m"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="Residential"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST):  *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building:  *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area:  m<sup>2</sup>      New building height:  m

Materials: External walls:  Colour:

Roof cladding:  Colour:

SEARCH OF TORRENS TITLE

VOLUME 106698	FOLIO 35
EDITION 8	DATE OF ISSUE 05-Oct-2016

SEARCH DATE : 23-Apr-2024

SEARCH TIME : 04.36 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE  
 Lot 35 on Sealed Plan 106698  
 Derivation : Part of Lot 971, 321a 3r 25ps Gtd to H Burrows  
 Prior CT 106658/1

SCHEDULE 1

C559189 TRANSFER to ANTHONY THEODORUS DEMEIJER and FIONA RUTH  
 DEMEIJER Registered 07-Apr-2005 at noon

SCHEDULE 2

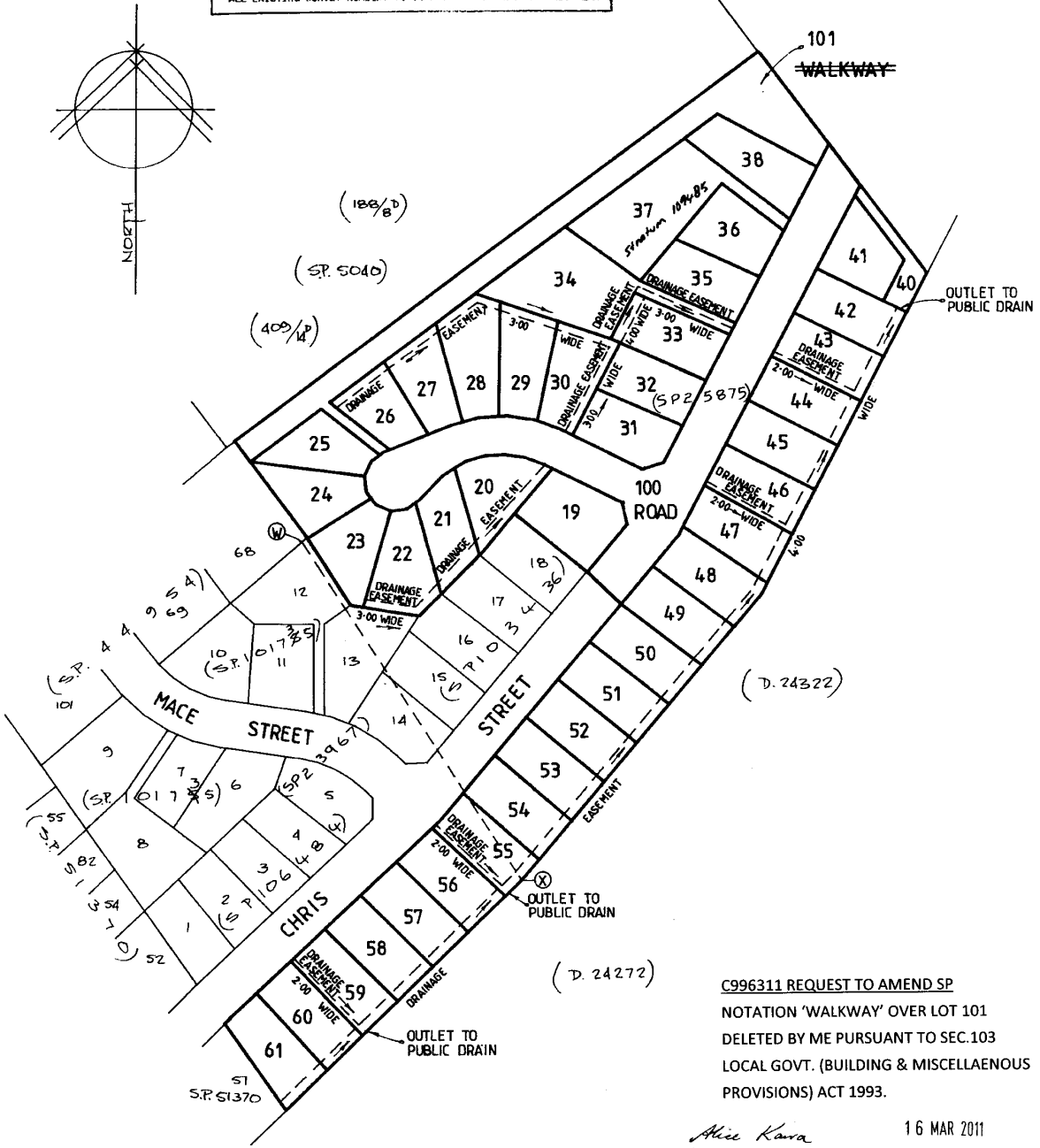
Reservations and conditions in the Crown Grant if any  
 SP 44954,SP 106484 & SP 106698 COVENANTS in Schedule of  
 Easements  
 SP 44954,SP 106484 & SP 106698 FENCING COVENANT in Schedule of  
 Easements  
 SP 106698 EASEMENTS in Schedule of Easements  
 E67672 MORTGAGE to MyState Bank Limited Registered  
 05-Oct-2016 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: M.F & J.R. MACE PTY. LTD.	<b>PLAN OF SURVEY</b> by Surveyor... S.P. WADLEY... of... <i>of land situated in the</i>	REGISTERED NUMBER <b>SP 106698</b>
Title Reference: ET-Vol 103436 - Fol 102 - CT 103939-1	CAMPBELL SMITH PHELPS PEDLEY PTY. LTD. of 80 ELPHIN RD., LAUNCESTON, of land situated in the	Approved Effective from: 1 AUG 1993
Grantee: PART OF LOT 971,321-3-25 GRANTED TO HENRY BURROWS	TOWN OF PROSPECT VALE	Recorder of Titles
SCALE 1:1500 MEASUREMENTS IN METRES		

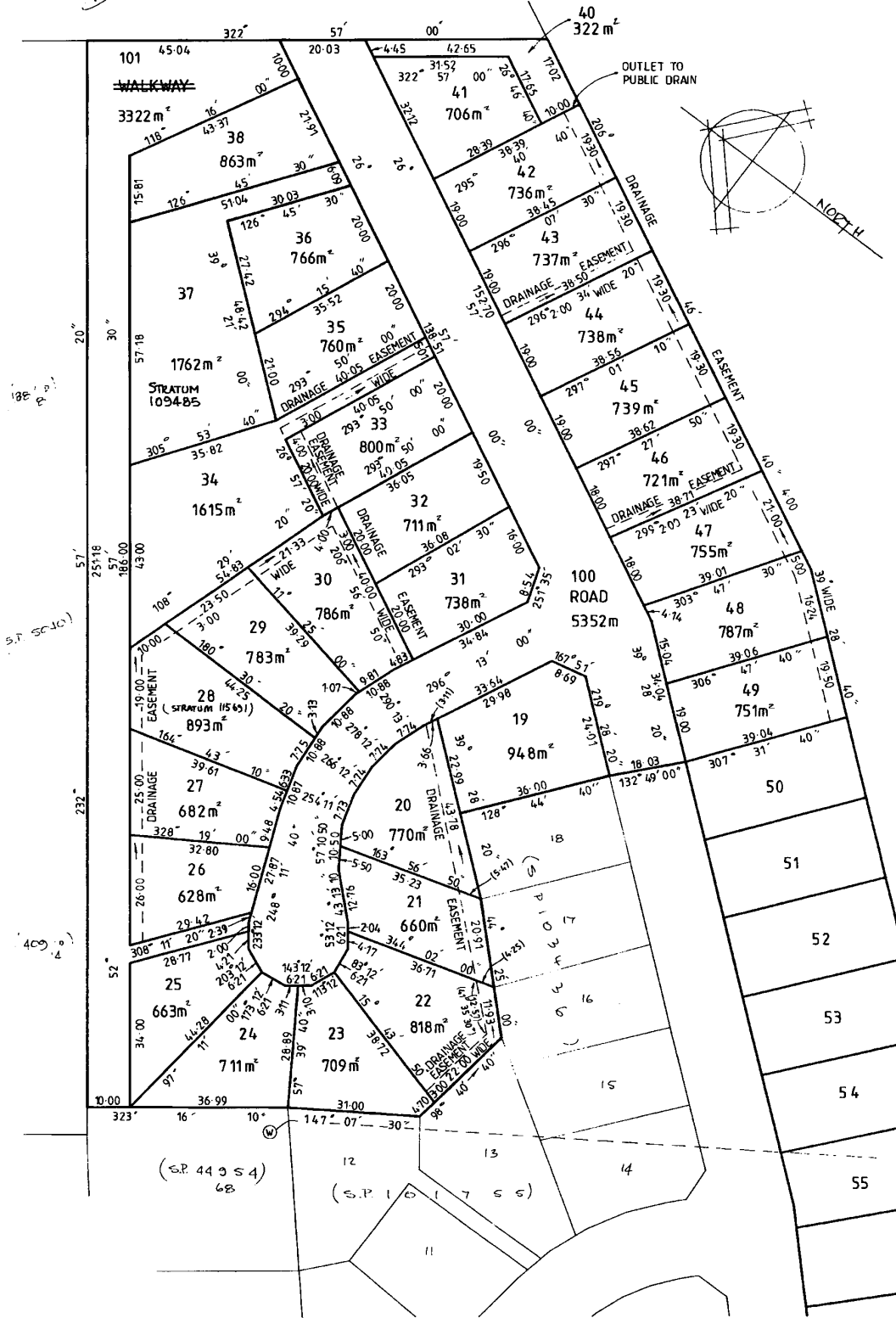
TASMAP MUNICIPAL CODE NO. 65	LAST TASMAP URN NO. 2161	LAST SURVEY PLAN NO. D103939
ALL EXISTING SURVEY REFERENCES TO BE DELETED PURSUANT TO THIS PLAN		



C996311 REQUEST TO AMEND SP  
 NOTATION 'WALKWAY' OVER LOT 101  
 DELETED BY ME PURSUANT TO SEC.103  
 LOCAL GOVT. (BUILDING & MISCELLANEOUS  
 PROVISIONS) ACT 1993.

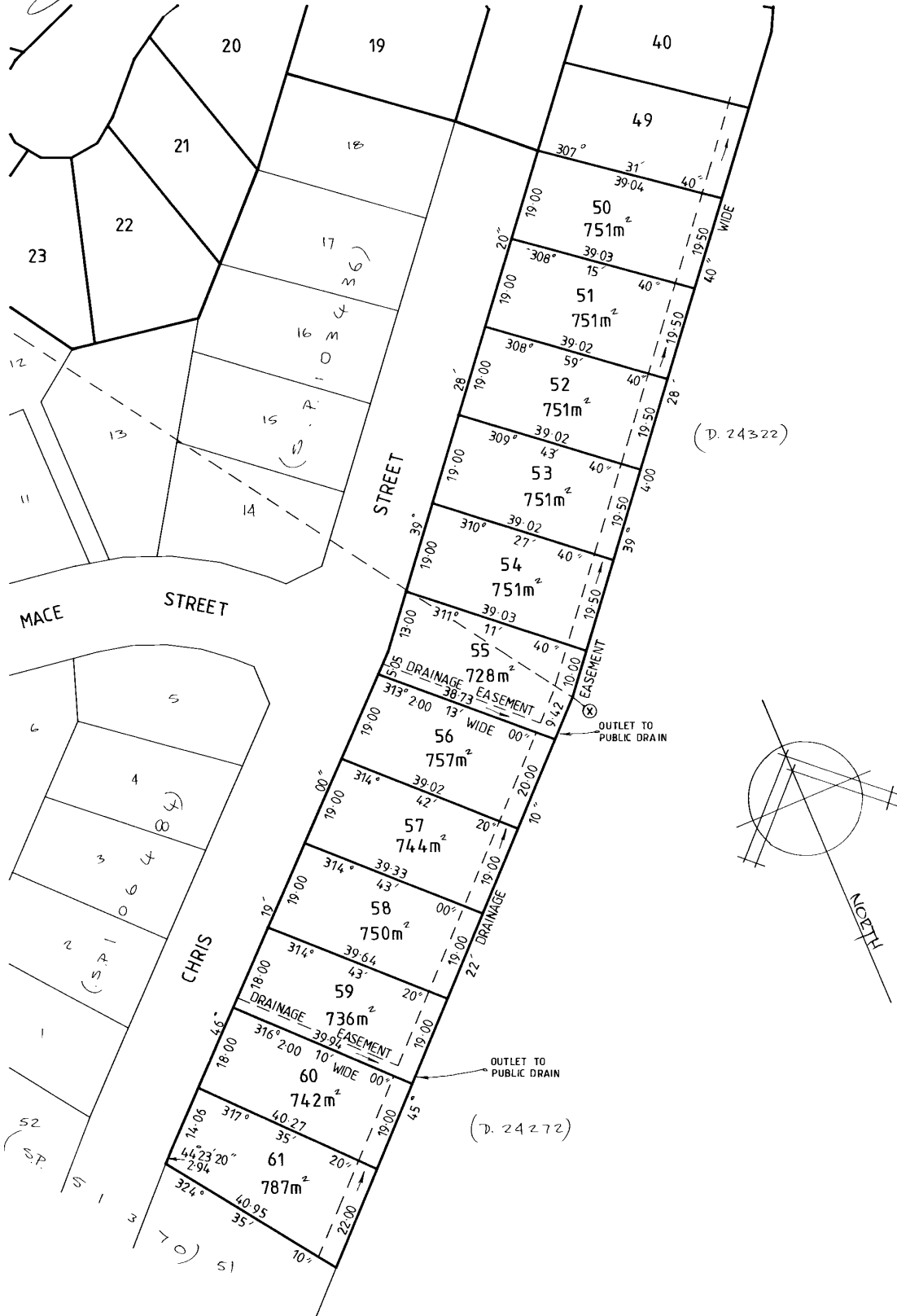
*Alice Kara* 16 MAR 2011  
 Recorder Date

<p>ANNEXURE SHEET No. 2 (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 5/7/93 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SP106698</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor <i>[Signature]</i></p>	<p>Scale 1:750</p>
<p>Council Clerk <i>[Signature]</i></p>	<p>Owner: M F &amp; J R MACE PTY. LTD. Title Reference: CT Vol 103435 Fol 102</p>	<p>Measurements in Metres</p>



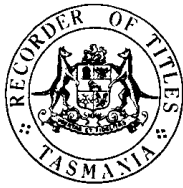
TS-A 1199

<p><b>ANNEXURE SHEET No. 1</b> (of 2 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 3/7/93 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SF106698</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor: </p>	<p>Scale 1: 750</p>
<p>Council Clerk: </p>	<p>Owner: MF &amp; JR MACE PTY LTD Title Reference: CT Vol103436 Fol102</p>	<p>Measurements in Metres</p>



REGISTERED NUMBER

**SP106698**



**SCHEDULE OF EASEMENTS**

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lots 42-61 (inclusive) are subject to a right of drainage over the drainage easement 4.00 wide shown on the plan in favour of the Warden Councillors and Electors of the Municipality of Meander Valley.

Lots ~~55-61~~ <sup>19-38 40-55 100 and 101</sup> (inclusive) are subject to the right (appurtenant to the land comprised in Certificate of Title volume 999 folio 57) to permit fumes and smoke generated by any brick or other clay product kilns or ovens which shall have smoke stacks erected on the said land comprised in the said Certificate of Title to drift over that portion of such lot north east of the line WX shown on the plan.

**FENCING COVENANT**

The Owner of each Lot shown on the plan covenants with the Vendor (M.F. & J.R. Mace Pty. Ltd.) that the Vendor shall not be required to fence.

**COVENANTS**

The owner of each Lot shown on the plan covenants with the Vendor (M.F. & J.R. Mace Pty. Ltd.) and with the owners for the time being of every other Lot shown on the plan to the intent that the burden of this covenant shall run with and bind the Covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. With the exception of Lots 19, 28, 31, 37, 43, 49, 55 and 61 not to erect on the said Lot more than one Class 1 dwelling (including home units & attached pairs). Nothing in this covenant shall prevent the erection of multiple Class 1 dwellings (including home units & attached pairs) on Lots 19, 28, 31, 37, 43, 49, 55 and 61.
2. Not to erect on such Lot anything other than a private dwelling house or private dwelling houses and buildings usually appurtenant thereto.
3. Not without the consent in writing first had and obtained of the Mines Department of Tasmania and the Municipality of Meander Valley, to install on the said Lot or make any excavation for the purpose of installing on such Lot either below or partly below the surface of such Lot any swimming pool or other facility for the storage of water.
4. Not without the consent in writing first had and obtained of the Municipality of Meander Valley to excavate carry away or remove or permit or suffer to be excavated carried away or removed any earth clay stone gravel or sand from the said lot or any part thereof which may be in an area defined by the Mines Department of Tasmania as having potential slope stability problems.
5. Not to erect on such Lot any building carport or garage the outer walls of which are constructed of any material other than brick, masonry brick, stone or timber or a combination of those materials or some other material approved of in writing by the Vendor (M.F. & J.R. Mace Pty. Ltd.) or the roof of which is constructed of any material other than tiles or colourbond iron or some other material approved of in writing by the Vendor (M.F. & J.R. Mace Pty. Ltd.).
6. Not to erect place or use upon any such Lot any shop or building or erection whatsoever for the purpose of selling or offering or exposing for sale therein any article wares or merchandise whatsoever.
7. Not to carry on or permit or allow to be carried on on such Lot or any part thereof any trade or business or use the same for any commercial or industrial enterprise.
8. Not to erect or place upon such Lot or any part thereof any hoarding or structure for use as a bill posting or advertising station.
9. Not to affix or display on any wall or fence upon such Lot or any part thereof any posters bills hoardings or advertisements (except any notice or advertisement in the usual form for the sale or letting of such Lot or any building erected thereon).
10. Not to permit or allow any engine or machinery worked or driven by steam gas electricity or other mechanical power and used for any trade operations to be erected affixed or placed upon any part of such Lot provided that this covenant does not apply to any engine or machinery used for hobby purposes only.

- 11. Not to construct or maintain any roadway from such lot which would permit or allow vehicular access from such Lot on to the Prospect By-Pass Roadway.

THE COMMON SEAL of M.F. & J.R. MACE PTY. LTD. the registered proprietor of the land comprised in Certificate of Title volume 103436 folio 102 was hereunto affixed in accordance with its articles of association in the presence of:

*M.F. Mace* Director

*J.R. Mace* Secretary



AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N.005 357 522 AS MORTGAGEE UNDER MORTGAGE NO B568783 HEREBY CONSENTS TO THIS SCHEDULE OF EASEMENTS

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED by its Attorney **Owen Lloyd**

(who hereby certifies that he has received no notice of revocation of POWER OF ATTORNEY NO. 6817581 under which this instrument is signed) in the presence of:

*[Signature]*  
Bank Officer, BSB

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED By its Attorney

*[Signature]*

RETAIL BANKING MANAGER

This is the schedule of easements attached to the plan of M.F. & JR Mace Pty Ltd  
(Insert Subdivider's Full Name)

..... affecting land in

CT Vol 103436 Fol 102

(Insert Title Reference)

Sealed by Meander Valley Council on 13<sup>th</sup> July 1993

Solicitor's Reference .....

  
Council Clerk/Town Clerk

OS/K 3134

# PROPOSED RESIDENCE FOR KABRACO BUILDERS 95 CHRIS ST. PROSPECT VALE TAS. 7250

Drawing Schedule	
Sheet Number	Sheet Name
A00	COVER SHEET
A01	SITE PLAN - EXISTING
A02	SITE PLAN - PROPOSED
A03	EXISTING RESIDENCE
A04	FLOOR PLAN
A05	ELEVATIONS
A06	AREA PLAN
A07	PLUMBING PLAN
A08	3D VIEWS
A22	SWEPT PATH -1
A23	SWEPT PATH -2

# KABRACO Builders

mobile: 0459 433 397  
ABN: 50 635 679 177  
email: kabracobuilders@gmail.com

5 Dowerin Drive  
Legana  
TAS 7277

Accredited Building Designer: Greg Scolyer (CC563)

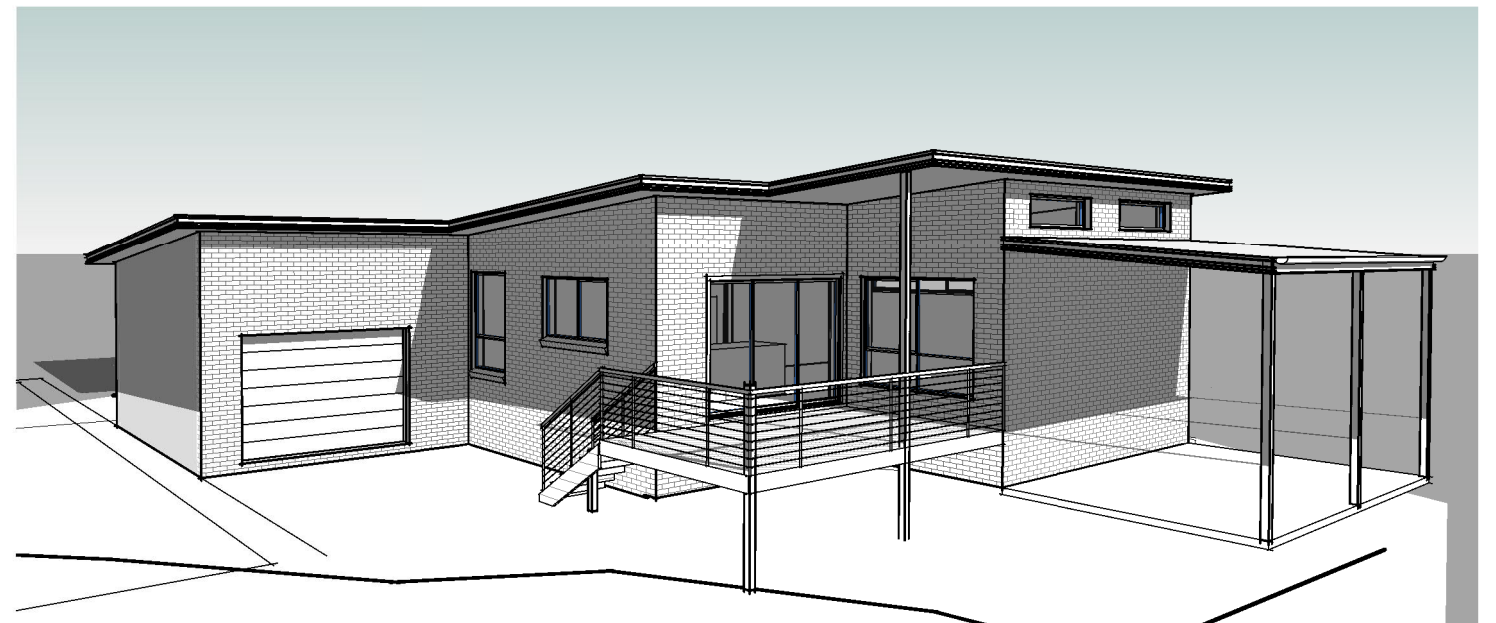
### PROJECT INFORMATION

Land Title Reference: CT106698/35  
PID: 7933612  
Soil Classification: ? to AS2870-2011  
Wind Classification: ? to AS4055-2021  
Climate Zone: 7  
Planning Scheme Zone: 8. General Residential  
Local Government Authority: Meander Valley Council  
Building Classification: Class 1A  
BAL Rating: N/A  
Energy Rating: ? Stars

Area Schedule (Gross Building)		
Name	Area	Area (sq)
Living	135.74 m <sup>2</sup>	14.61
Carport	21.00 m <sup>2</sup>	2.26
Garage	32.06 m <sup>2</sup>	3.45
Deck	15.14 m <sup>2</sup>	1.63
	203.94 m <sup>2</sup>	21.95



Locality Plan  
SCALE 1:500



NOTE: COMPUTER IMPRESSION ONLY

A	DEVELOPMENT APPLICATION	05.04.24
B	ADDITIONAL INFORMATION	01.10.25
C	ADDITIONAL INFORMATION	05.11.25

APRIL 2024

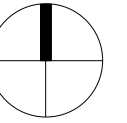
DEVELOPMENT APPLICATION

**EROSION & SEDIMENT CONTROLS FOR BUILDING SITE**

- Minimise area to be cleared and leave as much natural vegetation as possible.
- Install temporary fences to define 'no go' areas that are not to be disturbed.
- Install sediment fence(s) along the low side of the site before work begins.
- Divert water around the work site and stabilise channels, ensuring no flooding of the neighbouring / adjoining properties.
- Establish a single stabilised entry/exit point. Clearly mark the accesspoint and give an access map that has a delivery point indicated for all supplies.
- Leave or lay a kerb-side turf strip (for example, the nature strip) to slow the speed of water flows and to trap sediment.
- Check the erosion and sediment controls every day and keep them in good working condition.
- Stockpile topsoil within the sediment controlled zone. Ensure stockpiles are regularly watered down to control dust during weather events
- Always be aware of the weather forecast.
- Stabilise exposed earth banks (e.g. vegetation, erosion control mats)
- Fill in and compact all trenches immediately after services have been laid.
- Install site waste receptacles (mini-skip, bins, wind-proof litterreceptors)
- Sweep the road and footpath every day and put soil behind the sediment controls. Hosing down roads and footpaths is unacceptable.
- Connect downpipes from the guttering to the stormwater drain as soon as the roof is installed.
- Revegetate the site as soon as possible. The erosion and sediment control devices must be kept in place until 70% of the site has been revegetated.



Plote Date: 5/11/2025 6:26:28 PM



- GENERAL NOTES:**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
  - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED, DO NOT SCALE
  - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE NCC 2022 VOLUME 2, ABCB HOUSING PROVISIONS STANDARD 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS.
  - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR.
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES.
  - ALL WINDOWS AND GLAZING TO COMPLY WITH AS 1288
  - CHECK ON SITE FOR ALL EXISTING UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORKS. TAKE ALL NECESSARY PRECAUTIONS & RE-CONNECT WHERE REQUIRED.
  - ALL JOINERY, FITMENTS, APPLIANCES, PLUMBING FITTINGS & HARDWARE SHALL BE AS SCHEDULED BY OWNER.
  - PROPERTY BOUNDARY TO BE IDENTIFIED & CONFIRMED BY SURVEY PRIOR TO CONSTRUCTION.
  - SURFACE DRAINAGE - FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000mm AT 1:20 AND TO A POINT WHERE PONDING WILL NOT OCCUR.
  - FINISHED FLOOR LEVEL IS TO BE A MINIMUM
    - 150mm ABOVE FINISHED GROUND LEVEL.
    - 50mm ABOVE PAVED SURFACES
    - PREVENT PONDING OF WATER UNDER SUSPENDED FLOORS.
  - BASE SURVEY PROVIDED BY A.J. PHILLIPS SURVEYING, 6 BINDAREE RD, LEGANA



# KABRACO Builders

5 Dowerin Drive mobile: 0459 433 397  
 Legana ABN: 50 635 679 177  
 TAS 7277 email: kabracobuilders@gmail.com

Accredited Building Designer: Greg Scolyer (CC563)

B	ADDITIONAL INFORMATION	01.10.25
A	DEVELOPMENT APPLICATION	05.04.24
Rev No.	Description:	Date:

Client:  
**KABRACO BUILDERS**

Project:  
**PROPOSED RESIDENCE  
 95 CHRIS ST.  
 PROSPECT VALE  
 TAS. 7250**

Title:  
**SITE PLAN - EXISTING**

Date: FEB. '24	Project No: KAB-07	Rev No: B
Scale: As indicated	Sheet: 2 of 9	No: A01

# DEVELOPMENT APPLICATION

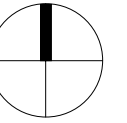


TOPOGRAPHIC BASEMAP / CADASTRE DATA FROM www.theLIST.tas.gov.au © STATE OF TASMANIA

Existing Site Plan  
 SCALE 1 : 200



IMPERVIOUS AREA  
 DRIVEWAY = 160m<sup>2</sup>  
 UNIT 1 = 133m<sup>2</sup>  
 UNIT 2 = 190m<sup>2</sup>



total area = 483m<sup>2</sup>

- GENERAL NOTES:**
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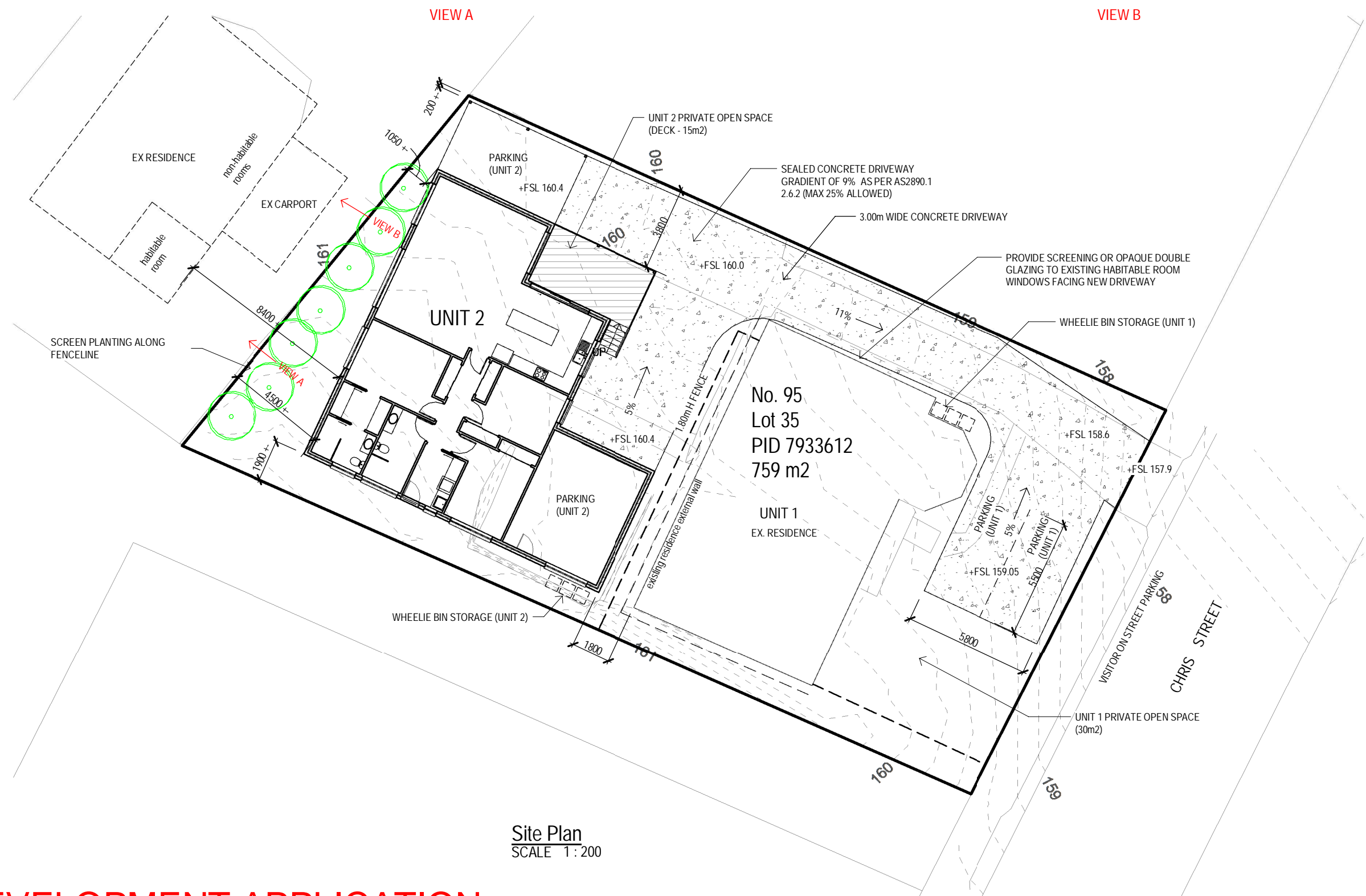
Rev No.	Description:	Date:
C	ADDITIONAL INFORMATION	05.11.25
B	ADDITIONAL INFORMATION	01.10.25
A	DEVELOPMENT APPLICATION	05.04.24

Client:  
**KABRACO BUILDERS**

Project:  
**PROPOSED RESIDENCE  
 95 CHRIS ST.  
 PROSPECT VALE  
 TAS. 7250**

## SITE PLAN - PROPOSED

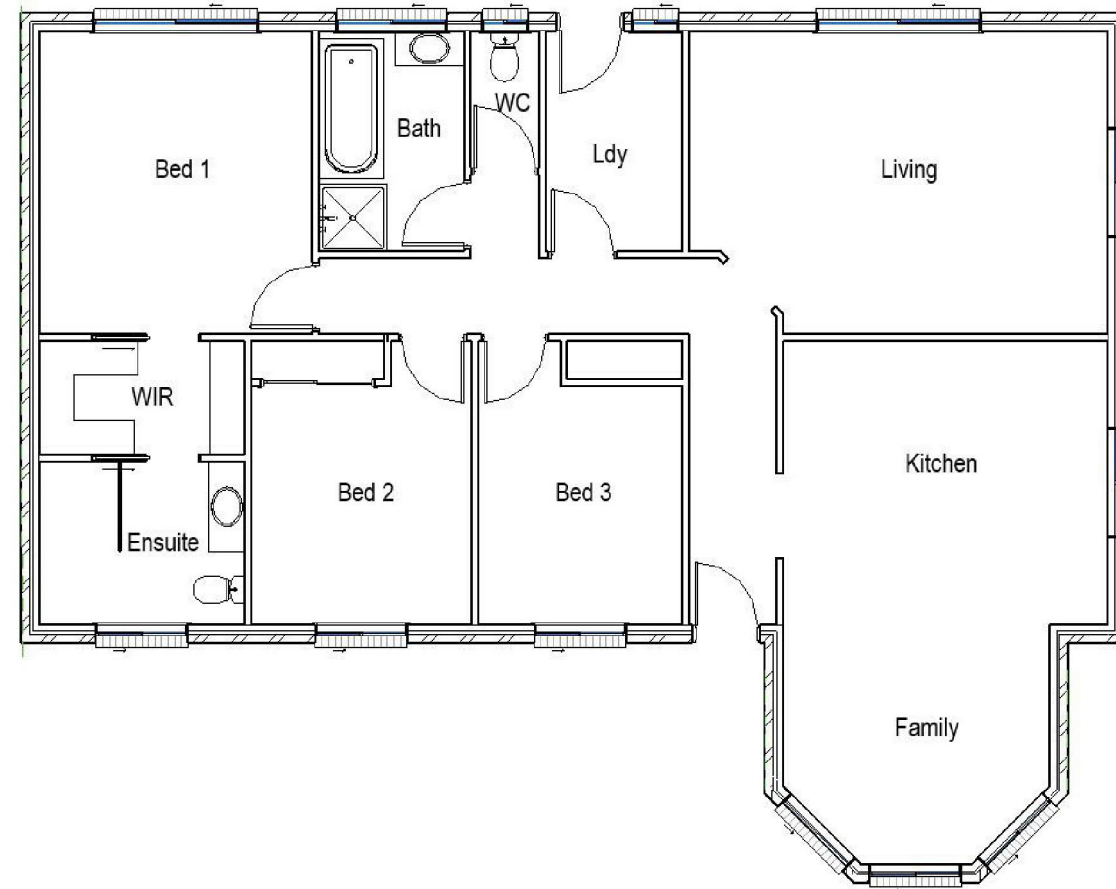
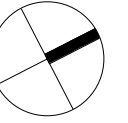
Date: FEB. '24	Project No: KAB-07	Rev No: C
Scale: 1 : 200	Sheet: 3 of 9	No: A02



Site Plan  
 SCALE 1: 200

Plote Date: 5/11/2025 6:26:29 PM

# DEVELOPMENT APPLICATION



0 1000 2000 3000 mm  
SCALE 1: 100 AT ORIGINAL SIZE

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95 CHRIS ST.  
PROSPECT VALE  
TAS. 7250**

Title:  
**EXISTING RESIDENCE**

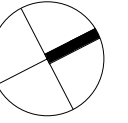
Date:	Project No:	Rev No:
FEB. '24	KAB-07	B
Scale:	Sheet:	No:
1:100	4 of 9	<b>A03</b>

## EXISTING FLOOR PLAN

1:100  
FLOOR AREA = 133m2

Plot Date: 5/11/2025 6:26:30 PM

# DEVELOPMENT APPLICATION



**LEGEND**

- BATH. BATHROOM
- LDRY. LAUNDRY
- KITCH. KITCHEN
- WC. WATER CLOSET
- ROBE WARDROBE
- WIR WALK IN ROBE
- BRM. BROOM CLOSET
- LINEN LINED CUPBOARD
- PTY. PANTRY
  
- VB VANITY BASIN
- S SINK
- WC TOILET SUITE
- TR TROUGH
- WM WASHING MACHINE
- BA BATH
- SHR SHOWER
- REF REFRIGERATOR
- DW DISHWASHER
- HP HOT PLATES
- UBO UNDER BENCH OVEN
- RH RANGE HOOD
- COL COLUMN
- DP DOWNPIPE
- CSD CAVITY SLIDING DOOR
- BH BULKHEAD
  
- FFL FINISHED FLOOR LEVEL
- FGL FINISHED GROUND LEVEL



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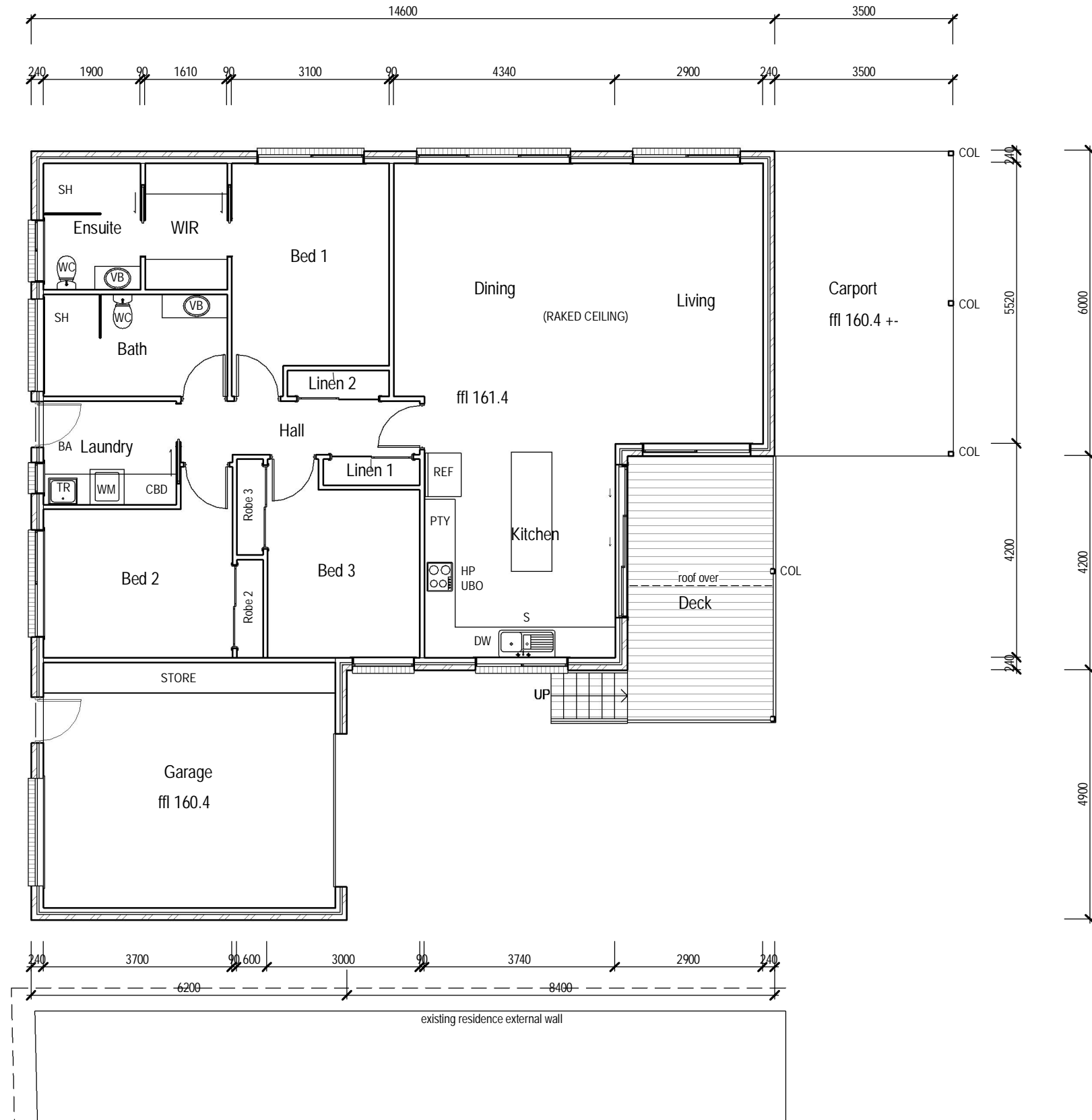
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**KABRACO BUILDERS**

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**PROPOSED RESIDENCE  
 95 CHRIS ST.  
 PROSPECT VALE  
 TAS. 7250**

## FLOOR PLAN

Date:	Project No:	Rev No:
FEB. '24	KAB-07	B
Scale:	Sheet:	No:
As indicated	5 of 9	<b>A04</b>

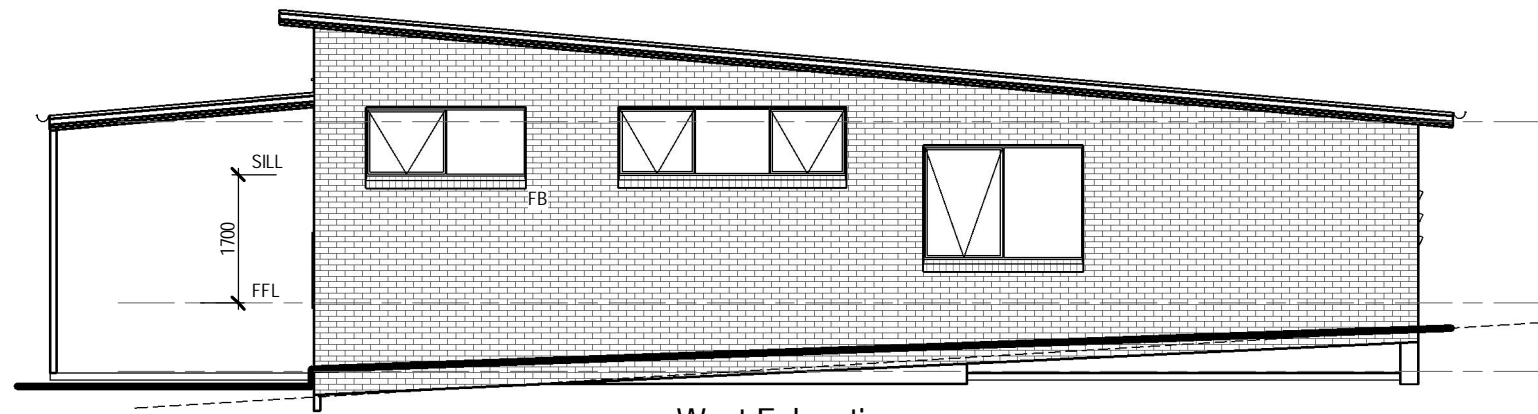


**Ground Floor Plan**  
 SCALE 1 : 100

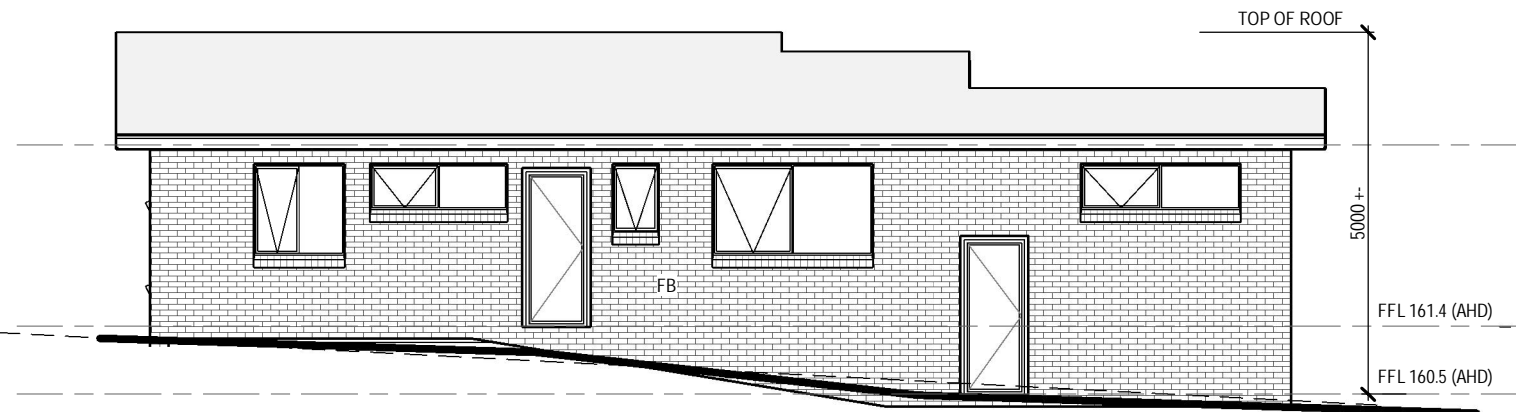
Area Schedule (Gross Building)		
Name	Area	Area (sq)
Living	135.74 m <sup>2</sup>	14.61
Carport	21.00 m <sup>2</sup>	2.26
Garage	32.06 m <sup>2</sup>	3.45
Deck	15.14 m <sup>2</sup>	1.63
	203.94 m <sup>2</sup>	21.95

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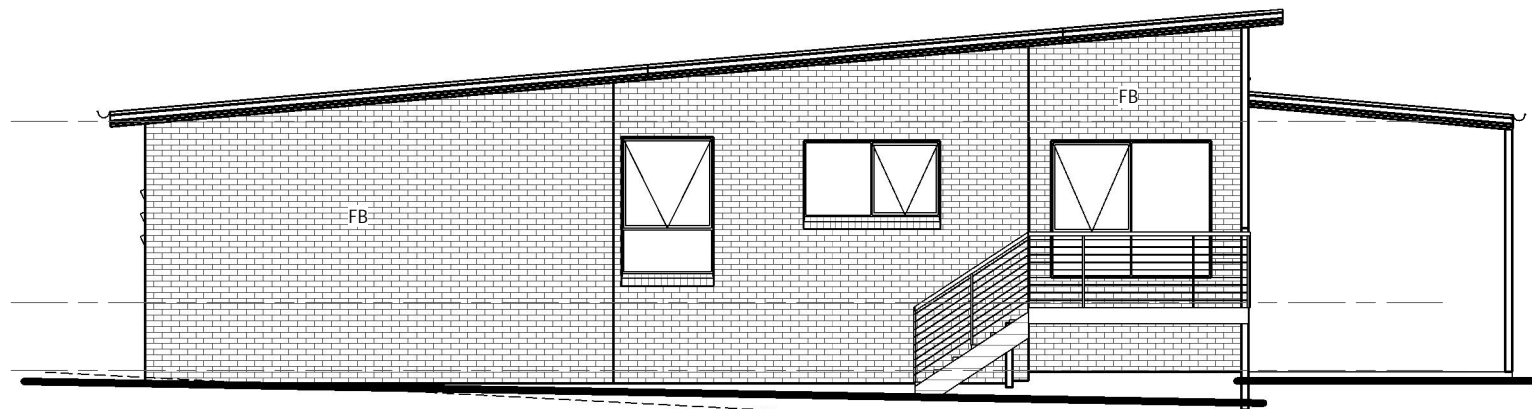
**DEVELOPMENT APPLICATION**



West Elevation  
SCALE 1:100



South Elevation  
SCALE 1:100



East Elevation  
SCALE 1:100



North Elevation  
SCALE 1:100

**WINDOWS:**  
POWDERCOATED ALUMINIUM WINDOW FRAMES  
AWNING SASHES, LOCKS & SCREENS.  
MDF REVEALS AND TRIMS.  
BRICK ON EDGE EXTERNAL SILLS.  
DOUBLE GLAZED THROUGHOUT  
ALL FIXINGS AND FLASHING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS.  
GLAZING AS PER AS 1288 & NCC 2022 PART 8 & H1D8  
VENTILATION TO NCC 2022 H4D7

**BRICKWORK:**  
SELECTED FIRED CLAY FACE BRICKS.  
RAKED JOINTS, STRETCHER BOND.  
ALL MORTAR COLOUR TO BE GREY CEMENT, SAND & LIME.  
REFER ENGINEER DRAWINGS FOR LOCATION OF ARTICULATION JOINTS.  
ALL MASONRY TO COMPLY WITH NCC 2022 PART 5

**ROOF FRAMING:**  
CUSTOM ORB (0.42 BMT) OR SIMILAR APPROVED SHEET ROOFING,  
COLORBOND COLOUR TO SELECTION, OVER 75x38 F8 HWD NAILING  
BATTENS AT 900 CRS AND APPROVED PREFABRICATED ROOF TRUSSES, INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

**FASCIA:**  
COLORBOND PREFORMED METAL FASCIA & GUTTER.  
COLORBOND FLASHINGS.  
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. COLOUR TO BE SELECTED BY OWNER

**EAVES & SOFFITS:**  
OVERHANG ROOFS 450mm OR AS NOTED ON PLANS.  
FRAME FOR LEVEL EAVES AND LINE WITH HARDIFLEX EAVES SHEETING.  
LINE ALL SOFFITS WITH HARDIFLEX SHEETING.

**EXTERNAL CLADDING:**  
FB - FACE BRICKWORK  
  
ALL WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S TECHNICAL MANUALS.



# KABRACO Builders

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TAS 7277 email: kabracobuilders@gmail.com

Accredited Building Designer: Greg Scolyer (CC563)

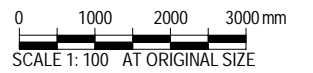
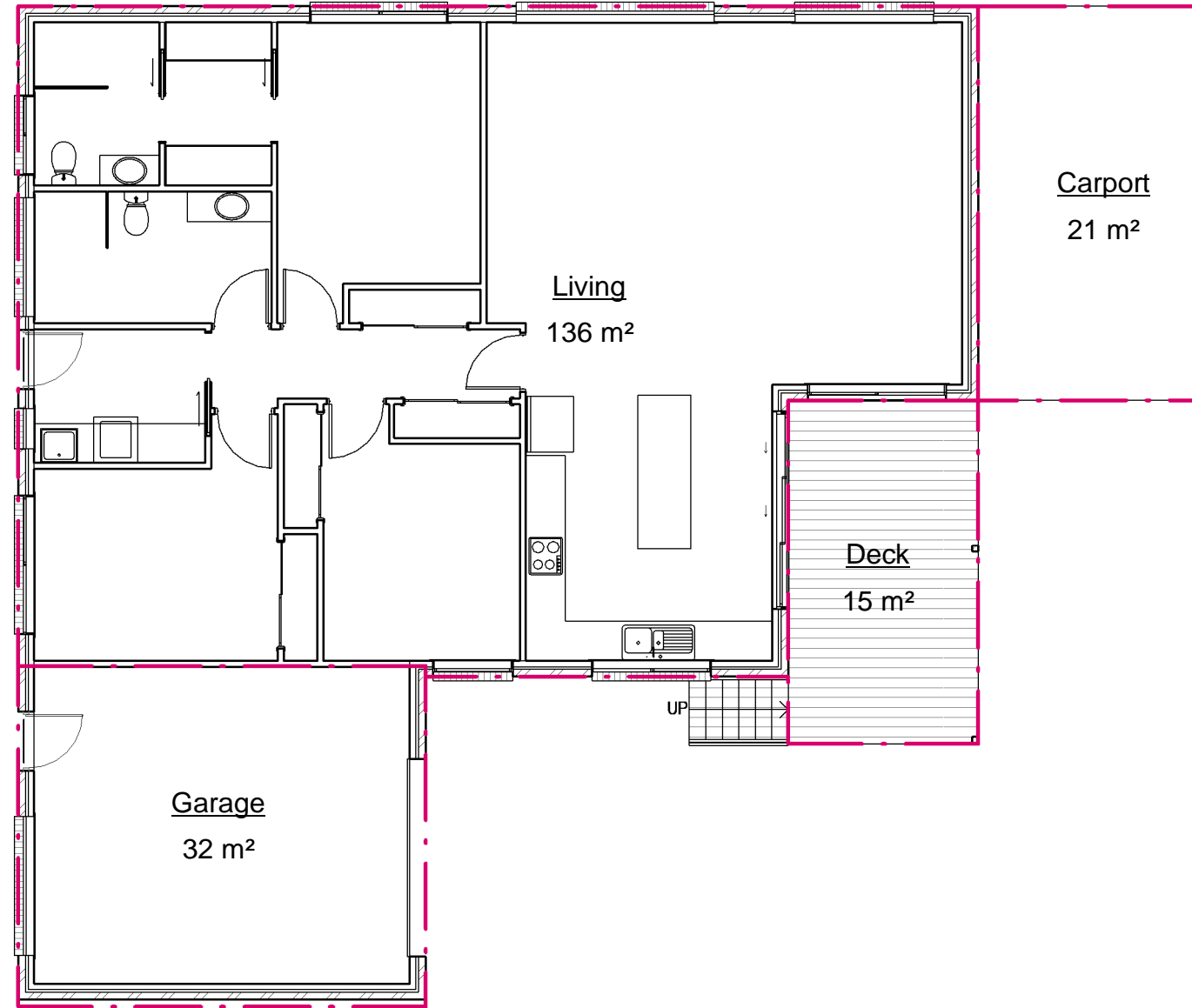
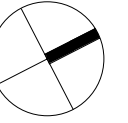
B	ADDITIONAL INFORMATION	01.10.25
A	DEVELOPMENT APPLICATION	05.04.24
Rev No.	Description:	Date:

Client:  
**KABRACO BUILDERS**

Project:  
**PROPOSED RESIDENCE  
95 CHRIS ST.  
PROSPECT VALE  
TAS. 7250**

Title:  
**ELEVATIONS**

Date: FEB. '24	Project No: KAB-07	Rev No: B
Scale: 1:100	Sheet: 6 of 9	No: <b>A05</b>



# KABRACO Builders

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Rev No.	Description:	Date:
B	ADDITIONAL INFORMATION	01.10.25
A	INITIAL ISSUE	19.03.24

Client:  
**KABRACO BUILDERS**

Project:  
**PROPOSED RESIDENCE  
 95 CHRIS ST.  
 PROSPECT VALE  
 TAS. 7250**

## AREA PLAN

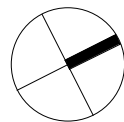
Date: FEB. '24	Project No: KAB-07	Rev No: A
Scale: 1 : 100	Sheet: 7 of 9	No: <b>A06</b>

Area Schedule (Gross Building)		
Name	Area	Area (sq)
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Garage	32.06 m <sup>2</sup>	3.45
Deck	15.14 m <sup>2</sup>	1.63
	203.94 m <sup>2</sup>	21.95

Ground Floor  
 SCALE 1:100

Plot Date: 5/11/2025 6:26:32 PM

**DEVELOPMENT APPLICATION**



**NOTE:**  
 ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.

- PLUMBING NOTES:**
- ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT OF THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
  - ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500 PARTS 1,2,3 & 4 & THE TASMANIAN PLUMBING CODE AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN.
  - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES.
  - ALL RUNOFF FROM PAVED & DRIVEWAY AREAS TO BE RETAINED WITHIN THE SITE BOUNDARIES AND DRAINED TO AN APPROVED STORMWATER SYSTEM.

- LEGEND**
1. TROUGH (TR)
  2. SINK (S)
  3. BATH (BT)
  4. BASIN (B)
  5. SHOWER (SH)
  6. WC (WC)
  7. DISHWASHER (DW)

SEWER PIPE = 100mm DIA. uPVC @ 1:60 FALL  
 OVERFLOW RELIEF GULLY (ORG)  
 FLOOR WASTE GULLY (FWG)  
 VENT (EV)  
 INSPECTION OPENING (IO)  
 MANHOLE (MH)  
 GRATED PIT- 300x300 (GP)

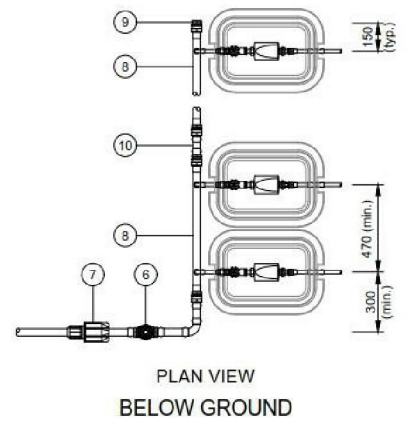
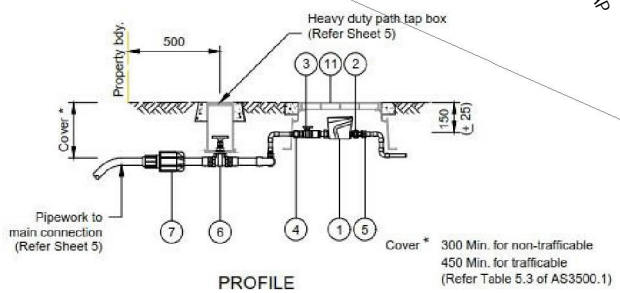
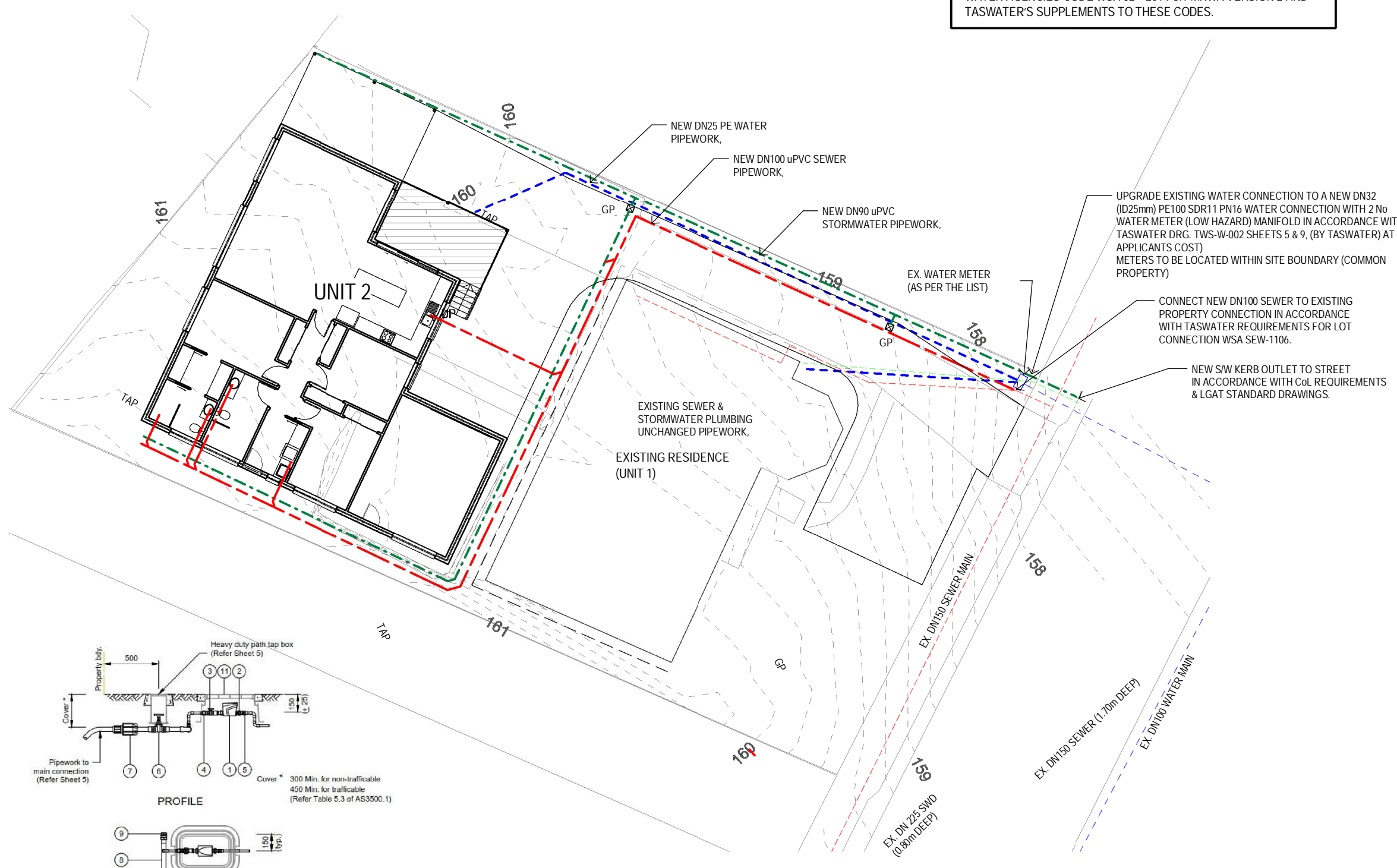
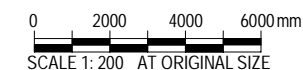
DOWNPIPE (DP) = 90mm DIA uPVC  
 STORMWATER = REFER PLUMBER FOR PIPE SIZE

WET AREAS SHOWN HATCHED. REFER TO NOTES ON SHEET A13 FOR WATERPROOFING INFORMATION

THE INSTALLATION OF WATER PIPE LINES, INSTALLED WITH THE PRODUCT HIS 311 REHAU, WILL REQUIRE THE MAIN COLD WATER LINE TO BE DN 25mm WITH DN 16mm BRANCHES & HOT WATER MAIN LINES TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.5.2000 & AS/NZS 3500.1.2003

HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS 3500.5.2000 SECTION 3.4

AT THE PROPERTY BOUNDARY AN APPROVED BACKFLOW PREVENTION VALVE IS TO BE FITTED PRIOR TO EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING AS PER. AS/NZS 3500.1.2003



**Plumbing Plan**  
 SCALE 1 : 200

Plate Date: 5/11/2025 6:26:32 PM

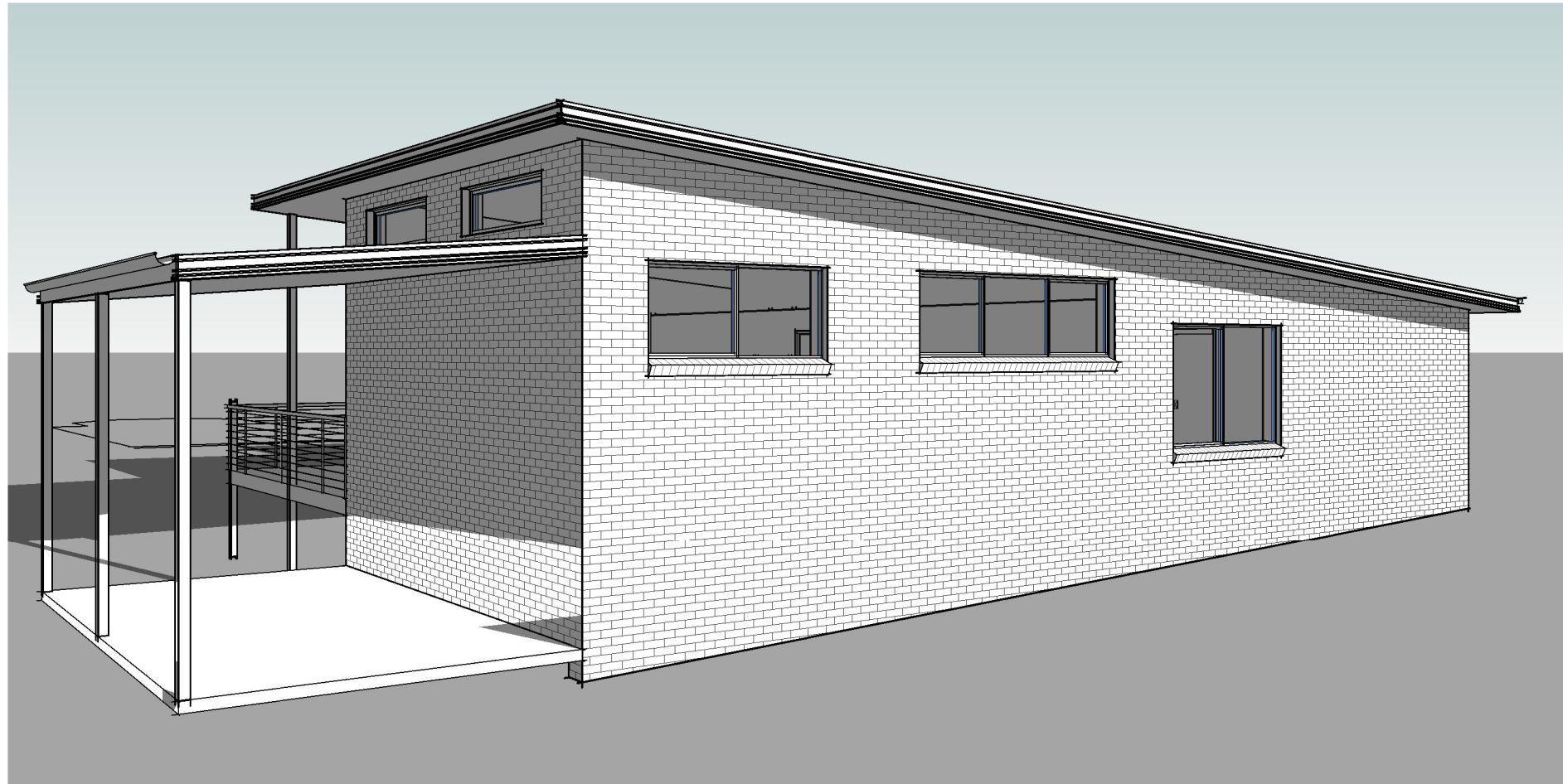
# DEVELOPMENT APPLICATION

## KABRACO Builders

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Client: <b>KABRACO BUILDERS</b>		
Project: <b>PROPOSED RESIDENCE 95 CHRIS ST. PROSPECT VALE TAS. 7250</b>		
Title: <b>PLUMBING PLAN</b>		
Date: <b>FEB. '24</b>	Project No: <b>KAB-07</b>	Rev No: <b>B</b>
Scale: <b>1 : 200</b>	Sheet: <b>8 of 9</b>	No: <b>A07</b>



NOTE: COMPUTER IMPRESSION ONLY

Plote Date: 5/11/2025 6:26:33 PM

# DEVELOPMENT APPLICATION

## KABRACO Builders

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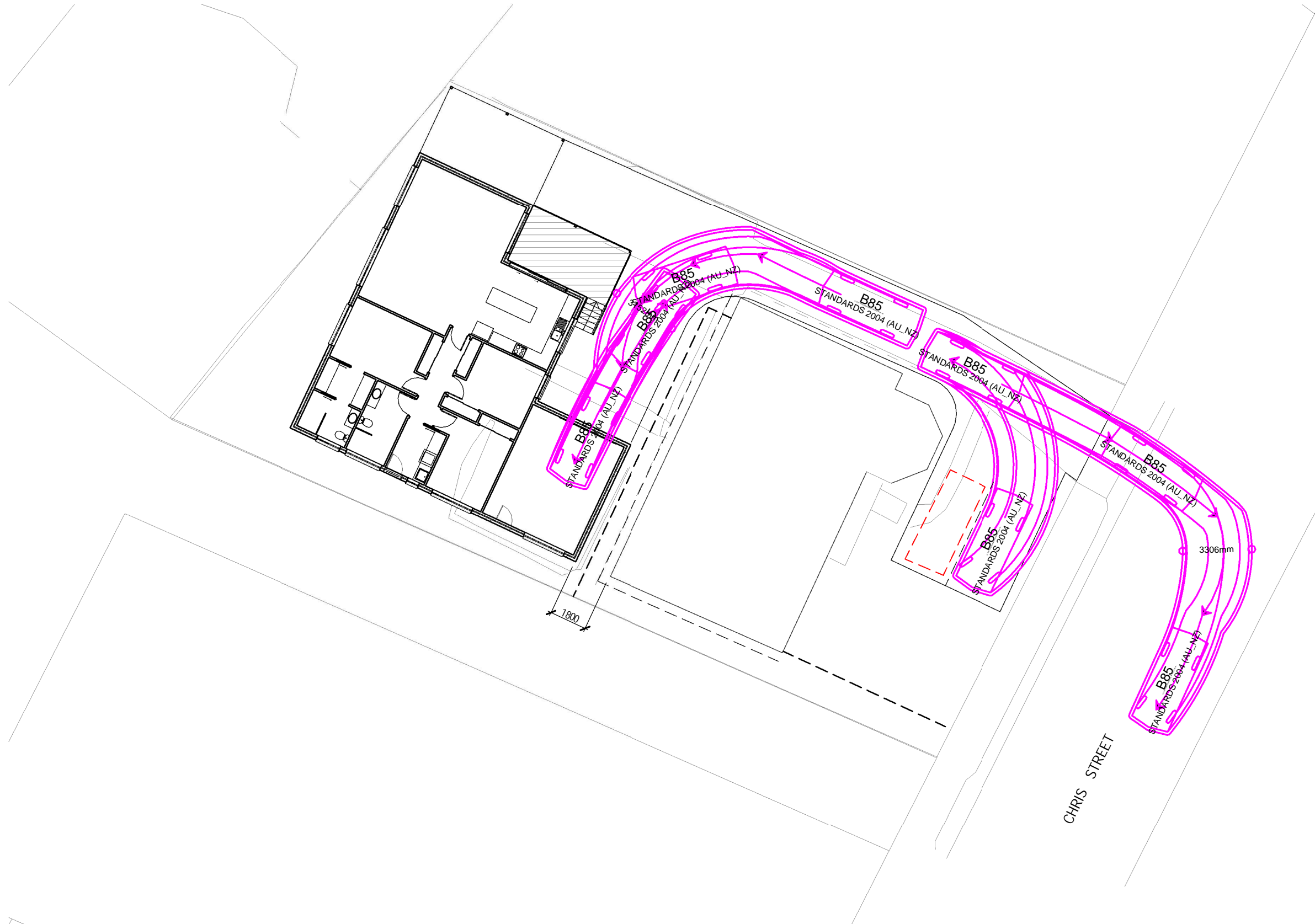
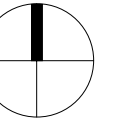
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Client:  
**KABRACO BUILDERS**

Project:  
**PROPOSED RESIDENCE  
95 CHRIS ST.  
PROSPECT VALE  
TAS. 7250**

Title:  
**3D VIEWS**

Date: FEB. '24	Project No: KAB-07	Rev No: A
Scale:	Sheet: 9 of 9	No: <b>A08</b>



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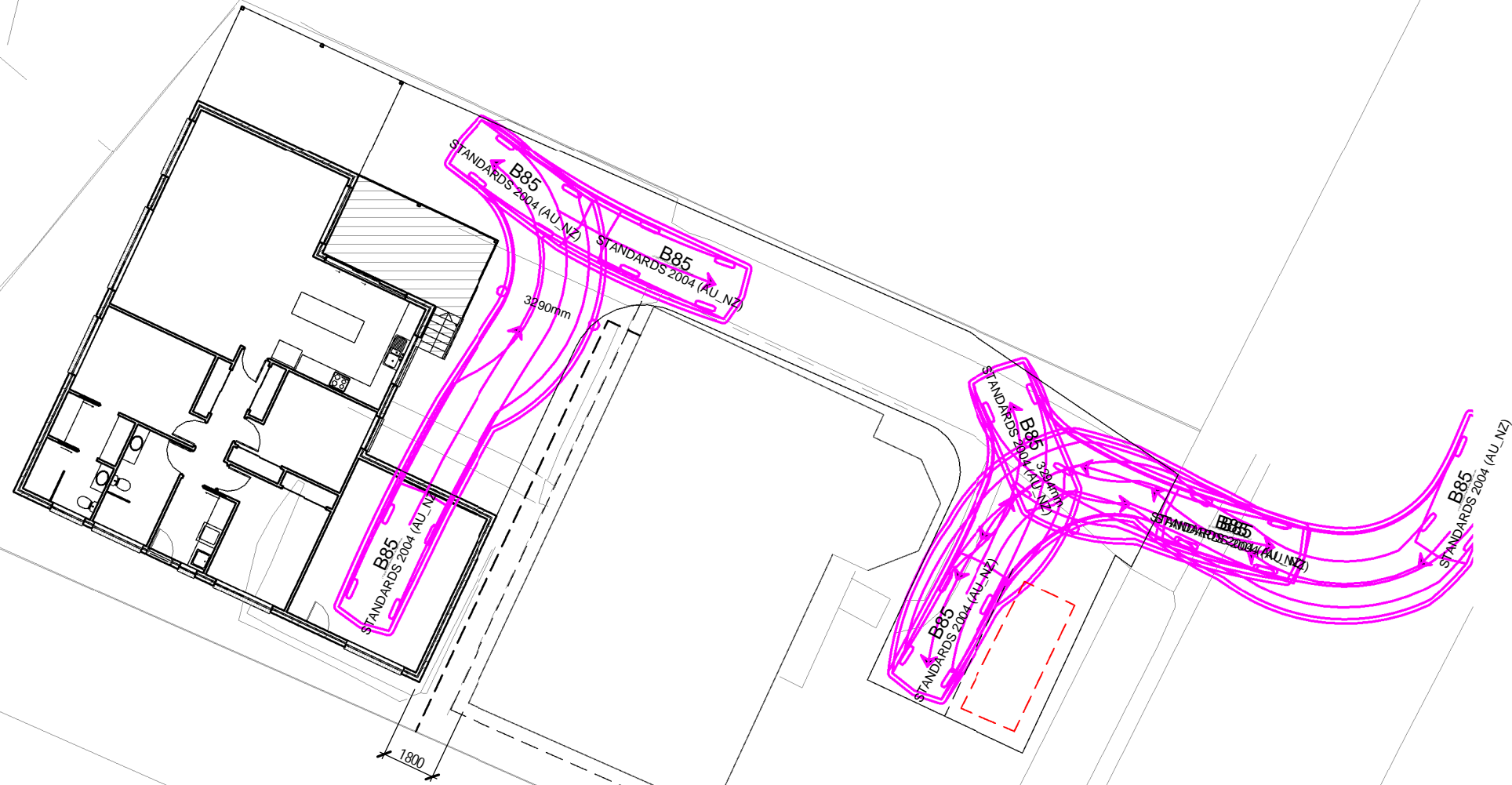
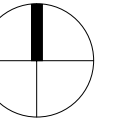
Project:  
**PROPOSED RESIDENCE  
95 CHRIS ST.  
PROSPECT VALE  
TAS. 7250**

Title:  
**SWEPT PATH -1**

Date: FEB. '24	Project No:	Rev No: B
Scale: 1 : 200	Sheet: of	No: <b>A22</b>

Plot Date: 5/11/2025 6:26:34 PM

## DEVELOPMENT APPLICATION



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Project:  
**PROPOSED RESIDENCE  
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PROSPECT VALE  
TAS. 7250**

Title:  
**SWEPT PATH -2**

Date: FEB. '24	Project No:	Rev No: B
Scale: 1 : 200	Sheet: of	No: <b>A23</b>

Plot Date: 5/11/2025 6:26:35 PM

**DEVELOPMENT APPLICATION**