



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	N + B Design - PA\26\0065
PROPERTY ADDRESS:	12 Youd Court DELORAINE (CT: 25818/9)
DEVELOPMENT:	Single dwelling - attenuation area.

The application can be inspected until **Tuesday, 14 October 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 27 September 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="12 Youd Court"/>	Certificate of Title:	<input type="text" value="25818"/>
Suburb:	<input type="text" value="Deloraine"/>	Tas	Lot No: <input type="text" value="9"/>
Land area:	<input type="text" value="690"/>	m^2 / ha	
Present use of land/building:	<input type="text" value="Vacant"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m^2 New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 25818	FOLIO 9
EDITION 2	DATE OF ISSUE 23-Aug-2022

SEARCH DATE : 03-Jun-2025

SEARCH TIME : 08.22 AM

DESCRIPTION OF LAND

Town of DELORAINE

Lot 9 on Sealed Plan 25818

Derivation : Part of 12A-0R-32Ps, Section U. Gtd to W Hughes

Prior CT 4171/47

SCHEDULE 1

M942805 DIRECTOR OF HOUSING Registered 23-Aug-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

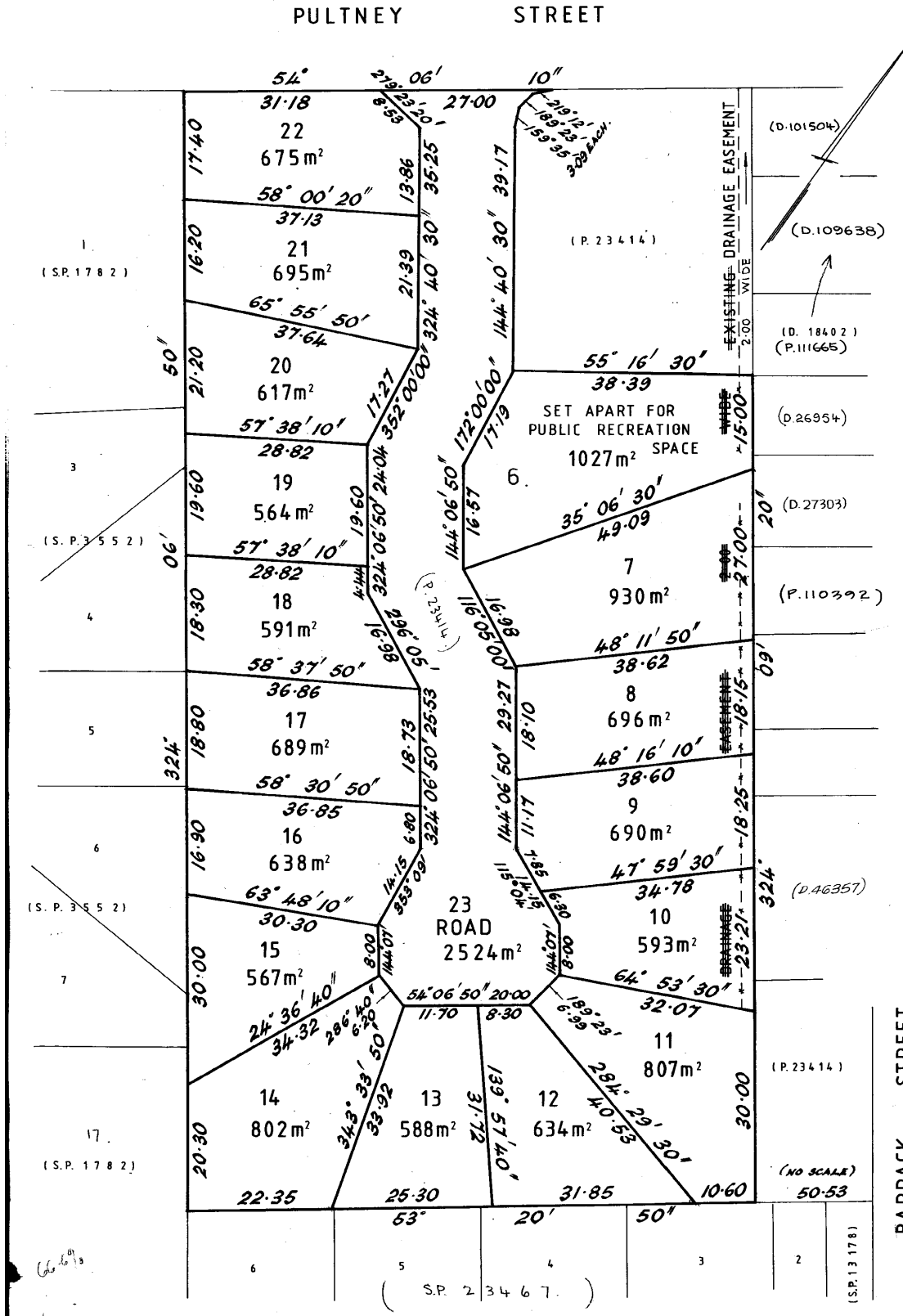
No unregistered dealings or other notations

OS K 1110

257

SP 25818

Owner: <i>The Director of Housing.</i>	PLAN OF SURVEY by Surveyor <i>Edward McRae Pedley</i> of land situated in the	Registered Number: S. P25818
Title Reference: <i>Comm. N^o 60/0736 + 60/0820</i> C.T. 4139 - 58 C.T. 4139 - 59	TOWN OF DELORAINE SEC. U.	Effective from: <i>30 MAY 1985</i>
Grantee: <i>Part of 12.0.32, William Hughes Purchaser.</i>	Scale 1:500 Measurements in Metres	<i>E.R. Thorp</i> Recorder of Titles





SCHEDULE OF EASEMENTS

PLAN NO.

S. P25818

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
(2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
(2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows. Lot 6 is Together with a Right of Drainage over the Drainage Easement 2.00 wide on the Plan. No easements profits a prendre or covenants are created to benefit or burden any lots shown on the plan.

Signature of Director of Housing and circular seal: DIRECTOR OF HOUSING TASMANIA

The Director of Housing Registered proprietor of the land shown on the plan in the presence of:-

Signature of registered proprietor

Signature of Minister for Housing and circular seal: MINISTER FOR HOUSING TASMANIA

25818

This is the schedule of easements attached to the plan of DIRECTOR OF HOUSING
(Insert Subdivider's Full Name)

..... affecting land in

C/T VOLUME 4139/58 & 59
(Insert Title Reference)

Sealed by on19.....

Solicitor's Reference Council Clerk/Town Clerk

OS.K.3134

JDR HOMES / HOMES TASMANIA

PROPOSED RESIDENCE

12 YOUD COURT, DELORAINE

Drawing Schedule


SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER SHEET	B	08/09/25
A101	SITE PLAN	B	08/09/25
A102	ELEVATIONS 1 OF 2	B	08/09/25
A103	ELEVATIONS 2 OF 2	B	08/09/25
A104	FLOOR PLAN	B	08/09/25
A105	SETOUT PLAN	B	08/09/25
A106	DRAINAGE PLAN	B	08/09/25
A107	WALL FRAMING PLAN	B	08/09/25
A108	ELECTRICAL PLAN	B	08/09/25
A109	REFLECTED CEILING PLAN	B	08/09/25
A110	ROOF PLAN	B	08/09/25
A111	SECTION A-A	B	08/09/25
A112	DETAILS	B	08/09/25
A113	WALL TYPES	B	08/09/25
A114	WATERPROOFING 1 OF 2	B	08/09/25
A115	WATERPROOFING 2 OF 2	B	08/09/25
A116	WINDOW & DOOR SCHEDULE	B	08/09/25
A117	NCC COMPLIANCE CALCUALTORS	B	08/09/25
A118	CONSTRUCTION NOTES 1 OF 2	B	08/09/25
A119	CONSTRUCTION NOTES 2 OF 2	B	08/09/25

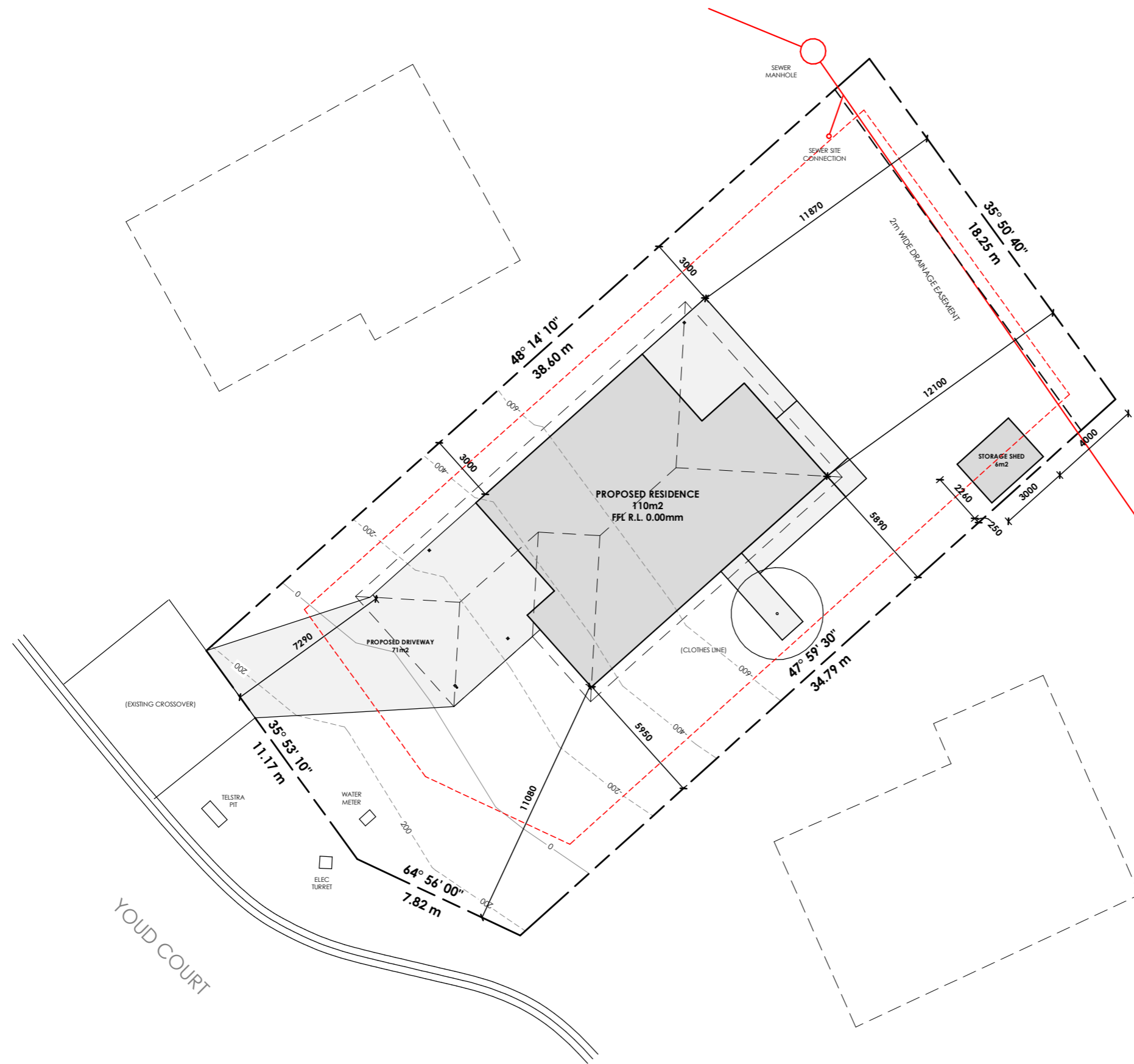
GENERAL INFORMATION

ACCREDITED DESIGNER: **NICHOLAS BRANDSEMA**
 ACCREDITATION NUMBER: **047538582**
 LAND TITLE REFERENCE NUMBER: **PID7294427, TITLE REF. 25818/9**
 ENERGY ASSESSMENT: **TBA**
 COUNCIL ZONE: **GENERAL RESIDENTIAL**
 COUNCIL: **MEANDER VALLEY COUNCIL**

FLOOR AREAS
 DWELLING FLOOR AREA: **110m2 (12 SQUARES)**

SITE INFORMATION
 SITE AREA: **690m2**
 DESIGN WIND SPEED: **TBA**
 SOIL CLASSIFICATION: **TBA**
 ALPINE AREA: **N/A**
 CORROSION ENVIRONMENT: **N/A**
 BUSHFIRE ATTACK LEVEL: **TBA**
 CLIMATE ZONE: **7**

 <p>22 Fieldings Way Ulverstone, Tasmania Australia 7315</p> <p>m 0417 134 369 e nick@nplusb.com.au License No. 047538582 ABN 946 222 219 16</p>	<p>Issued As Scale A3</p> <p>PLANNING</p> <p>©COPYRIGHT These drawings and designs and the copyright there of are the property of nplusb and must not be used, retained or copied without the written permission of nplusb. ABN 946 222 219 16</p>	<p>Revision</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>08/09/25</td> <td>Issued as PLANNING</td> </tr> </tbody> </table> <p>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevant NCC & AS</p>	No.	Date	Description	B	08/09/25	Issued as PLANNING	<p>Project PROPOSED RESIDENCE</p> <p>Location 12 YOUD COURT, DELORAINE</p> <p>Client JDR HOMES / HOMES TASMANIA</p>	<p>Sheet Title COVER SHEET</p> <table border="1"> <thead> <tr> <th>Drawn</th> <th>Issue Date</th> <th>Project No.</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>NJB</td> <td>08/09/25</td> <td>TBA</td> <td>B</td> </tr> </tbody> </table>	Drawn	Issue Date	Project No.	Revision	NJB	08/09/25	TBA	B	<p>Sheet Number A100 /A119</p>
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SITE PLAN

PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS
SECONDARY CONTOURS SHOWN AT 200mm INTERVALS

ALL RL LEVELS REFER TO FFL LEVEL, SITE DATUM
TBA

DRIVEWAY

120mm THICK 25MPa CONCRETE WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING.
STYLE AND FINISH TO BE CONFIRMED BY OWNER.

GENERAL NOTES:

DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATELY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE CONSTRUCTION PROCESS.

EXCAVATION:

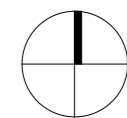
ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESSES AND SERVICES AS INDICATED. MAKE GOOD.

SETTING OUT:

THE BUILDER SHALL ACCURATELY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SETOUT.

PROTECTION WORK

(SECTION 121 OF THE BUILDING ACT)
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (BUILDING AND PROTECTION WORK NOTICE).



SITE PLAN
Scale 1 : 200

n+b

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Australia
7315

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Project
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Location
12 YOUD COURT, DELORAINE
Client
JDR HOMES / HOMES TASMANIA

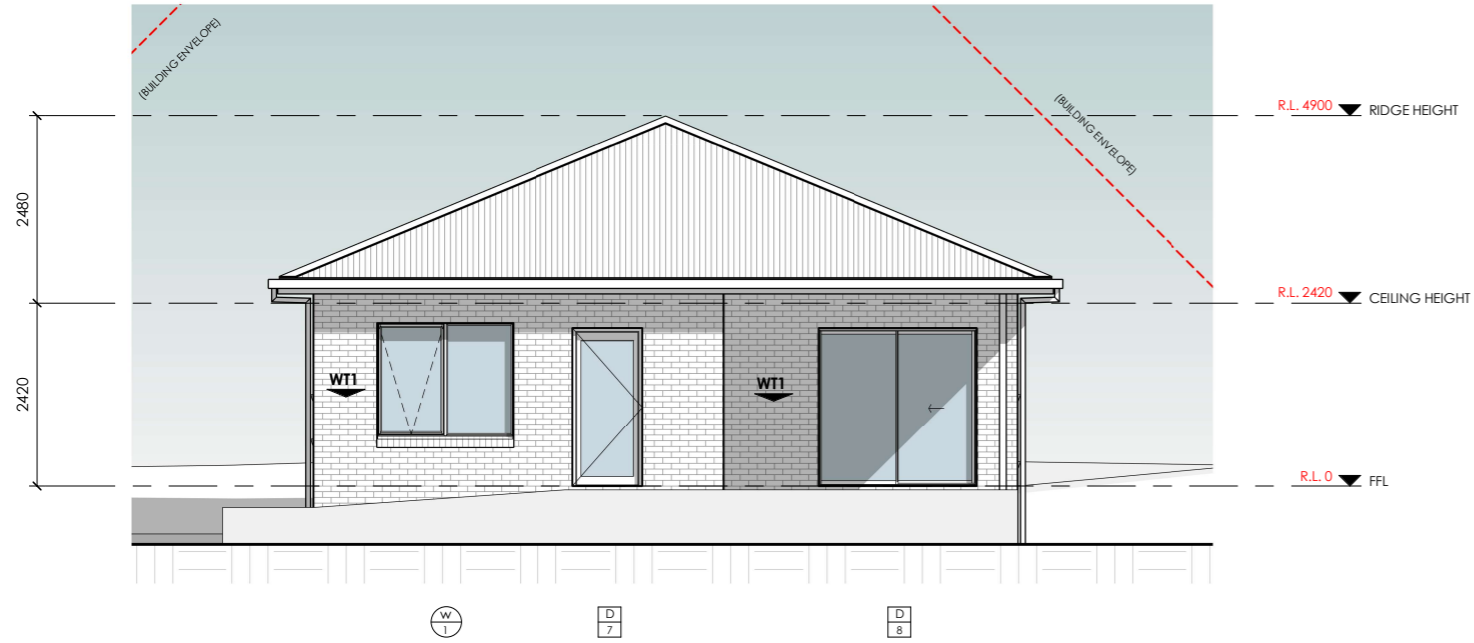
Sheet Title
SITE PLAN

Drawn	Issue Date	Project No.	Revision
NJB	05/06/24	TBA	B

Sheet Number

A101

/A119



EASTERN ELEVATION

Scale 1 : 100

WALL | FACADE MATERIALS & FINISHES

WT-1 BRICK VENEER, COLOUR & STYE BY OWNER.



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5

EAVE WIDTH OVERHANG - 600mm

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

COLORBOND CUSTOM ORB ROOF CLADDING

INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER.

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS

NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



NORTHERN ELEVATION

Scale 1 : 100

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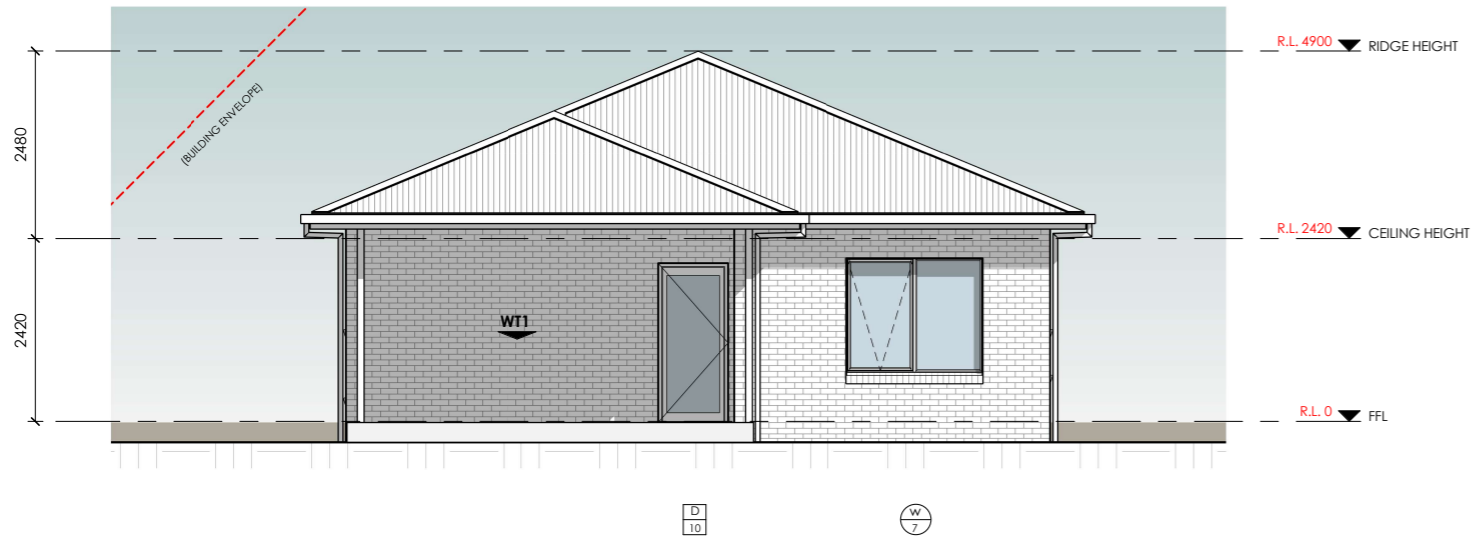
Sheet Title
ELEVATIONS 1 OF 2

Drawn	Issue Date	Project No.	Revision
NJB	05/06/24	TBA	B

Sheet Number

A102

/A119



WESTERN ELEVATION

Scale 1 : 100

WALL | FACADE MATERIALS & FINISHES

WT-1 BRICK VENEER, COLOUR & STYE BY OWNER.



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5

EAVE WIDTH OVERHANG - 600mm

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET TRIMMERS LOCATED WITHIN 1200mm OF EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

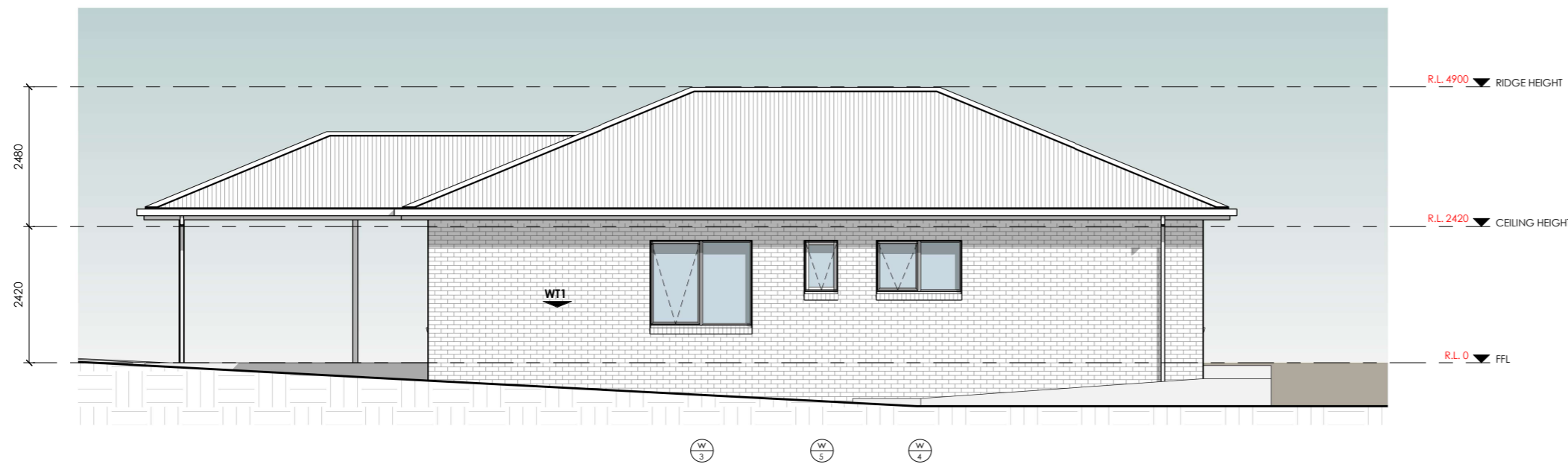
COLORBOND CUSTOM ORB ROOF CLADDING

INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562 COLOUR BY OWNER.

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS

NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED. ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288 ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTHERN ELEVATION

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JDR HOMES / HOMES TASMANIA

Sheet Title

ELEVATIONS 2 OF 2

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NJB

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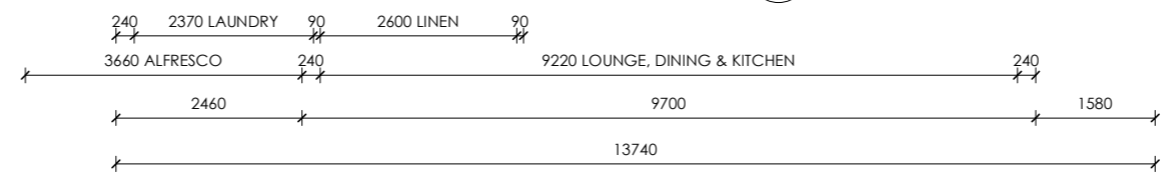
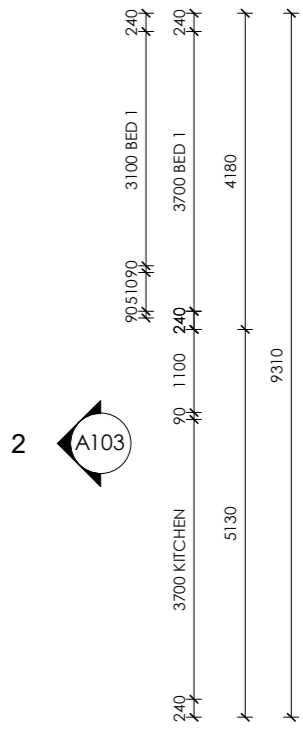
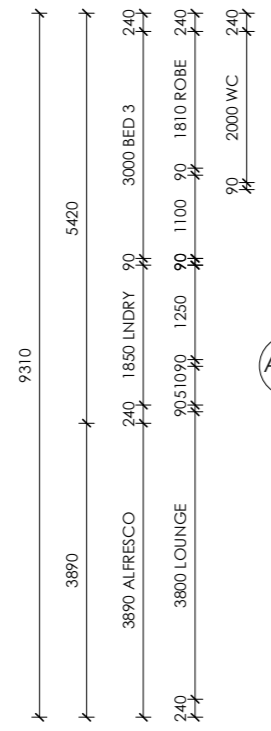
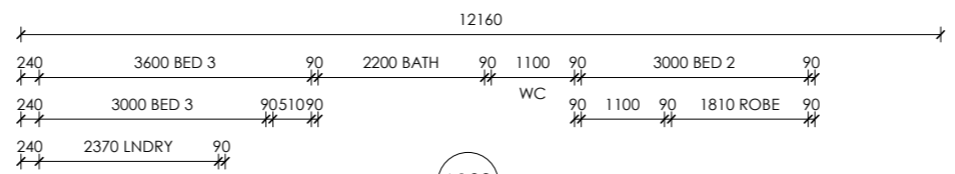
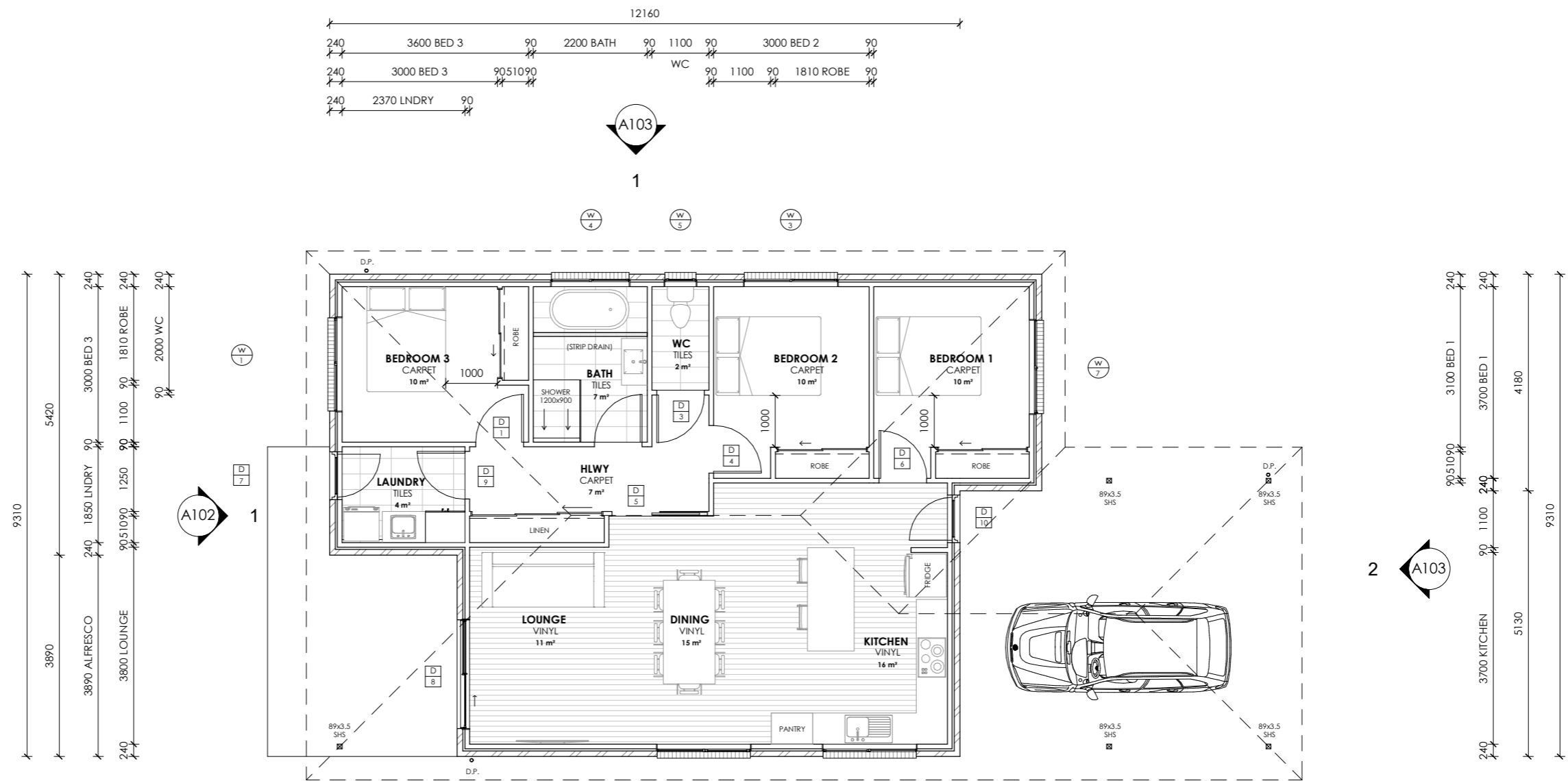
Revision

B

Sheet Number

A103

/A119



FLOOR AREAS & FINISHES

FLOOR AREA - 110m²

VINYL
FLOOR AREA APPROX - 42m²
 5mm SELECTED VINYL PLANK FLOORING

CARPET
FLOOR AREA APPROX - 37m²
 SELECTED CARPET AND UNDERLAY

TILES
FLOOR AREA APPROX - 11m²
 SELECTED TILES, GROUT, SEALANT, TRIMS
 SEALED PRIOR WITH A WATERPROOF
 MEMBRANE SYSTEM

SKIRTING 66x18 PRE PRIMED BEVELLED
 SKIRTINGBOARD, PAINT TO FINISH.

NOTES
 ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH
 CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047
 ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740
 ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684
 ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

FLOOR PLAN
 Scale 1 : 100

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FLOOR PLAN
 Drawn NJB Issue Date 05/06/24 Project No. TBA Revision B

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A104
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WINDOW & DOOR SCHEDULE NOTES

FLYSCREENS TO BE FITTED TO ALL OPENABLE WINDOWS AND DOORS (ENTRY EXEMPT).

GLAZING TYPES AVAILABLE IN TASMANIA CAN BE ACCESSED AT WWW.WERS.NET.

SHOWER SCREENS

1800H SEMI-FRAMELESS SHOWER SCREENS TO COMPLY WITH NCC TABLE 8.4.6. & AS1288. MINIMUM 6mm THICK GRADE A TOUGHENED SAFETY GLASS, LABELLED TO COMPLY WITH INDUSTRY STANDARDS.

OPAQUE BANDS

WHERE GLAZED DOORS OR SIDE PANELS ARE CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, THE GLASS MUST BE MARKED TO MAKE IT READILY VISIBLE AS FOLLOWS:

- MARKING IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT;
- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR;
- THE LOWER EDGE IS NOT MORE THAN 1200mm ABOVE THE FLOOR.

FLASHINGS TO WALL OPENINGS

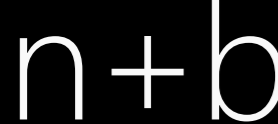
ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS2904. REFER TO DRAWING A117 FOR WINDOW HEAD AND SILL DETAILS. FLASHING TO BE INSTALLED WITH GLAZING MANUFACTURER'S SPECIFICATIONS FOR BRICK VENEER CONSTRUCTION.

NOTE:

ALL WINDOWS & DOORS ARE SHOWN AS REPRESENTATIONAL ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER AND CLIENT TO REVIEW ALL WINDOW & DOOR STYLE'S PRIOR TO ORDERING. THIS INCLUDES DOOR MATERIAL (I.E. ALUMINUM/TIMBER) & COLOUR, FRAME COLOUR, AWNING/SLIDING OPERATION (INCLUDING SLIDING DOORS), GLASS TINT & TRANSOM & MULLION LAYOUT.

Window Schedule								
Mark	Operation	Size		Sill Height (Height Above FFL)	Location	Energy Rating		Description
		Height	Width			U-Value	SHGC	
1	Awning	1500	1800	665	BEDROOM 3	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
2	Awning	1800	1800	365	DINING	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
3	Awning	1500	1800	665	BEDROOM 2	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
4	Awning	900	1500	1265	BATH	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
5	Awning	900	600	1265	WC	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
6	Awning	900	1800	1265	KITCHEN	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr
7	Awning	1500	1800	665	BEDROOM 1	4.3 W/(m ² ·K)	0.55	Double Glazed - 4Clr/10/4Clr

Door Schedule				
Mark	Location	Height	Width	Operation
1	BEDROOM 3	2040	920	Internal Hinged
2	BATH	2040	920	Internal Hinged
3	WC	2040	920	Internal Hinged
4	BEDROOM 2	2040	920	Internal Hinged
5	DINING	2040	920	Cavity Slider
6	BEDROOM 1	2040	920	Internal Hinged
7	LAUNDRY	2100	920	External Hinged
8	LOUNGE	2100	2100	Double Glazed Sliding Door
9	LAUNDRY	2040	920	Internal Hinged
10	KITCHEN	2100	920	External Hinged

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Meander Valley Council
General Manager
PO Box 102
WESTURY TAS 7303

To whom it may concern,

Subject: Landowner consent - Statutory Applications

12 Youd Court, Deloraine

Pursuant to Section 52(1) of the *Land Use Planning and Approvals Act 1993* and as a person authorised under Section 12(1) of the *Homes Tasmania Act 2022*, on behalf of Homes Tasmania, I Richard Gilmour, hereby give the applicant permission to the making of the following involving land in the ownership Homes Tasmania at the nominated address. Please note, as of 1st December 2022 the Director of Housing ceased to exist. Under Schedule 2(5) of the *Homes Tasmania Act 2022* all reference to the Director of Housing is to be taken to be a reference to Homes Tasmania.

- Development application;
- Building surveyor application;
- Building and plumbing application;
- TasWater, TasNetworks and NBN applications; and
- Access to Council, TasWater and TasNetworks records and drawings pertaining to the nominated address.

Yours sincerely



Richard Gilmour
Director – Community Infrastructure

Homes Tasmania

10 September 2025

**Attachments: Instrument of Delegation
Copy:**

GPO Box 65
Hobart, TAS, 7001
homest Tasmania.com.au
HousingProjects@homes.tas.gov.au

Contact Officer: Rachael Benjamin
Phone: 6166 3578
Email: rachael.benjamin@homes.tas.gov.au

From: "Admin | n+b design" <admin@nplusb.com.au>
Sent: Mon, 22 Sep 2025 09:29:37 +1000
To: "Planning - Meander Valley Council" <planning@mvc.tas.gov.au>
Subject: RE: PA\26\0065 - 12 Youd Court, Deloraine - s.54 letter

Good Morning,

The garden shed will be 2.1m high.

The driveway will be plain concrete.

Do you require these details noted on the plans?

Regards,

Carmen Miles - Administration

Wanting to book in a consultation? Book [here](#)