



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Engineering Plus - PA\26\0085
PROPERTY ADDRESS:	12 Liddesdale Drive DELORAINE (CT: 187568/9)
DEVELOPMENT:	Residential outbuilding (garage) - setback.

The application can be inspected until **Tuesday, 4 November 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 18 October 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="12 LIDDESDALE DR"/>	Certificate of Title:	<input type="text" value="187568/9"/>
Suburb:	<input type="text" value="DELORAINIE TAS"/>	<input type="text" value="7304"/>	Lot No: <input type="text" value="9"/>
Land area:	<input type="text" value="1700 m2"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Residential"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$ 40,000"/>	<i>Includes total cost of building work, landscaping, road works and infrastructure</i>		
Description of work:	<input type="text" value="Proposed shed"/>			
Use of building:	<input type="text" value="Storage/Garage"/>	<i>(main use of proposed building – dwelling, garage, farm building, factory, office, shop)</i>		
New floor area:	<input type="text" value="49"/> m ²	New building height:	<input type="text" value="4.0"/> m	
Materials:	External walls:	<input type="text" value="steel"/>	Colour:	<input type="text" value="monument"/>
	Roof cladding:	<input type="text" value="steel"/>	Colour:	<input type="text" value="monument"/>

SEARCH OF TORRENS TITLE

VOLUME 187568	FOLIO 9
EDITION 2	DATE OF ISSUE 11-Oct-2025

SEARCH DATE : 16-Oct-2025

SEARCH TIME : 10.17 AM

DESCRIPTION OF LAND

Parish of MALLING Land District of DEVON
 Lot 9 on Sealed Plan 187568
 Derivation : Part of Lot 429, 213 Acres Gtd. to James Duff
 Mackay and William Kenney
 Prior CT 185710/105

SCHEDULE 1

N282530 TRANSFER to ROYSTON FOX of twenty-five undivided
 1/100 shares, DIANNE DULCIE FOX of twenty-five
 undivided 1/100 shares and KARLIE SIMONE FOX of fifty
 undivided 1/100 shares as tenants in common
 Registered 11-Oct-2025 at noon

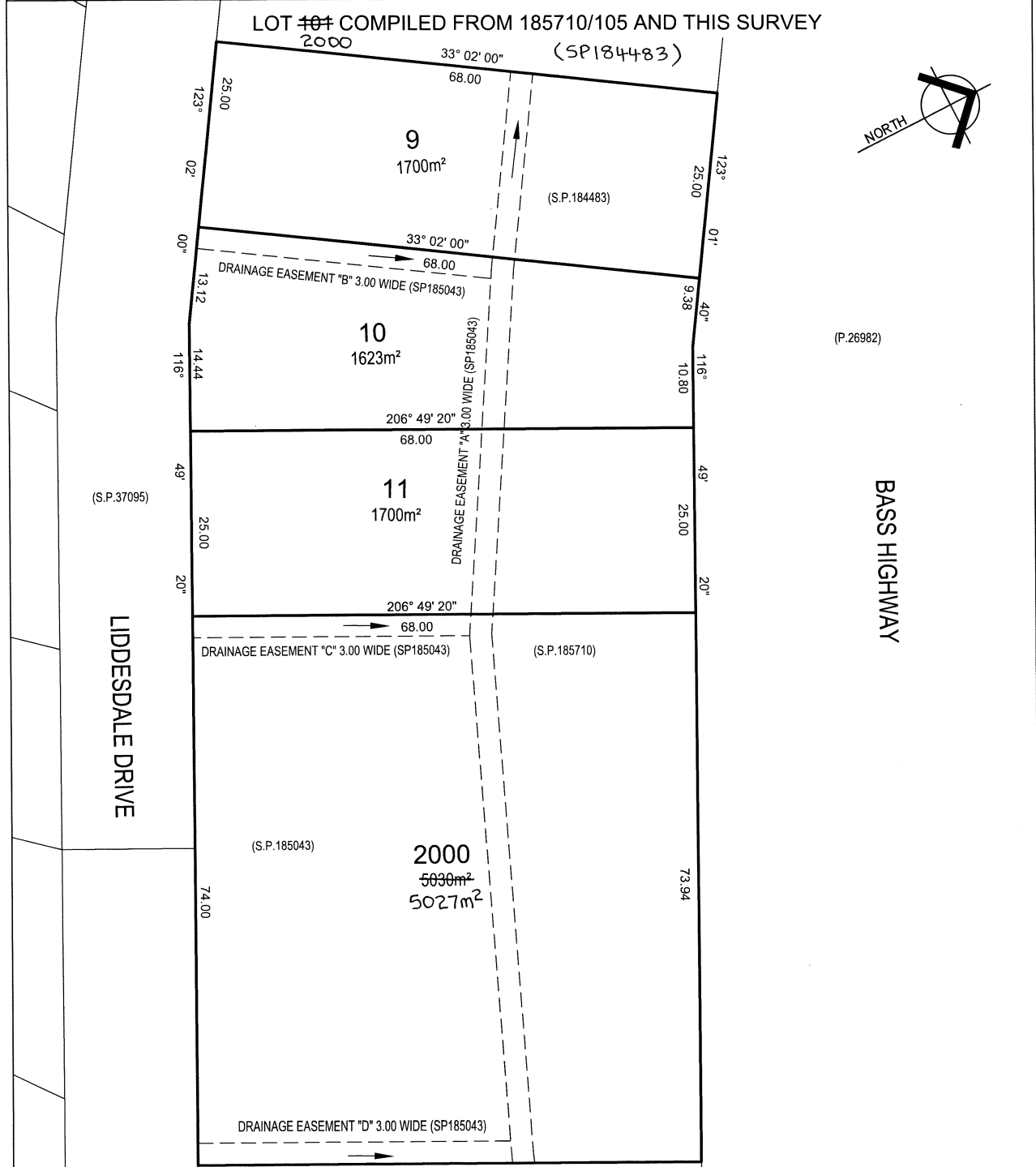
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP187568 EASEMENTS in Schedule of Easements
 SP187568 FENCING COVENANT in Schedule of Easements
 SP187568 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP184483, SP185043 & SP185710 FENCING COVENANT in Schedule of
 Easements
 SP185043 SEWERAGE AND/OR DRAINAGE RESTRICTION
 A854244 PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935 Registered 21-Jul-1983 at 12.01
 PM
 B738897 PROCLAMATION under Section 52A of the Roads and
 Jetties Act 1935 Registered 10-May-1995 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER PATON ENTERPRISES PTY LTD	PLAN OF SURVEY		REGISTERED NUMBER SP187568
FOLIO REFERENCE C.T. 185710/105	BY SURVEYOR R. M. PECK		APPROVED EFFECTIVE FROM 16 OCT 2024 Recorder of Titles
GRANTEE PART OF LOT 429 213 ^{AC} GRANTED TO JAMES DUFF MACKAY AND WILLIAM KENNEY	LOCATION LAND DISTRICT OF DEVON PARISH OF MALLING		
MAPSHEET MUNICIPAL CODE No	LAST UPI No	LAST PLAN No. SP185710	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 REGISTERED LAND SURVEYOR	8/8/24 DATE	(SP185043)	 COUNCIL DELEGATE	04/10/2024 DATE
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP187568

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 9, 10, 11 and 2000 on the Plan are each SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "A" 3.00 Wide (SP185043) on the Plan. —

Lot 10 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "B" 3.00 Wide (SP185043) on the Plan. —

Lot 2000 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "C" 3.00 Wide (SP185043) on the Plan. —

Lot 2000 on the Plan is SUBJECT TO a right of drainage for the Meander Valley Council over the land marked Drainage Easement "D" 3.00 Wide (SP185043) on the Plan. —

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor Paton Enterprises Pty Ltd (A.C.N. 639 417 217) that the said Paton Enterprises Pty Ltd (A.C.N. 639 417 217) shall not be required to fence.

[Handwritten signatures]


(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PATON ENTERPRISES PTY LTD FOLIO REF: 185710/105 SOLICITOR & REFERENCE: Shields Heritage DA Smith	PLAN SEALED BY: <i>Meander Valley Council</i> DATE: <i>04/10/2024</i> REF NO: <i>PA/23/0020</i> <div style="text-align: right;"> <i>[Signature]</i> Council Delegate </div>
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP187568
SUBDIVIDER: PATON ENTERPRISES PTY LTD FOLIO REFERENCE: 185710/105	

SIGNED by PATON ENTERPRISES PTY LTD)
LTD (A.C.N. 639 417 217) the registered)
 proprietor of the land comprised in Folio of)
 the Register Volume 185710 Folio 105 by)
 its attorney JAKE HENRY SHERRIFF under)
 Power No. PA157902 (and the said JAKE)
HENRY SHERRIFF declares that he has)
 received no notice of revocation of the said)
 Power) in the presence of:-)



 Jake Henry Sherriff

Witness signature 
 Witness print name Sharon Maree Foster
 Witness address 53 Cameron Street
 Launceston 7250 Tas

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DRAWING SCHEDULE

A00 COVER PAGE
 A01 SITE PLAN

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	10.0 LOW DENSITY RESIDENTIAL ZONE
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	187568/9
DESIGN WIND SPEED:	ASSUMED "N2"
SOIL CLASSIFICATION:	ASSUMED "H1"
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBA
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

DEVELOPMENT AREA	
Name	Area
APPROX. EXISTING DWELLING	216.00 m ²
PROPOSED SHED	49.00 m ²
	265.00 m ²

PROPOSED SHED

KARLIE FOX & DIANNE FOX
 & ROYSTON FOX
 12 LIDDESDALE DR
 DELORAIN TAS 7304

MEANDER VALLEY COUNCIL

ISSUED FOR DEVELOPMENT APPROVAL



DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
 STORMWATER FROM PROPOSED SHED TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

LEGEND	
	SEWER
	WATER
	STORMWATER

PLANNING APPROVAL

Copyright ©

Client: **K. & D. & R. FOX**
 Project: **PROPOSED SHED**
 Address: **12 LIDDESDALE DR DELORAIN TAS 7304**

Office: 6331 7021
 info@engineeringplus.com.au

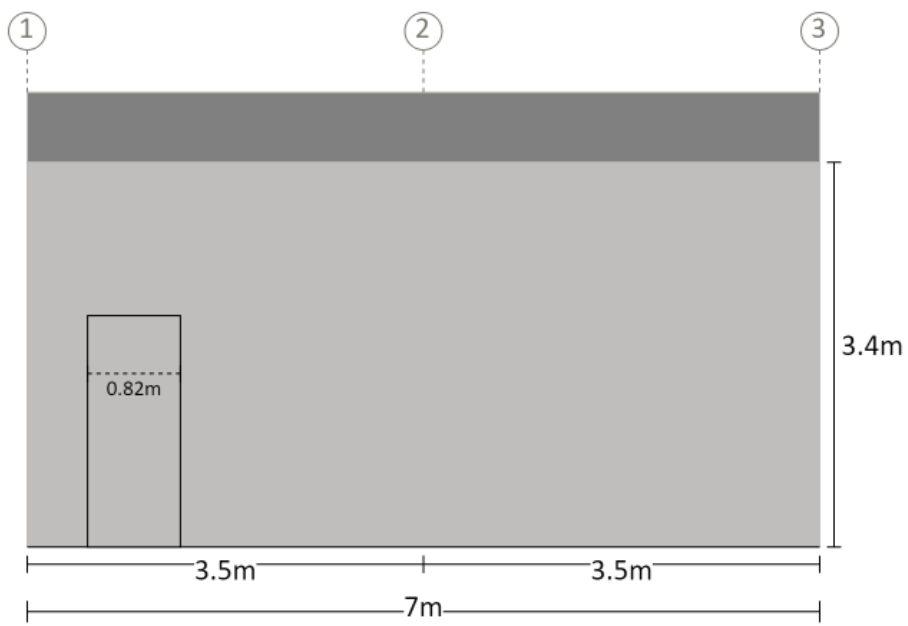


SITE PLAN
 SCALE 1:300

Date Drawn: 11.09.25	Drawn: S.V	Checked: C. Lim	Approved: J. Pfeiffer	Scale: As Shown @ A3
A	ISSUED FOR DEVELOPMENT APPROVAL	18.09.25	J.N	Accredited Building Designer
-	ISSUED FOR REVIEW	16.09.25	J.N	Designer Name: J.Pfeiffer
Rev:	Amendment:	Date:	Int:	Accreditation No: CC2211T
Drawing No: EP-2025-313 A01/A01				Rev: A

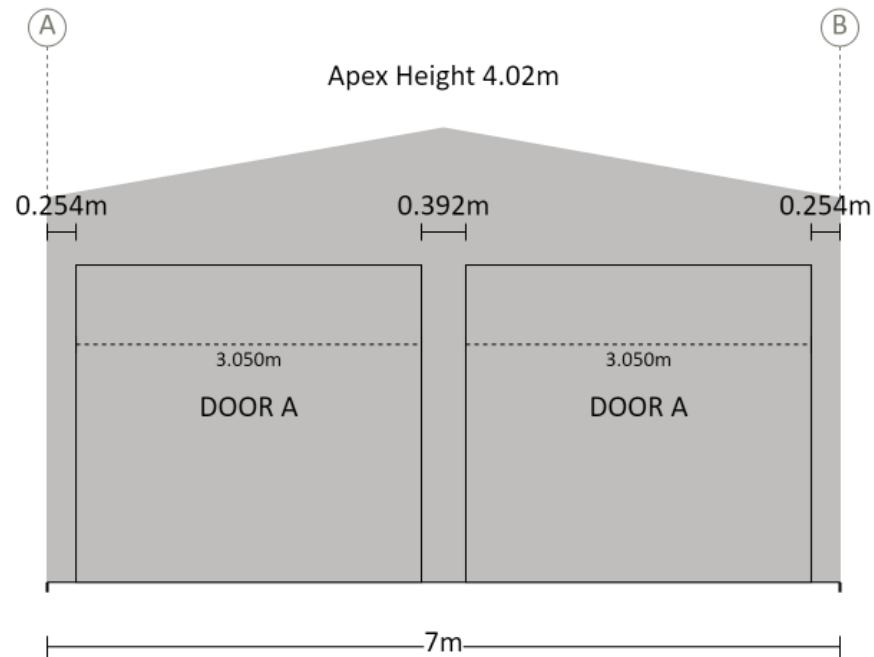
This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to

Left End



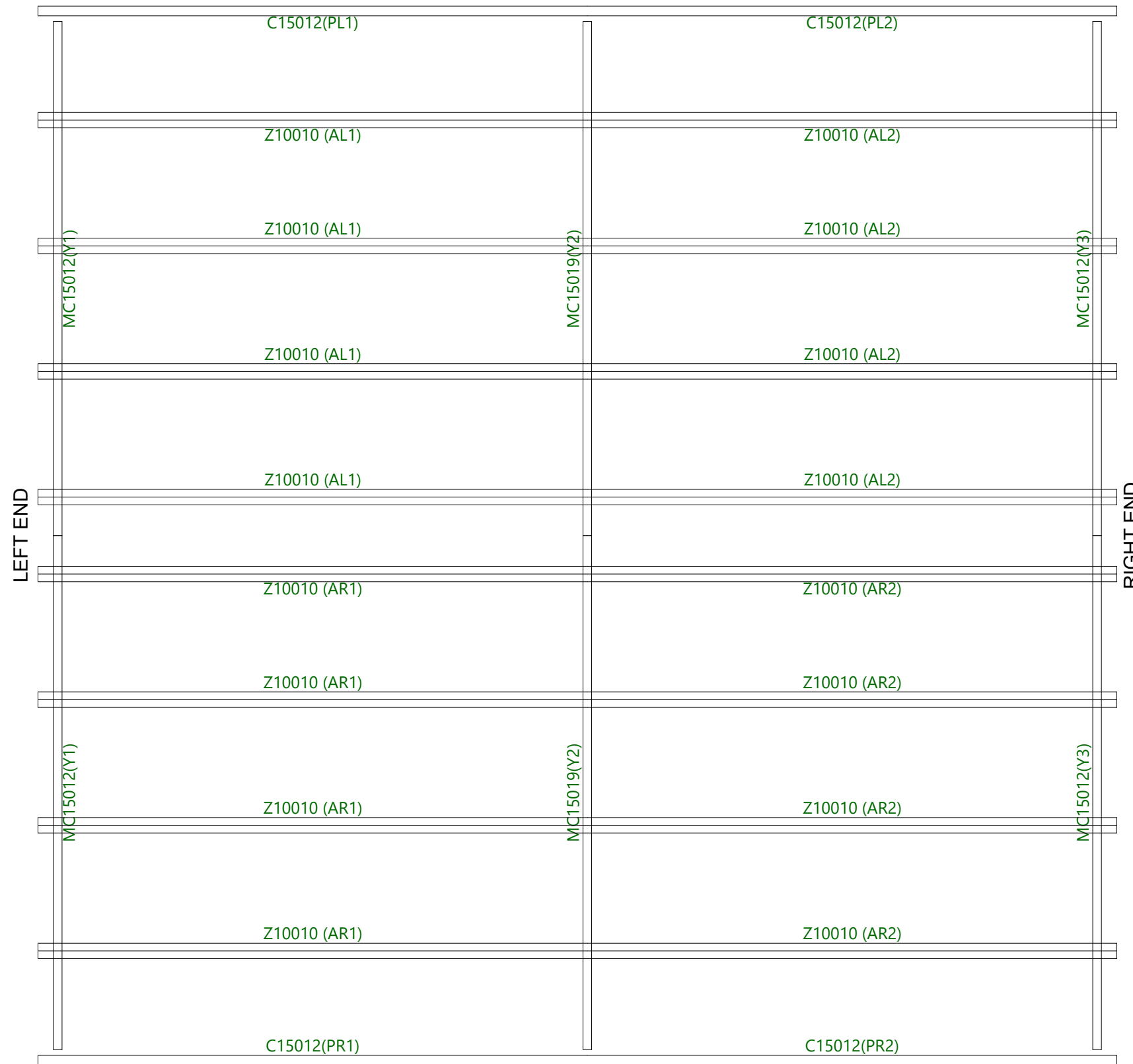
Measurements are from the outside of side girts to the inside of component opening size.

Purchaser Name: Karlie Fox		Component Position Not to Scale Page 1 of 1 © Copyright Steelx IP Pty Ltd	Seller: The Shed Company Launceston RDAM Heald Pty Ltd Phone: 03 9002 4272 Fax: Email: launceston@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 ME Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers	
Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia				Signature: 	Date: John Ronaldson Date: 24/09/2025
Drawing # TLAN250043 - 10	Print Date: 24/09/2025				

ROOF (TOP VIEW)

LEFT SIDE

Notes:
Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.



RIGHT SIDE

Revision	Date	Initial		
			Purchaser Name: Karlie Fox	
			Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia	
			Drawing # TLAN250043 - 11	Print Date: 24/09/2025

Purlin and Girt Plan


NOT TO SCALE

Page 1 of 4

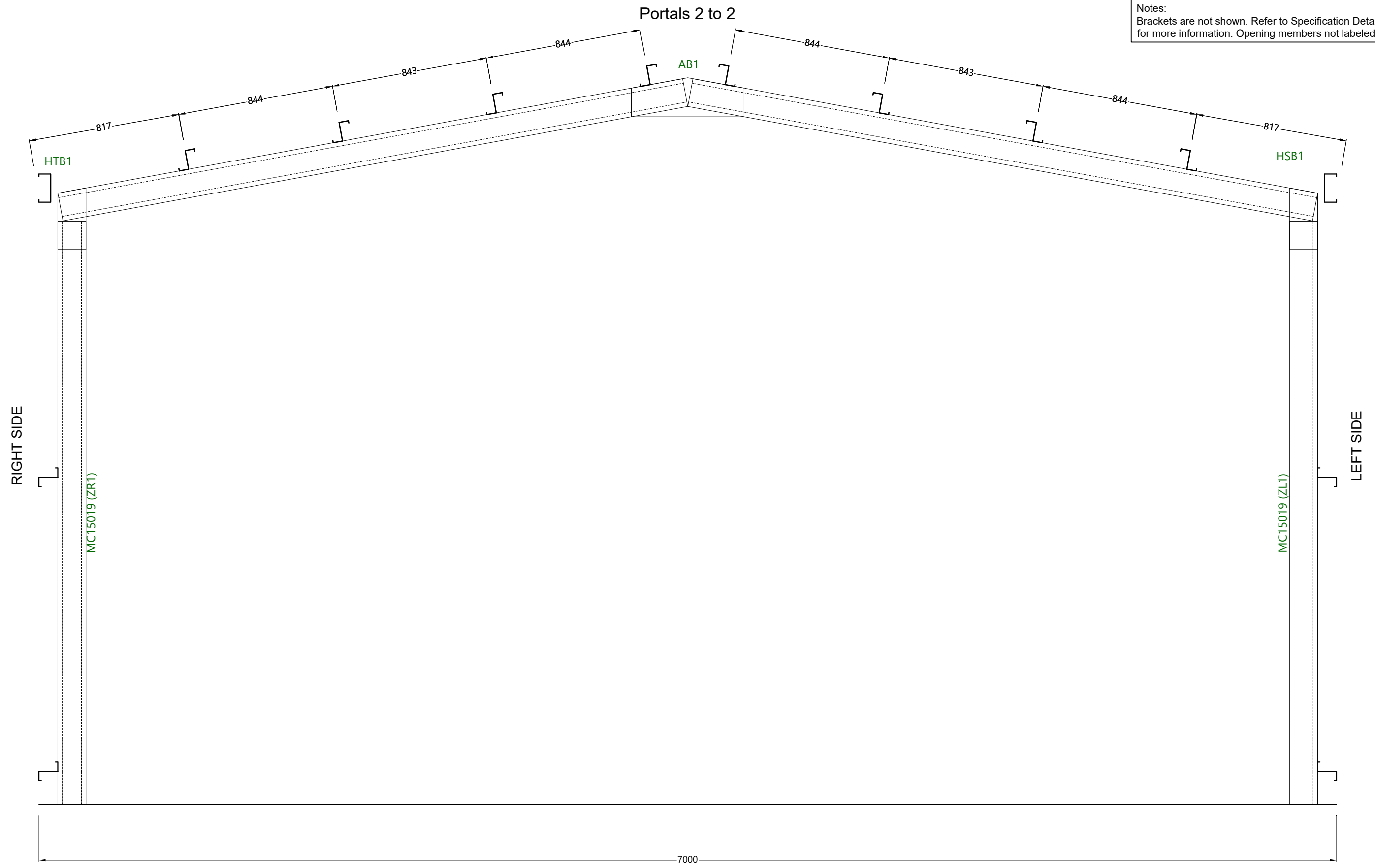
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Seller: The Shed Company Launceston
 Name: RDAM Heald Pty Ltd
 Phone: 03 9002 4272
 Fax:
 Email: launceston@theshedcompany.com.au

Apex Engineering Group PTY LTD
 ACN 632 588 562
 MIE Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
 Practising Professional Structural & Civil Engineers

Signature:  John Ronaldson
 Date: 24/09/2025

Notes:
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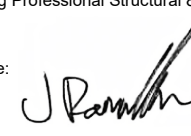
Purlin and Girt Plan

NOT TO SCALE

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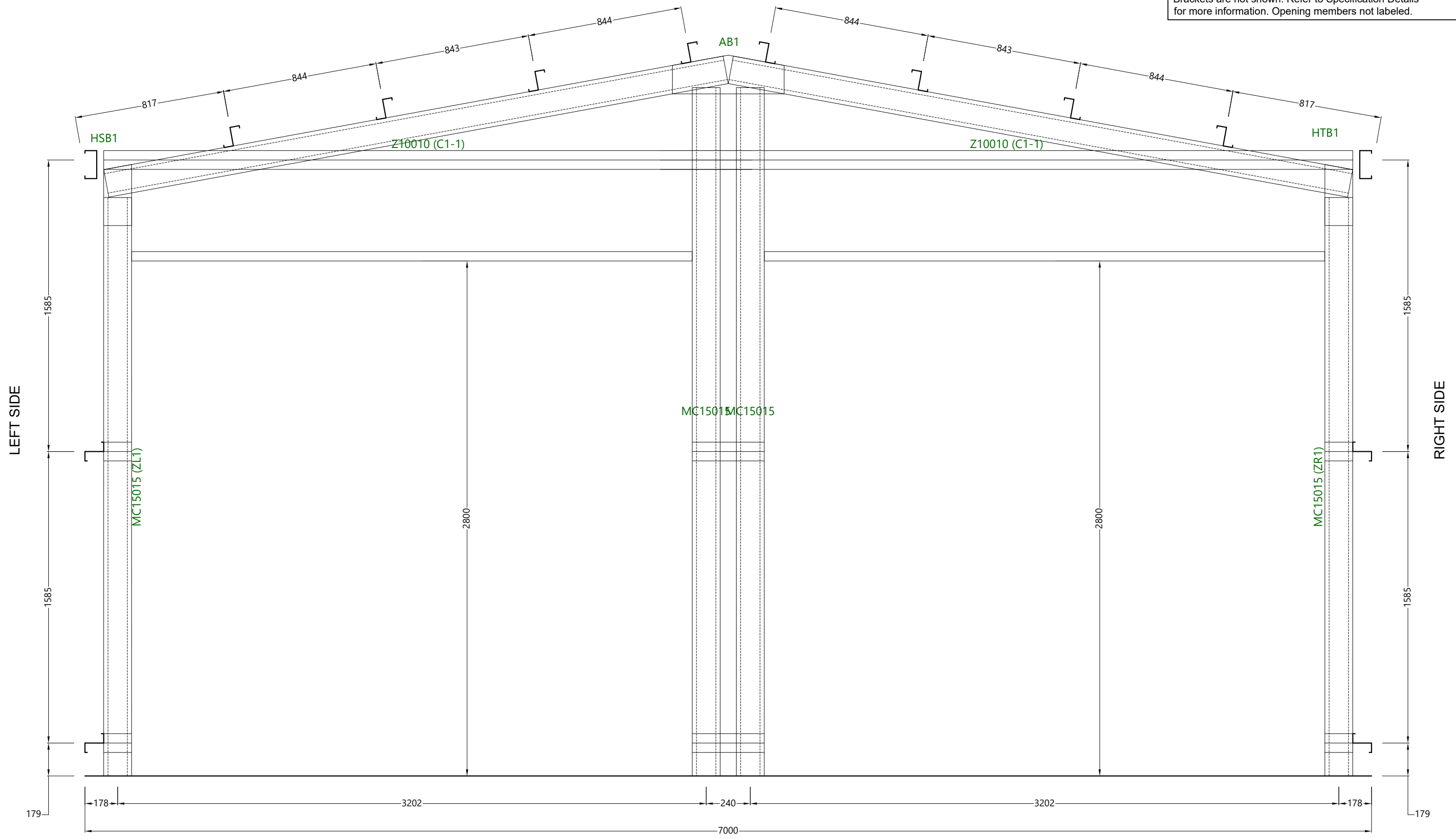
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LEFT END ELEVATION

Notes:
Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.



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Purlin and Girt Plan

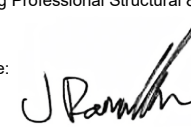
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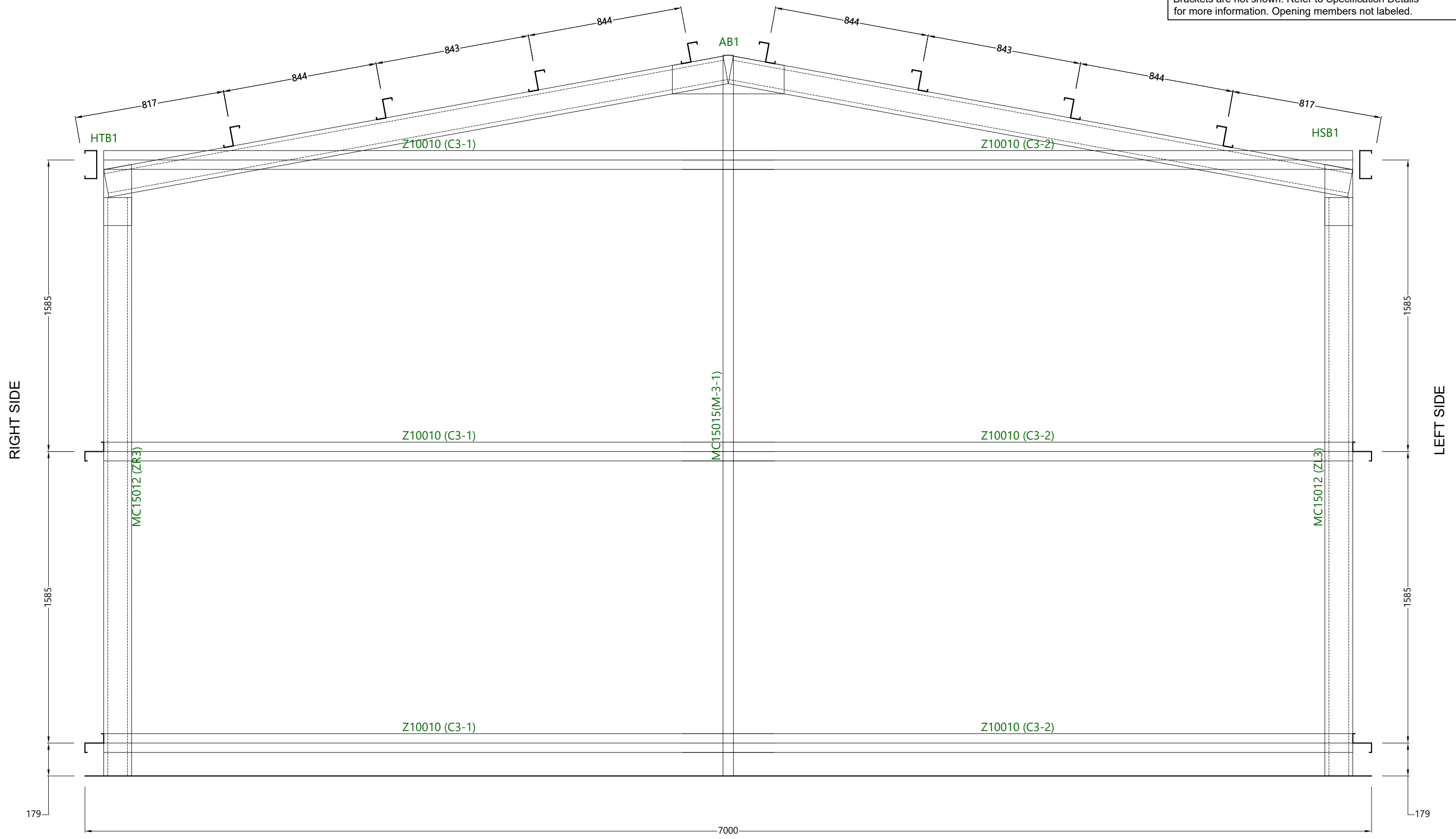
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RIGHT END ELEVATION

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Purlin and Girt Plan

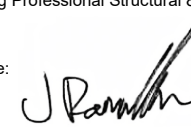
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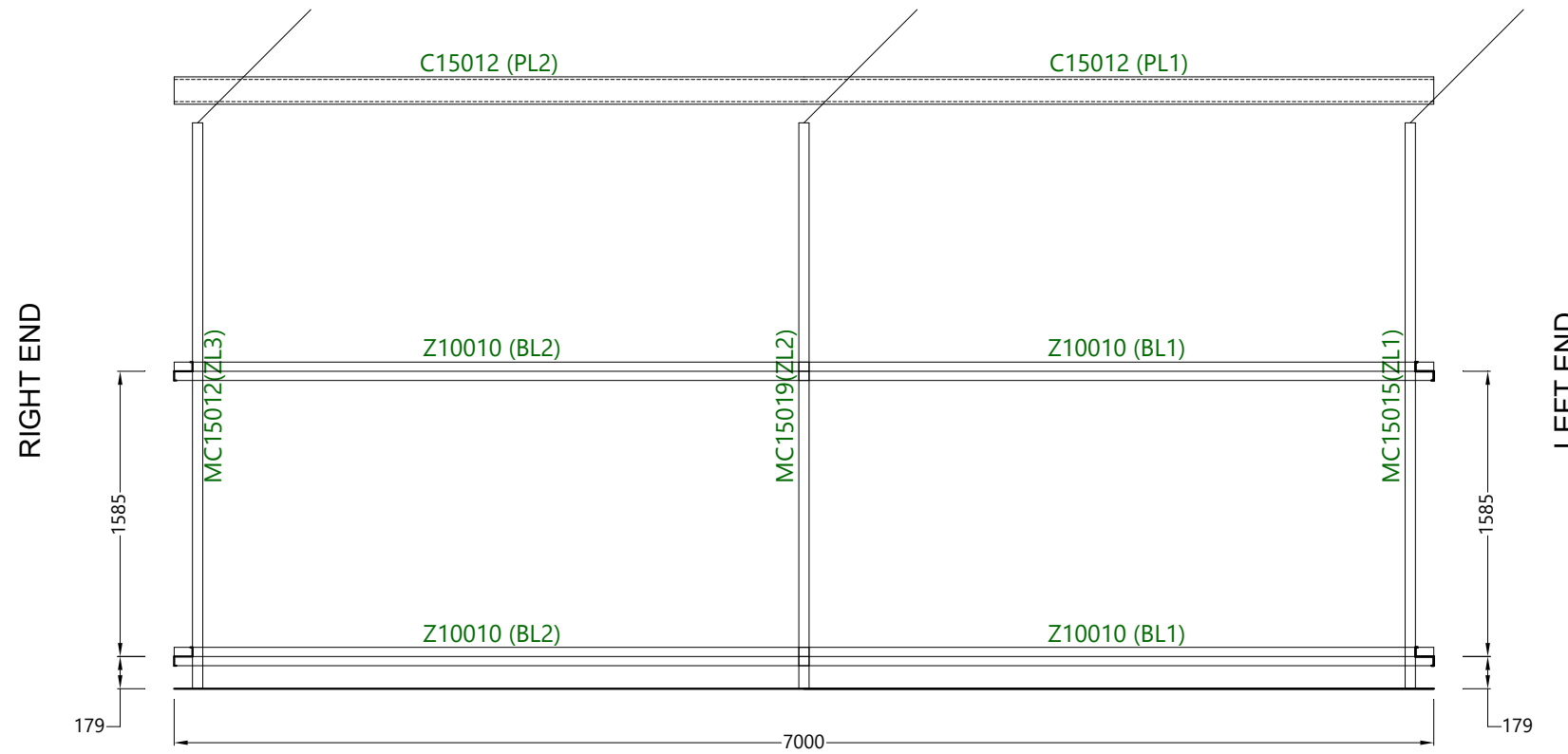
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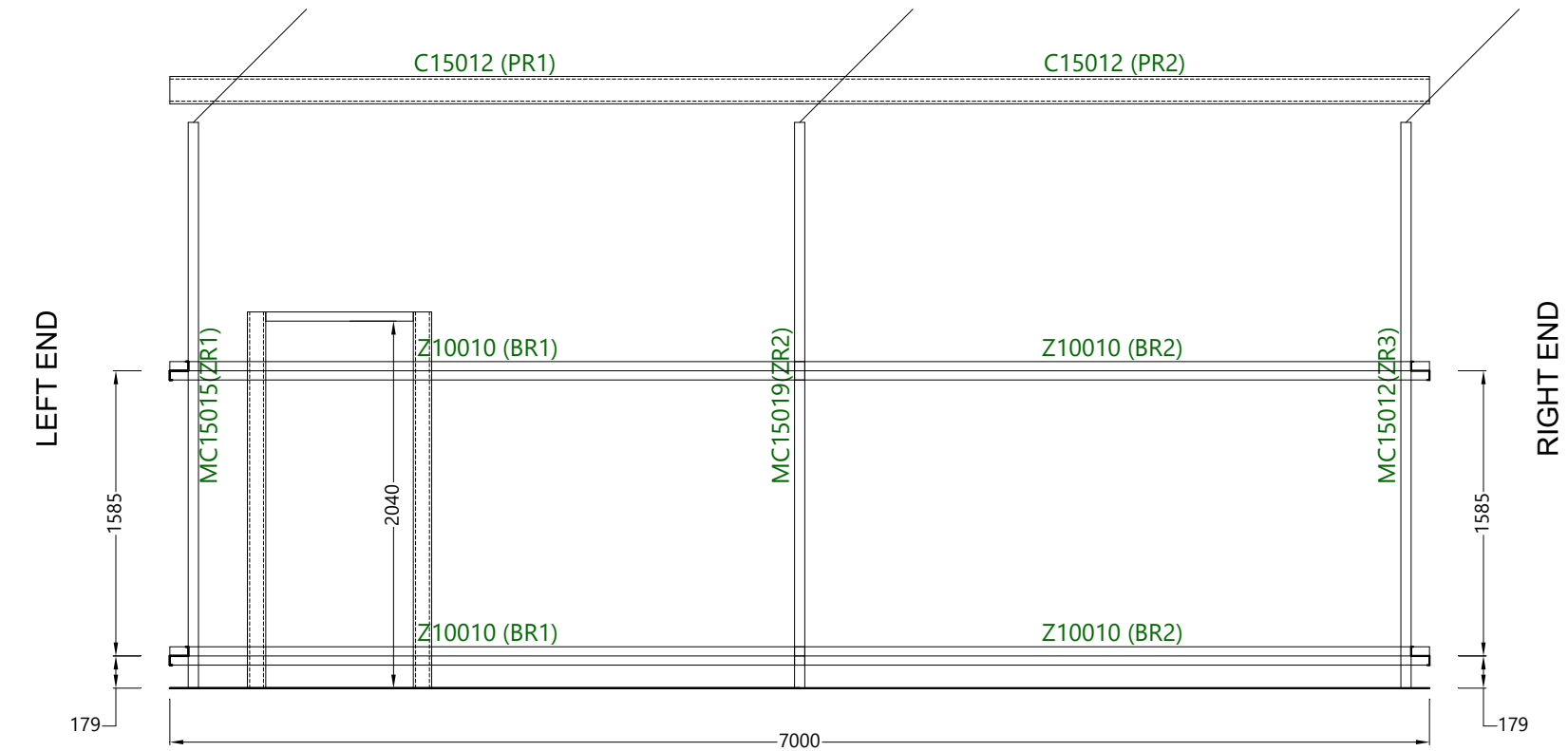
Signature:  John Ronaldson
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LEFT ELEVATION



Notes:
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RIGHT ELEVATION



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Signature:  John Ronaldson
 Date: 24/09/2025

GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- *Provision of Soils Report for the site and in the building area on which the building is to be erected
- *Site Plan and Drainage Plans
- *Any other plans not covered by these engineering plans requested by the local Council or the authority

RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

SLAB AND/OR PIER DETAILS - GENERAL

- * The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.* Where columns or end wall mullions have been removed, piers are not required.
- * End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.
- * Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10a building.
- * The footing designs have been calculated with cohesion values of 0kPa, 50kPa and 100kPa for dense sandy soils and clay soils only.
- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with AS 3600:2018
- * All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- * Concrete should be cured for 7 days before commencing construction of the building.

Concrete Slab

For Class A, S or M Sites

- * Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.
 - * Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15015 - 300mm dia x 375mm deep, centered to the C Section
- Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SL 72 mesh, 50mm from the base in all thickenings.

For Class H1 or H2 Sites

- * Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.
- * Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- * Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 4m.
- * Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15015 - 300mm dia x 500mm deep, centered to the C Section

Concrete Piers Only

For Class A, S or M Sites

- * Concrete piers under Roller Door Jambes to be a minimum size as below: MC15015 - 300mm dia x 750mm deep, centered to the C Section

For Class H1 or H2 Sites

- * Concrete piers under Roller Door Jambes to be a minimum size as below: MC15015 - 300mm dia x 1000mm deep, centered to the C Section

SHEETED PORTALS AND MULLIONS

All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

BRACING NOTES


- * Refer to Connection Details.
- * All Cross Bracing is achieved with 1.2 mm Strap G450.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
 - C150 - maximum 1800mm spacing
 - C200, C250 - maximum 2200mm spacing
 - C300 - maximum 2800mm spacing
 - C350 - maximum 2800mm spacing
 - C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

* The first fly brace is to be placed at the purlin/girt closest to the haunch or top of the mullion.* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

- * Unless otherwise nominated, all bolts are grade 4.6

Revision	Date	Initial	Purchaser Name: Karlie Fox		General Notes	Seller: The Shed Company Launceston Name: RDAM Heald Pty Ltd Phone: 03 9002 4272 Fax: Email: launceston@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers		
			Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia					Page 1 of 2 ©Copyright Steelx IP Pty Ltd	Signature:  John Ronaldson Date: 24/09/2025
			Drawing # TLAN250043 - 2	Print Date: 24/09/2025					

* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

ROLLER DOORS


All Roller doors are NOT wind rated. All comments regarding roller doors are referenced from inside the building looking out.

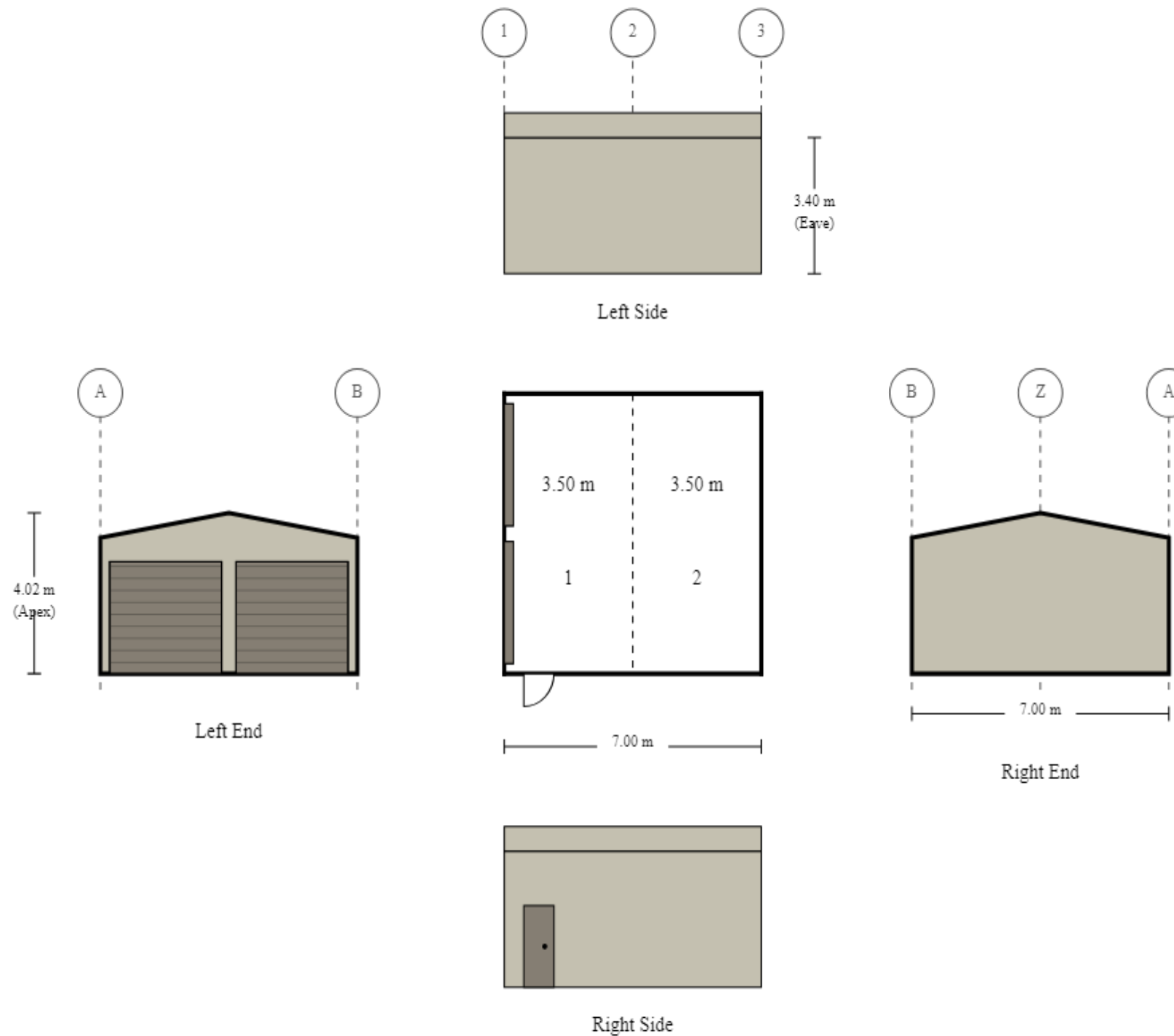
OTHER MATERIALS NOTES

- * All Sheeting, Flashing and framing screws are Climaseal 3.
- * All purlin material has Z350 zinc coating with minimum strength of 450MPa.

SOLAR PANELS

- * The building has been engineered for the panels to be placed on both sides of the main building.
- * Refer to Solar Panel Connection Detail drawing.

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			Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia				
			Drawing # TLAN250043 - 2	Print Date: 24/09/2025			



Purchaser Name: Karlie Fox

Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia

Drawing # TLAN250043 - 3

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Layout
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Signature:  Date: John Ronaldson
Date: 24/09/2025

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	7	7	10°	3.4	A - B	1 - 3

Portal Frame Elements


Grid / Portal Number		1	2	3
Columns	A	MC15015	MC15019	MC15012
	B	MC15015	MC15019	MC15012
Rafters	A - Apex	MC15012	MC15019	MC15012
	Apex - B	MC15012	MC15019	MC15012
End Wall Mullions	Z	-	-	MC15015

Bay Section Elements

Bay Number		1	2
Bay Widths		3.5	3.5
Roof Purlins (refer to Purlin And Girt Plan)		Z100	Z100
Roof Purlin Spacing (End)	A - Apex	0.844	0.844
	Apex - B	0.844	0.844
Roof Purlin Spacing (Internal Spans)	A - Apex	0.844	0.844
	Apex - B	0.844	0.844
Eave Purlin	A	C15012	C15012
	B	C15012	C15012
Side Girts (refer to Purlin And Girt Plan)		Z100	Z100
Side Girts Spacing (End)	A	1.585	1.585
	B	1.585	1.585
Side Girts Spacing (Internal)	A	1.585	1.585
	B	1.585	1.585
PA Door Header	B	C10010	-
PA Door Jambs	B	C10012	-

End Bay Section Elements

Grid / Portal Number		1	3
End Girts (refer to Purlin And Girt Plan)		Z100	Z100
End Girts Spacing (End)	A - B	1.585	-
	A - Z	-	1.585
	Z - B	-	1.585
End Girts Spacing (Internal)	A - B	1.585	-
	A - Z	-	1.585
	Z - B	-	1.585
Roller Door Header	A - B	HEADER2	-
	A - Z	-	-
	Z - B	-	-
Roller Door Jambs	A - B	MC15015	-
	A - Z	-	-
	Z - B	-	-

Revision	Date	Initial			Material Specification Sheet	Seller: The Shed Company Launceston Name: RDAM Heald Pty Ltd Phone: 03 9002 4272 Fax: Email: launceston@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
			Purchaser Name: Karlie Fox				
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MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Roller Door

Location - Side & Bay Number	LeftEnd 1	LeftEnd 1
Roller Door Size	2.8x3.05	2.8x3.05
Roller Door Header	HEADER2	HEADER2
Roller Door Jambs	MC15015	MC15015
Roller Door Clip Config	0 clip	0 clip
Roller Door Manufacturer	TAUREAN	TAUREAN

PA Door

Location - Side & Bay Number	RightSide 1
PA Door Header	C10010
PA Door Jambs	C10012
PA Door	2.040 x 0.820 - Larnec Shed Door - 4 Sided Frame - Single Skin - Pre-Hung - swing as per plan
PA Door Manufacturer	LARNEC

Cladding Elements


Category	Colour	Product
Roof Sheeting	EveningHaze	CORODEK® 0.42 BMT
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	EveningHaze	TRIMCLAD® 0.42 BMT
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

Pier Sizes

Cohesion	Soil Description	Diameter	Depth - with Slab			Min Depth for Reo (2)
			BP1	BP2	Reinforcement (1)	
0kPa	Sandy Soil	0.3	0.45	0.7	4-N12	1.2
		0.45	0.45	0.6	4-N12	1.2
		0.6	0.45	0.5	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	0.7	0.7	4-N12	1
		0.45	0.7	0.7	4-N12	1.2
		0.6	0.7	0.7	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	0.7	0.7	4-N12	0.9
		0.45	0.7	0.7	4-N12	1.2
		0.6	0.7	0.7	4-N16	1.2
		Embedment Depth	0	0	N/A	N/A

Note 1
 For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
 Minimum side cover 75mm, maximum 100mm.
 Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
 No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Revision	Date	Initial	Purchaser Name: Karlie Fox	Material Specification Sheet Page 2 of 3 ©Copyright Steelx IP Pty Ltd	Seller: The Shed Company Launceston Name: RDAM Heald Pty Ltd Phone: 03 9002 4272 Fax: Email: launceston@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 24/09/2025
			Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia			
			Drawing # TLAN250043 - 4			
			Print Date: 24/09/2025			

MATERIAL SPECIFICATIONS


For further information regarding the tabulated values shown, refer to the General Notes

Pier Sizes

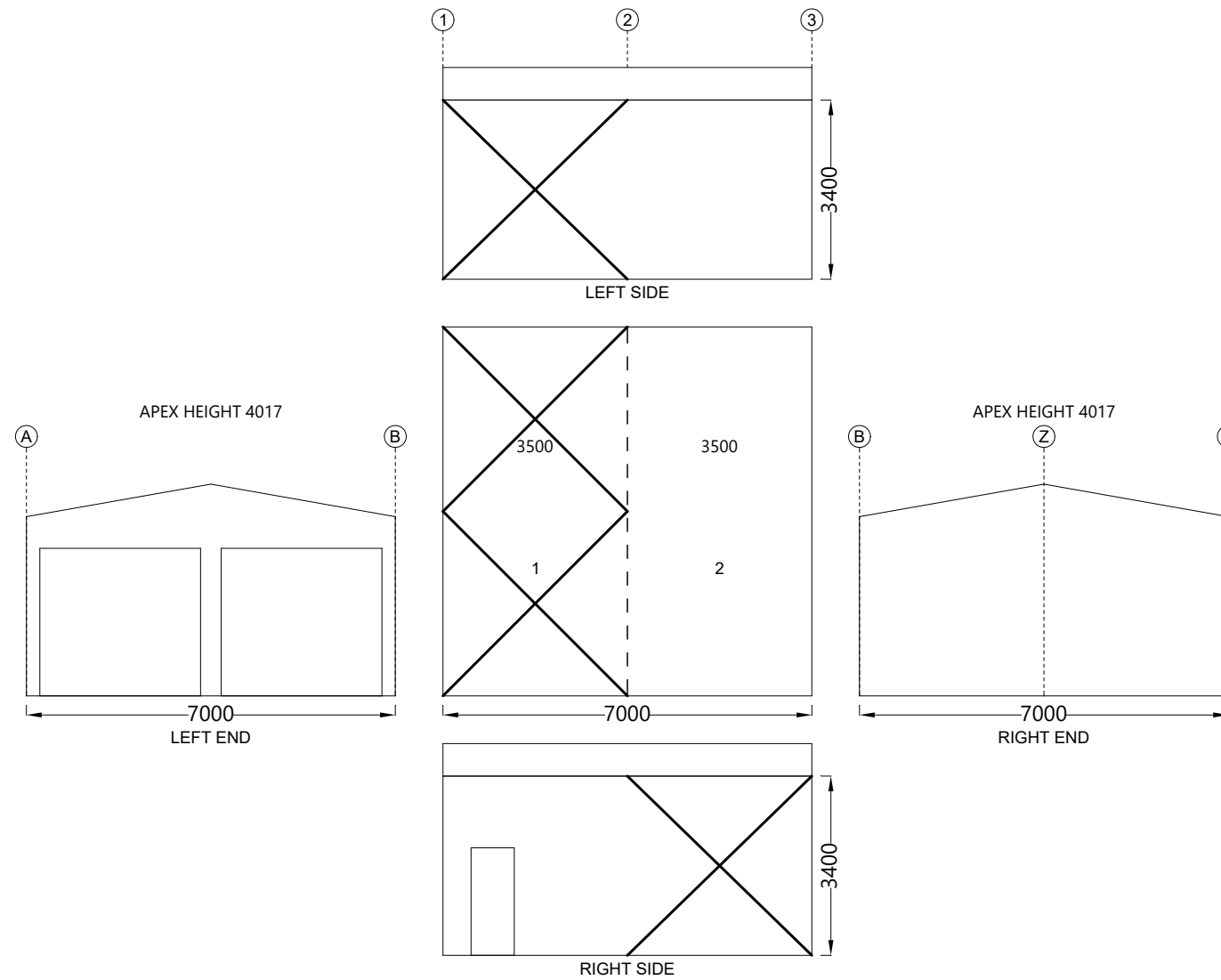
Cohesion	Soil Description	Diameter	Depth - when NO Slab		Reinforcement (1)	Min Depth for Reo (2)
			BP1	BP2		
0kPa	Sandy Soil	0.3	1.1	1.5	4-N12	1.2
		0.45	0.8	1.2	4-N12	1.2
		0.6	0.6	0.9	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	1.3	1.5	4-N12	0.7
		0.45	1.3	1.5	4-N12	1
		0.6	1.3	1.5	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	1.2	1.3	4-N12	0.6
		0.45	1.2	1.3	4-N12	0.9
		0.6	1.2	1.3	4-N16	1
		Embedment Depth	0	0	N/A	N/A

Note 1
 For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
 Minimum side cover 75mm, maximum 100mm.
 Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
 No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

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Cross Bracing is achieved with 1.2 mm Strap. Refer to Connection Details.



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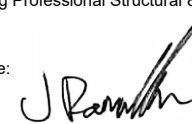
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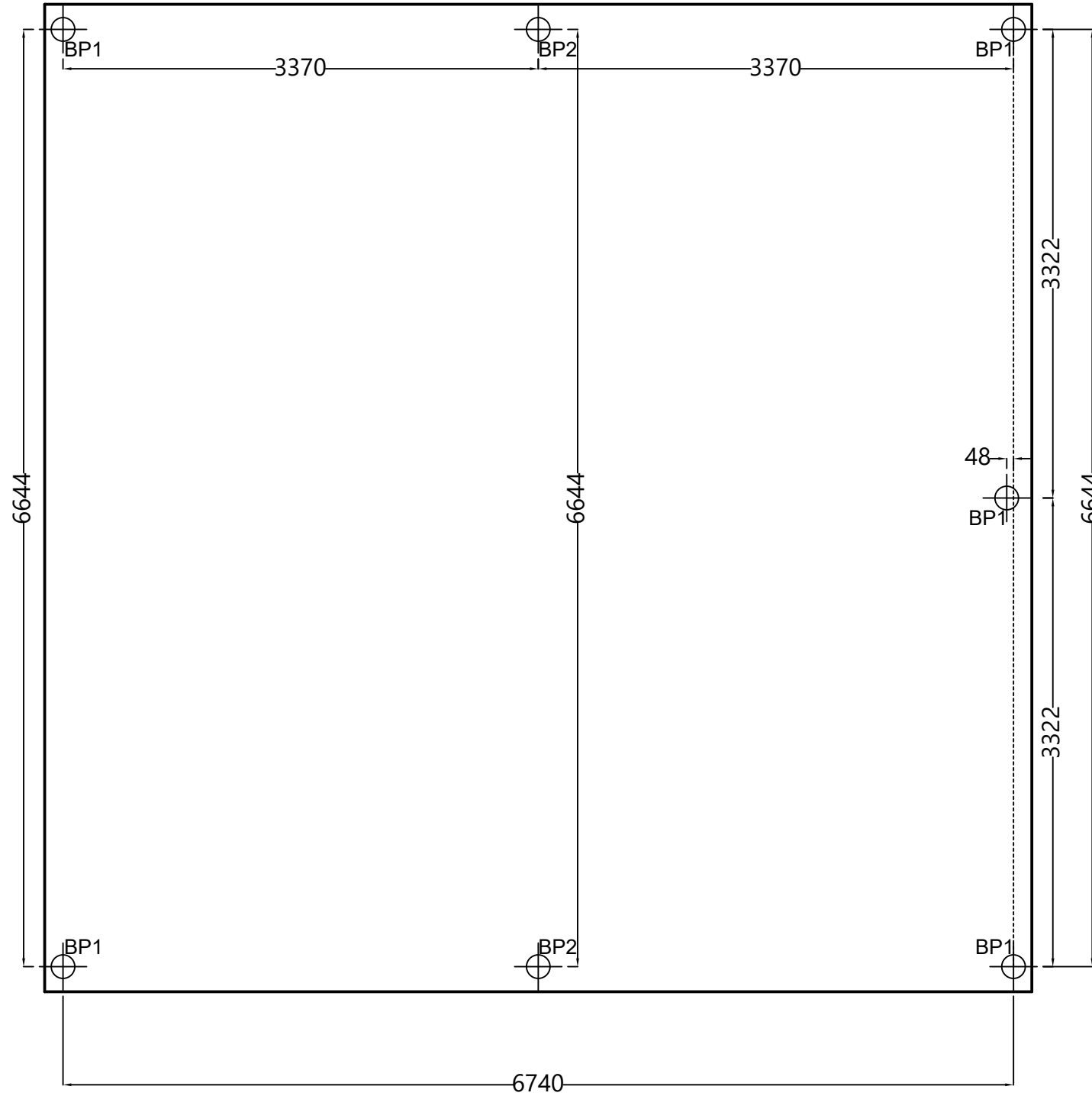
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Concrete Piers (Slab)
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specification Sheet(s) for the Pier Sizes.




Revision	Date	Initial		
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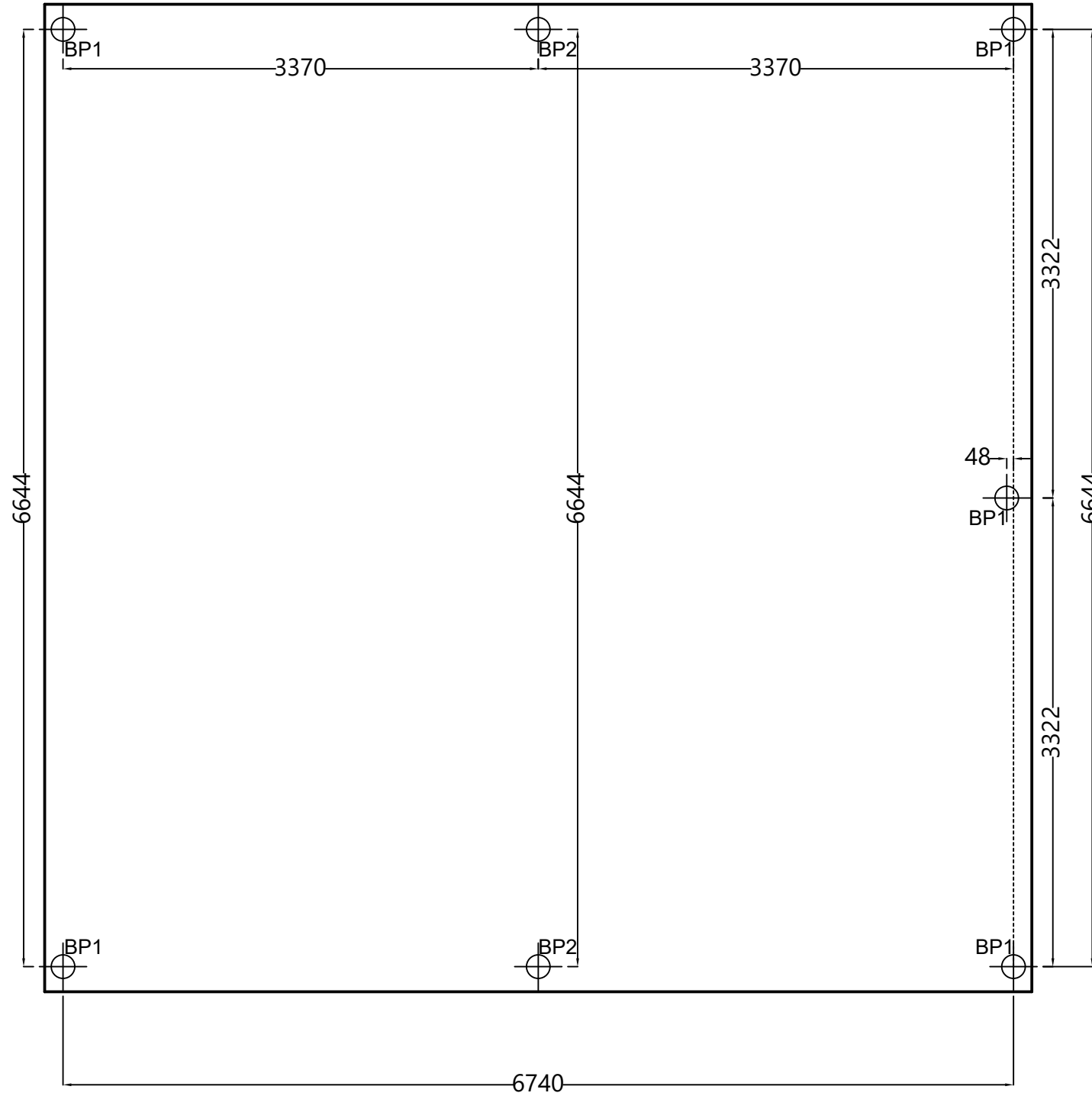
Concrete Piers (Slab)
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Concrete Piers (NO Slab)
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specification Sheet(s) for the Pier Sizes.




Revision	Date	Initial		
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			Drawing # TLAN250043 - 6	Print Date: 24/09/2025

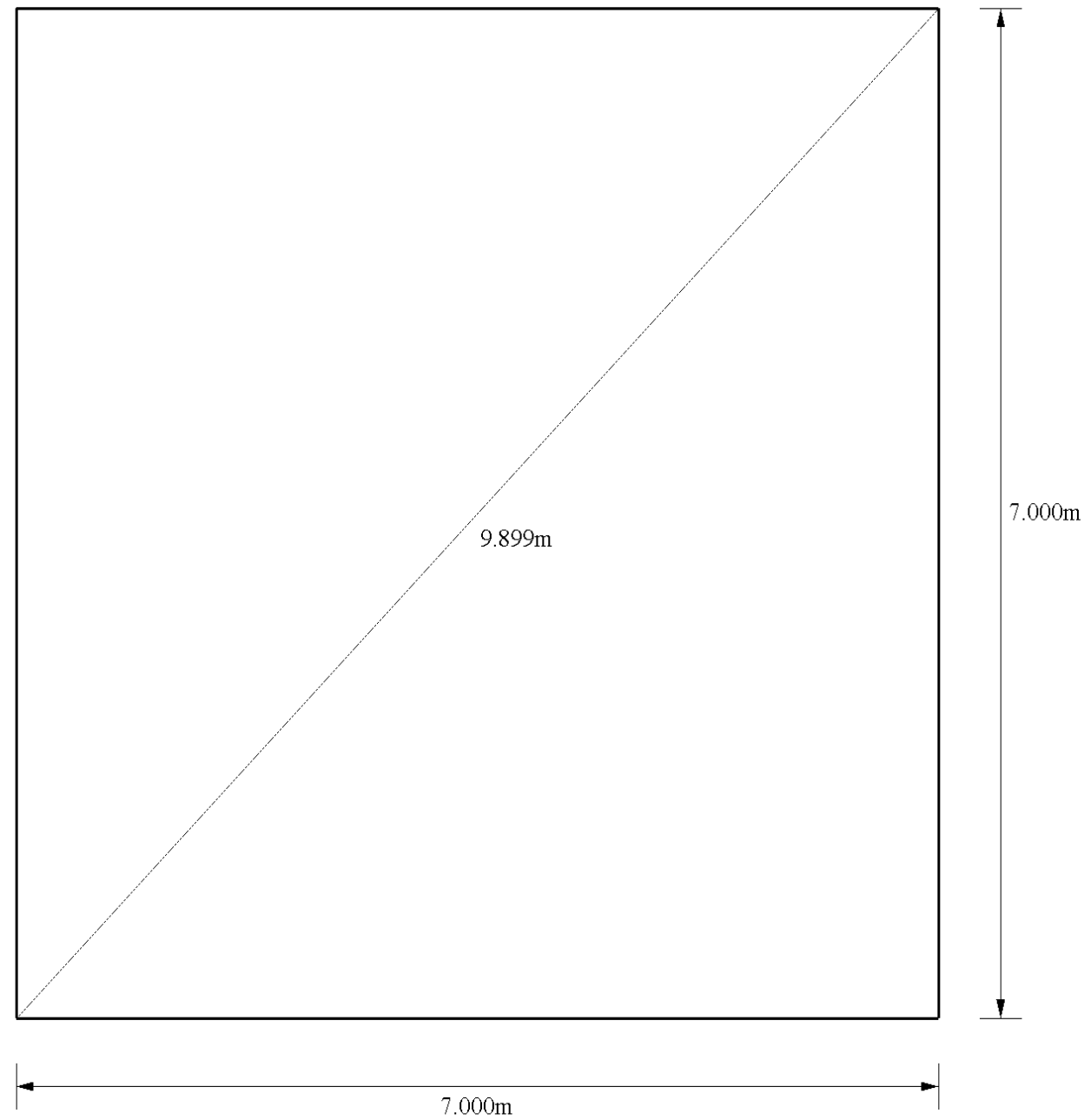
Concrete Piers (NO Slab)
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These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Karlie Fox

Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia

Drawing # TLAN250043 - 7

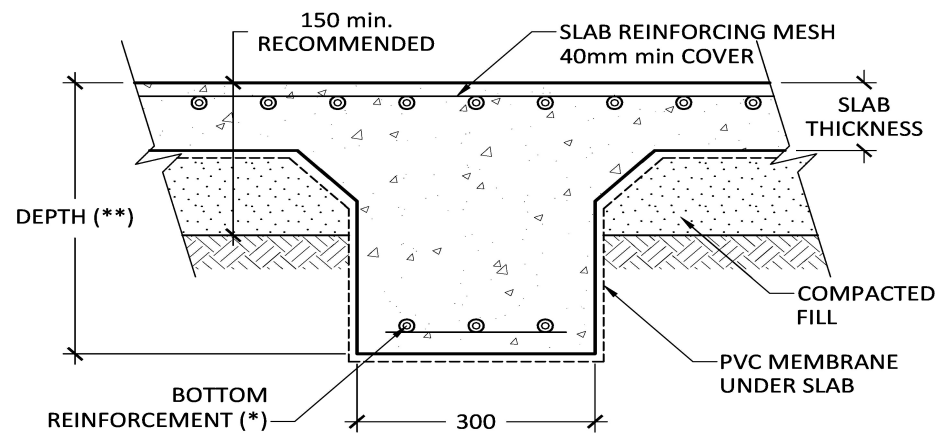
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Slab Dimensions
Also refer to Concrete Piers Plan
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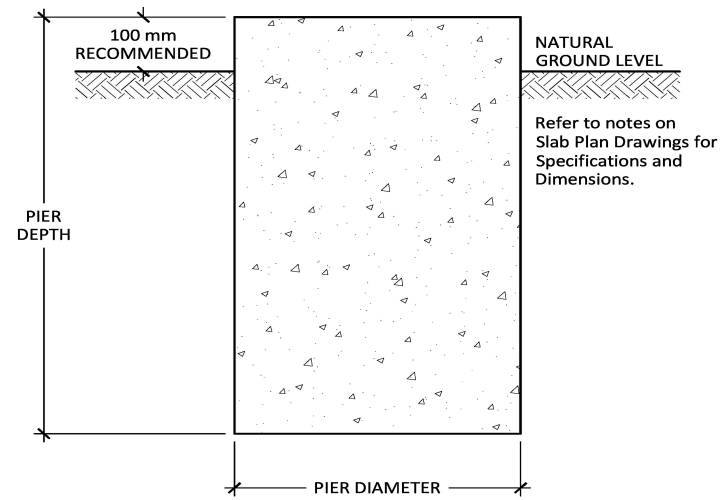
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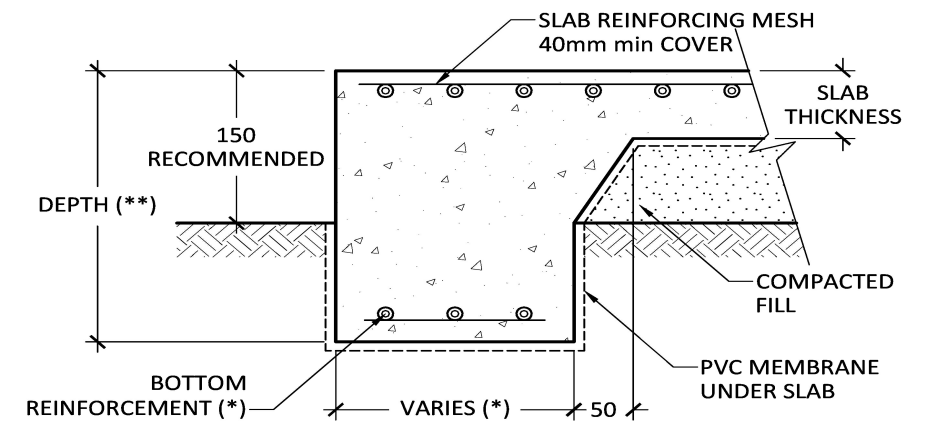


(**) REFER TO GENERAL NOTES FOR DEPTHS
(*) REFER TO GENERAL NOTES FOR SPECIFICATION

INTERNAL BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)

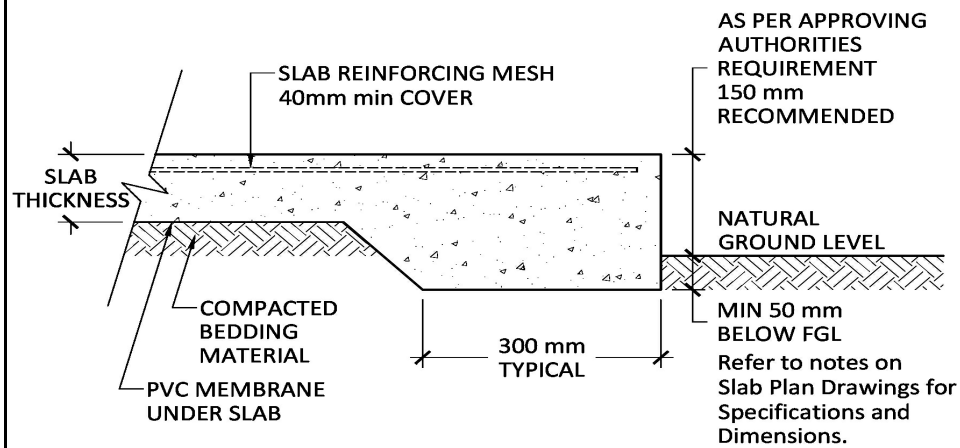


BORED PIER

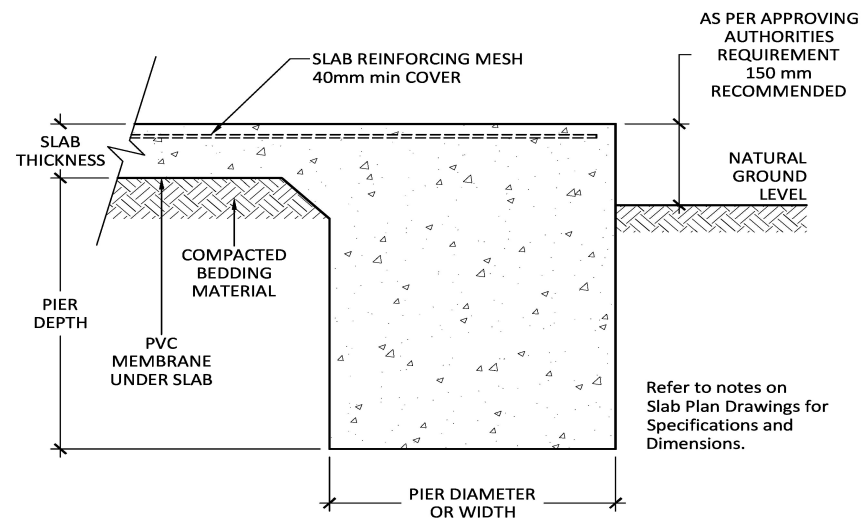


(**) REFER TO GENERAL NOTES FOR DEPTHS
(*) REFER TO GENERAL NOTES FOR SPECIFICATION

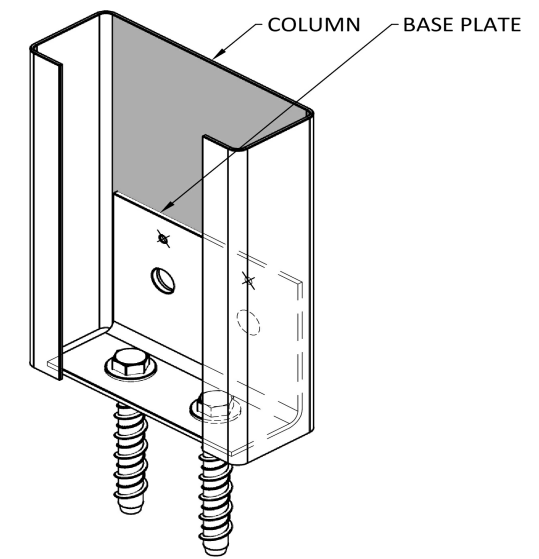
PERIMETER BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)



SLAB PERIMETER THICKENING BETWEEN PIER
A, S & M SOIL TYPES



SLAB AND PIER DETAIL



FIXING BOLTS - 2 of M12 x 100 SCREWBOLTS
○ FIXING BOLTS - 2 of M12 x 30 Galv.
× FIXING SCREWS - 2 of 14.20 x 22

C150 MULLION BASE PLATE (B)

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Drawing # TLAN250043 - 8

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Connection Details

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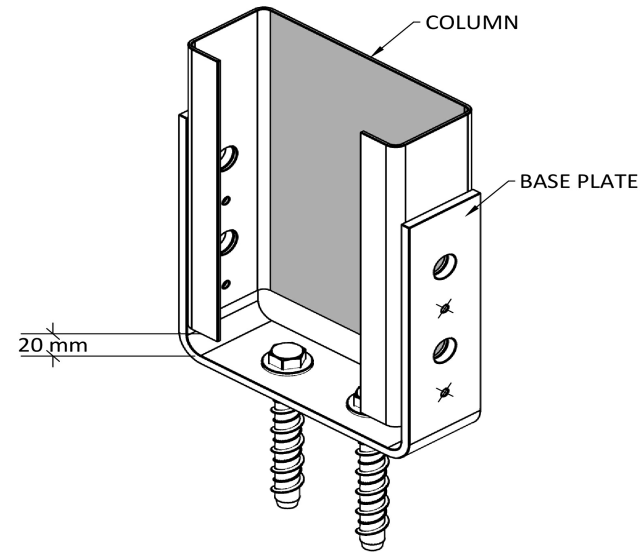
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Email: launceston@theshedcompany.com.au

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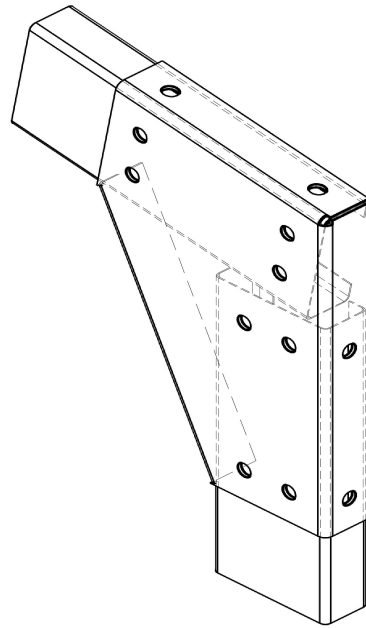
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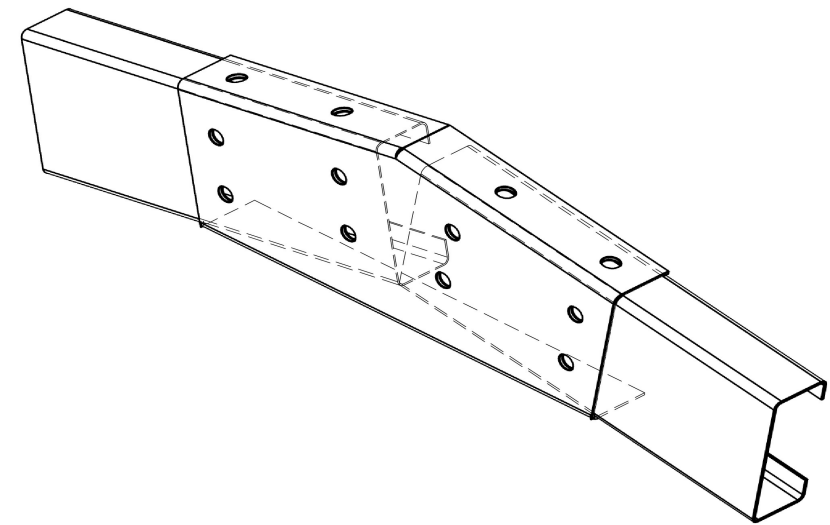
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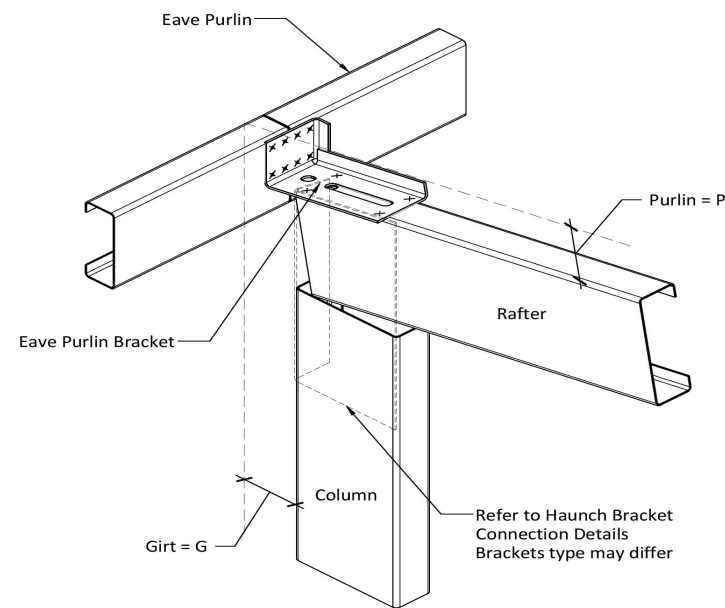
FIXING BOLTS - 2 of M12 x 100 SCREWBOLT
 ○ FIXING BOLTS - 4 of M12 x 30 Galv.
 × FIXING SCREWS - 4 of 12.24 x 38 Series 500
C150 COLUMN FIXING (BF)



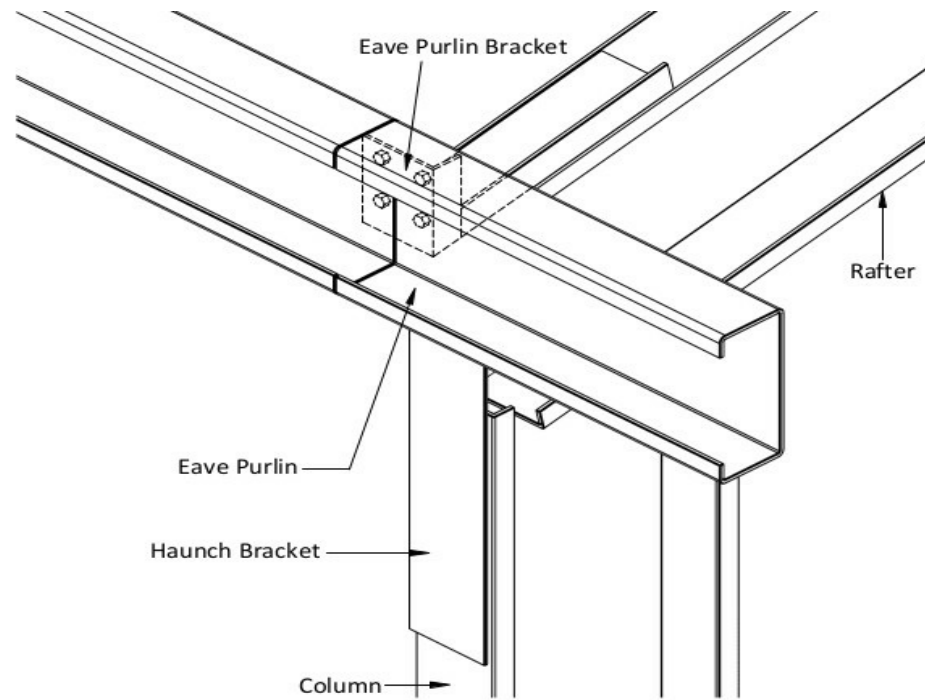
○ FIXING BOLTS - 12 of M12 x 30 (8.8)
KNEE HAUNCH BRACKET (HS&HT) - C150, 10°



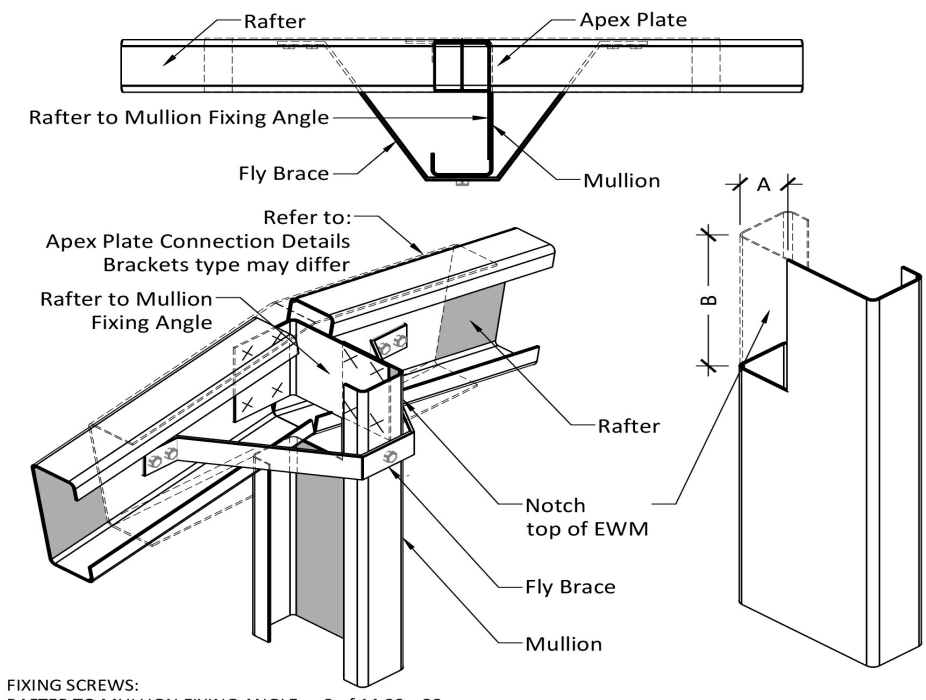
○ FIXING BOLTS - 12 of M12 x 30 (8.8)
APEX PLATE (A) - C150, 10°



* P/G - Z100 - TH120 - Z150
 ○ FIXING BOLTS - 1 of M12 x 30
 × FIXING SCREWS - 12 of 14.20 x 22
EAVE PURLIN BRACKET TO RAFTER



FIXING SCREWS - 4 of 14.20 x 22
EAVE PURLIN TO EAVE PURLIN BRACKET



FIXING SCREWS:
 RAFTER TO MULLION FIXING ANGLE - 8 of 14.20 x 22
 FLY BRACE - 5 of 14.20 x 22
END WALL MULLION TO APEX

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Drawing # TLAN250043 - 8

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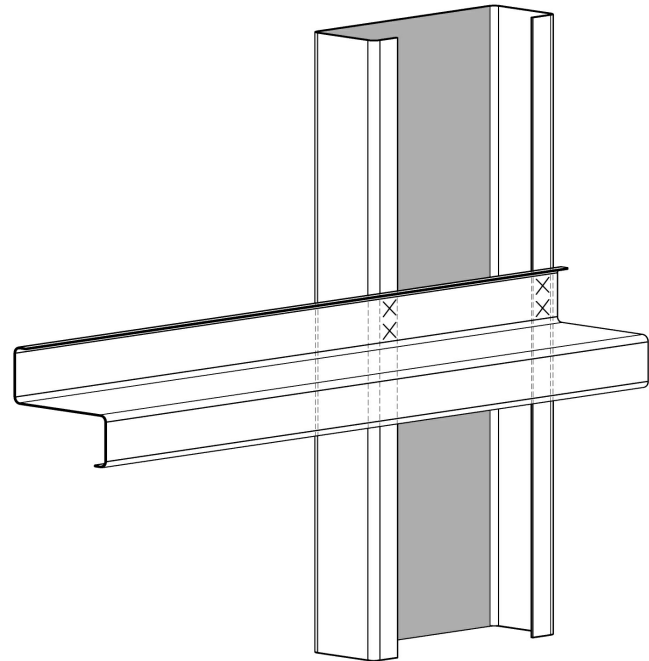
Connection Details

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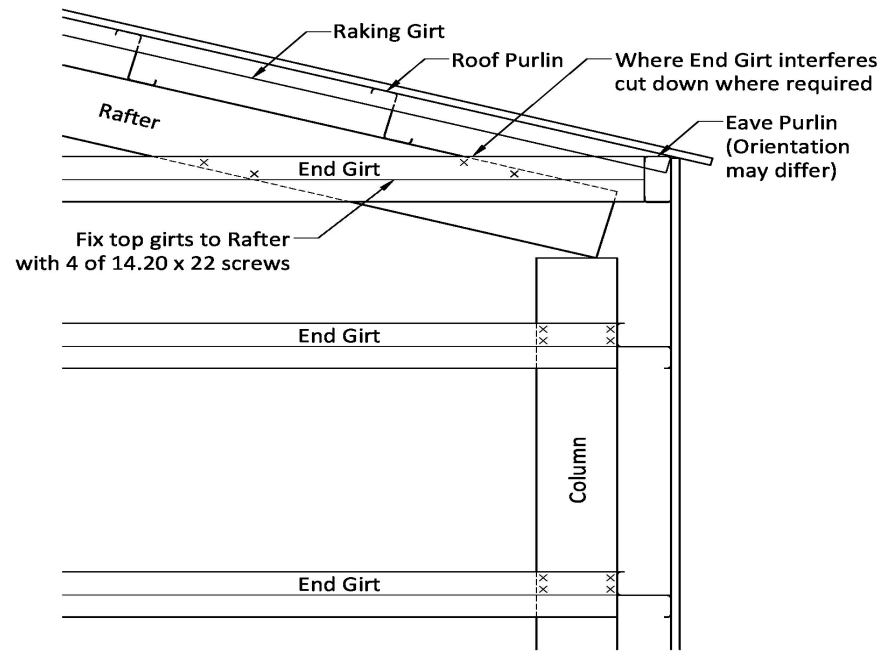
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Signature: *J. Ronaldson* Date: John Ronaldson
 Date: 24/09/2025



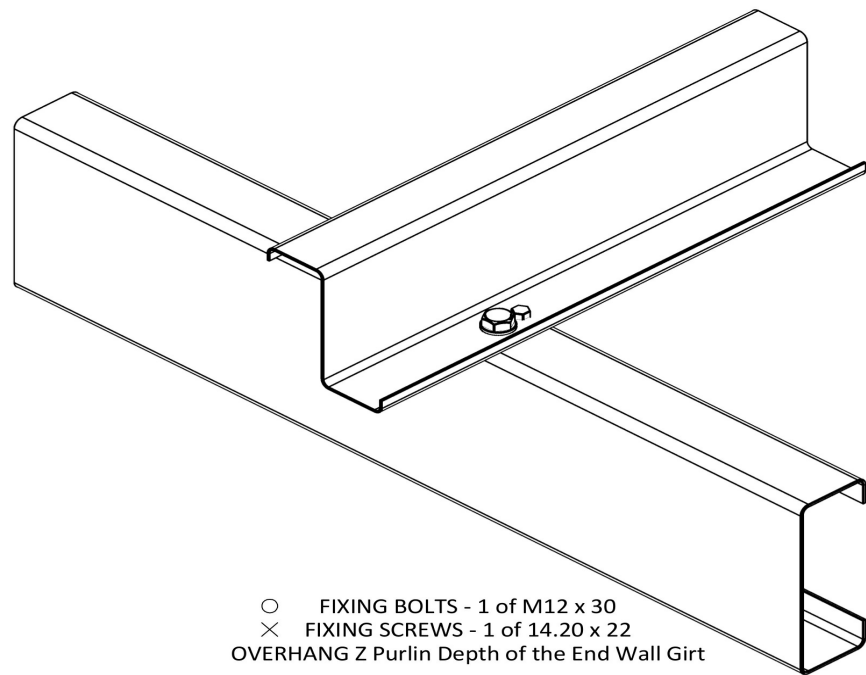
× FIXING SCREWS - 4 of 14.20 x 22
GIRT FIXING - Z



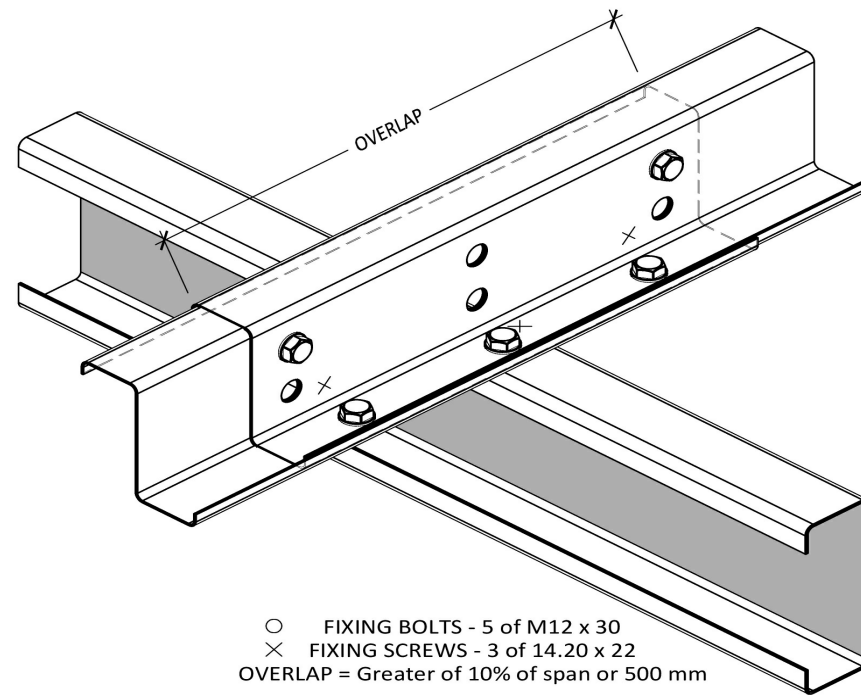
GABLE END TOP END GIRT FIXING - Z



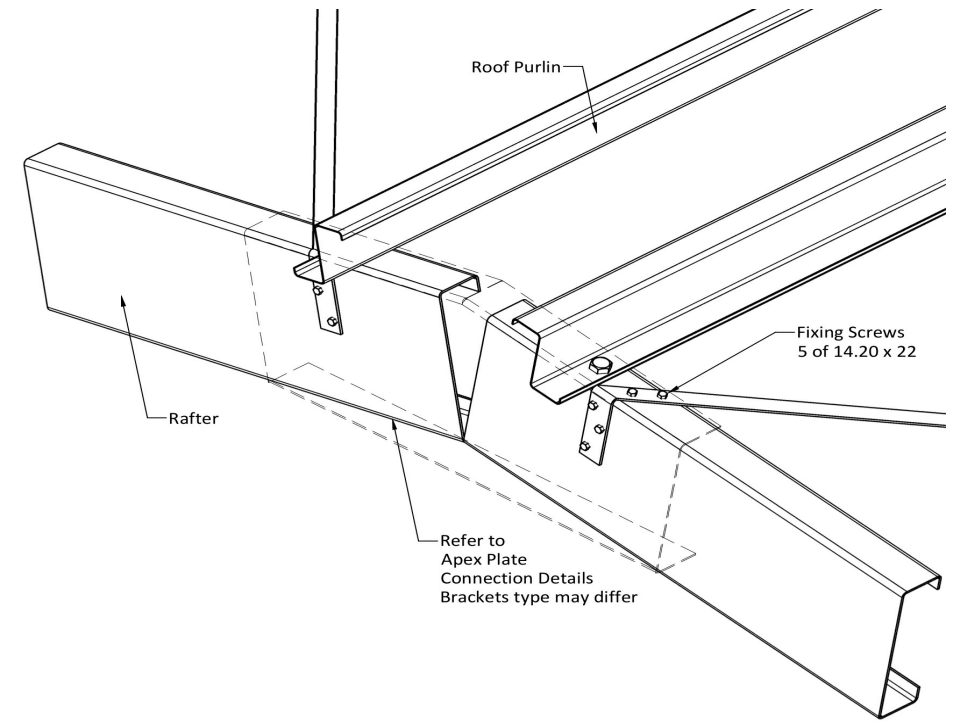
× FIXING SCREWS - 4 of 14.20 x 22
GIRT FIXING TO RAFTER - Z



○ FIXING BOLTS - 1 of M12 x 30
 × FIXING SCREWS - 1 of 14.20 x 22
 OVERHANG Z Purlin Depth of the End Wall Girt
**PURLIN & SIDE GIRT END WALL FIXING
 Z PURLIN - SINGLE COLUMN OR RAFTER**



○ FIXING BOLTS - 5 of M12 x 30
 × FIXING SCREWS - 3 of 14.20 x 22
 OVERLAP = Greater of 10% of span or 500 mm
**PURLIN/GIRT FIXING
 SINGLE C SECTION COLUMNS OR RAFTERS**



BRACING CONNECTION AT APEX

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Connection Details

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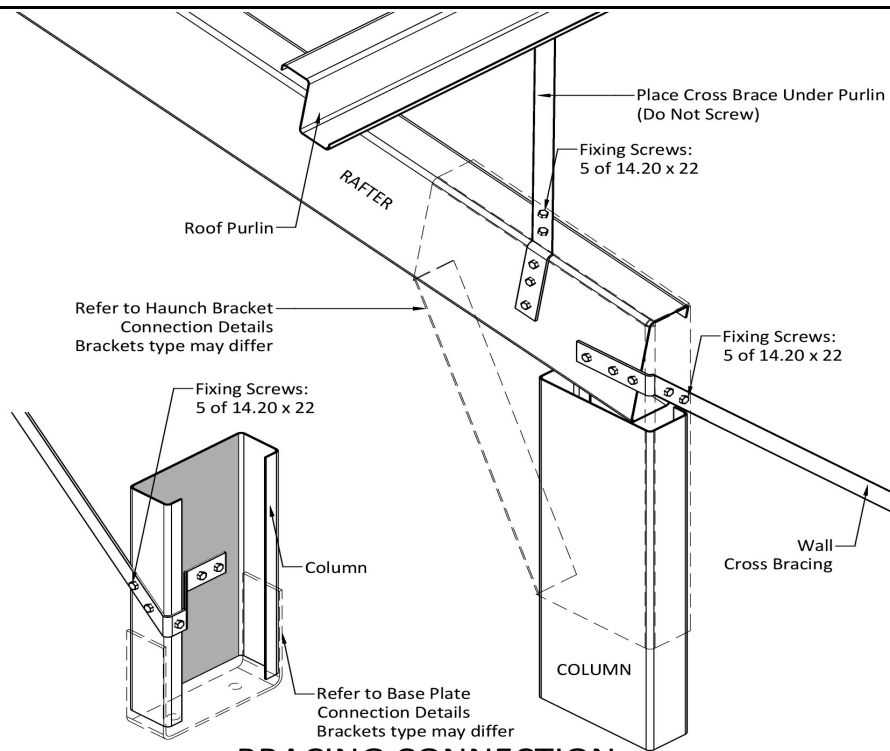
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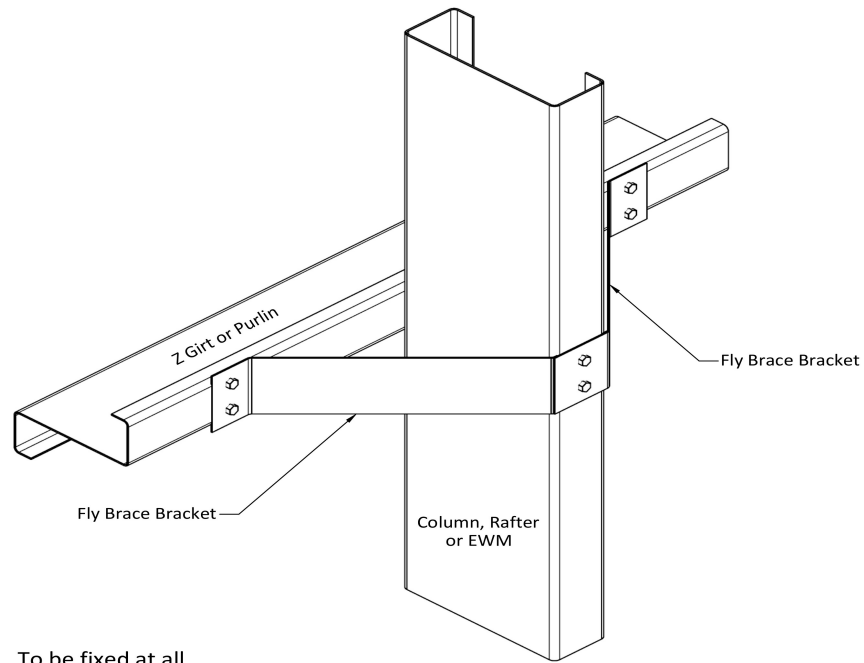
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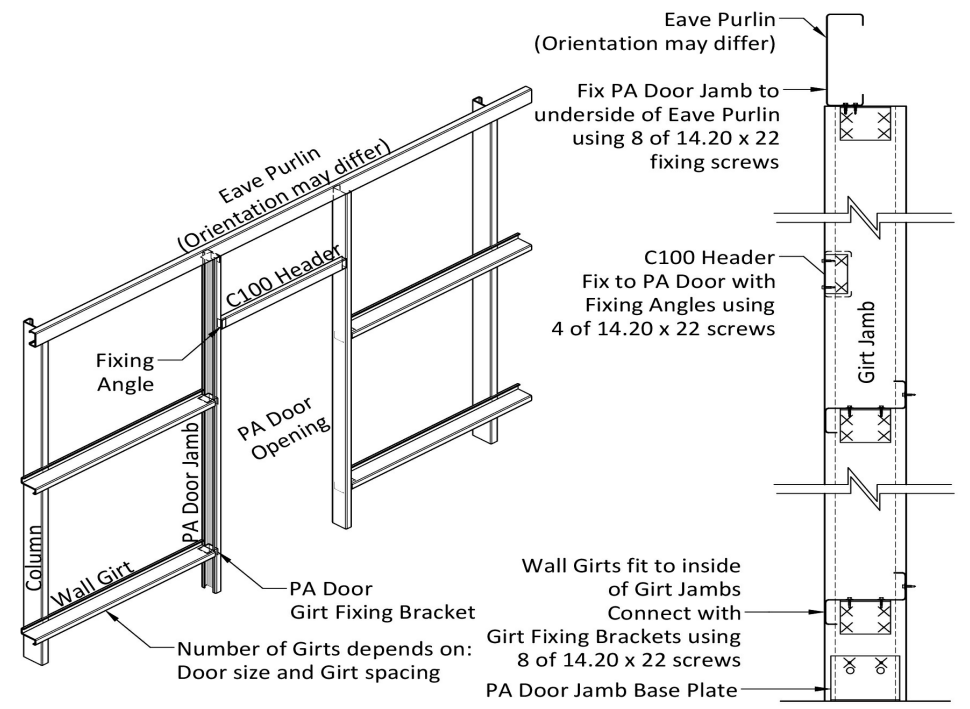
Date: 24/09/2025



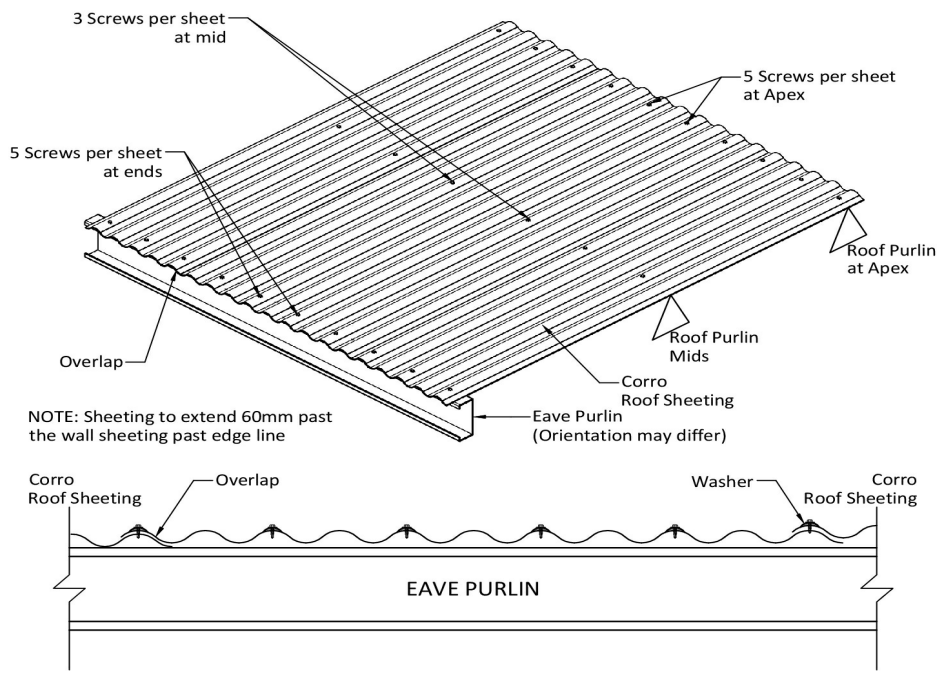
BRACING CONNECTION



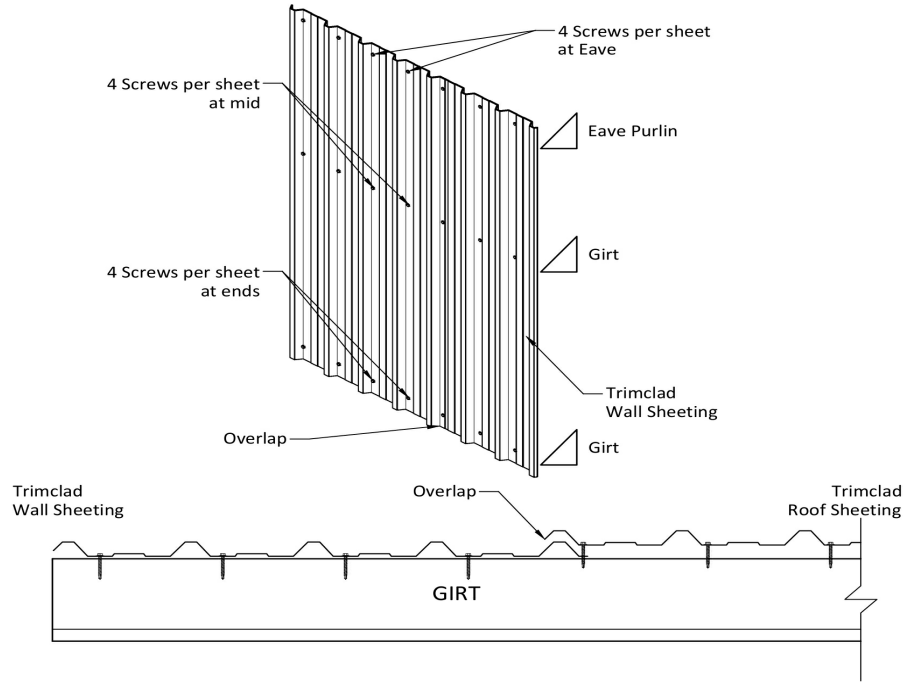
To be fixed at all Columns, Rafters & EWM where possible
FIXING SCREWS - 6 of 14.20 x 22
FLY BRACING BRACKET



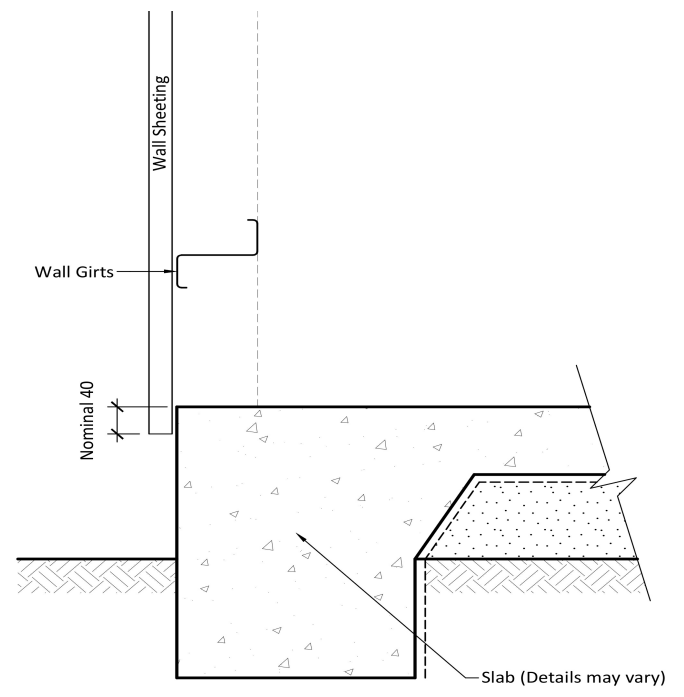
PA DOOR (PRE HUNG) CONNECTION DETAIL
 Note: Top of Door 2100 above GL



Roofing Screws - 12.14 x 42 Hex Seal High Grip
CORRO ROOF SHEET FIXING



Wall Screws - 10.16 x 16 Hex
WALL SHEETING CONNECTION DETAILS



WALL SHEET OVERHANG DETAIL

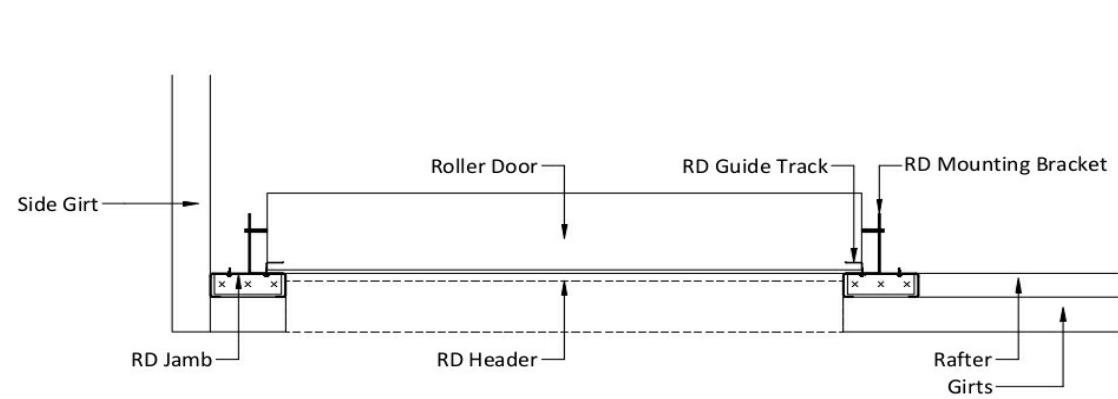
Purchaser Name: Karlie Fox	
Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia	
Drawing # TLAN250043 - 8	Print Date: 24/09/2025

Connection Details
 Not to Scale
 Page 4 of 6
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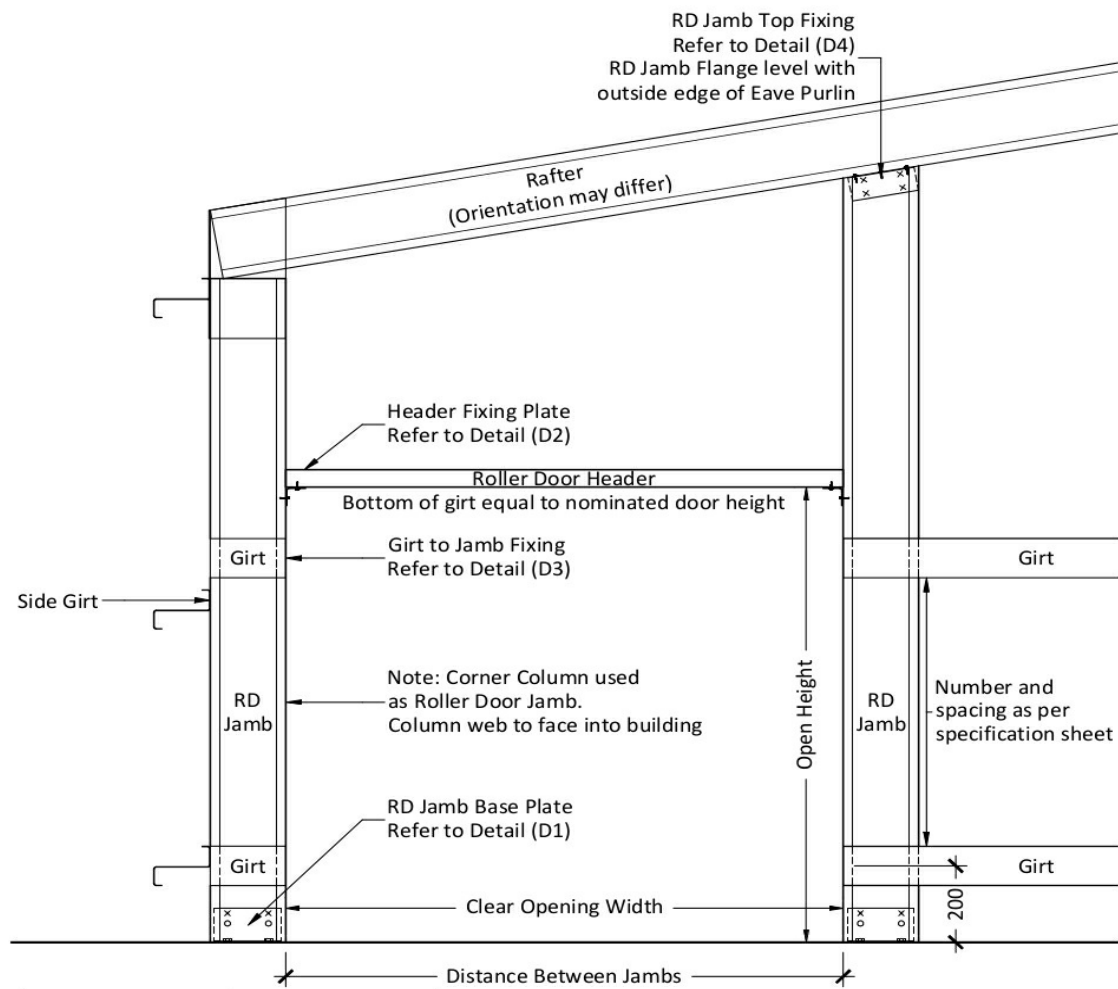
Seller: The Shed Company Launceston
 RDAM Heald Pty Ltd
 Phone: 03 9002 4272
 Fax
 Email: launceston@theshedcompany.com.au

Apex Engineering Group PTY LTD
 ACN 632 588 562
 ME Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
 Practising Professional Structural & Civil Engineers

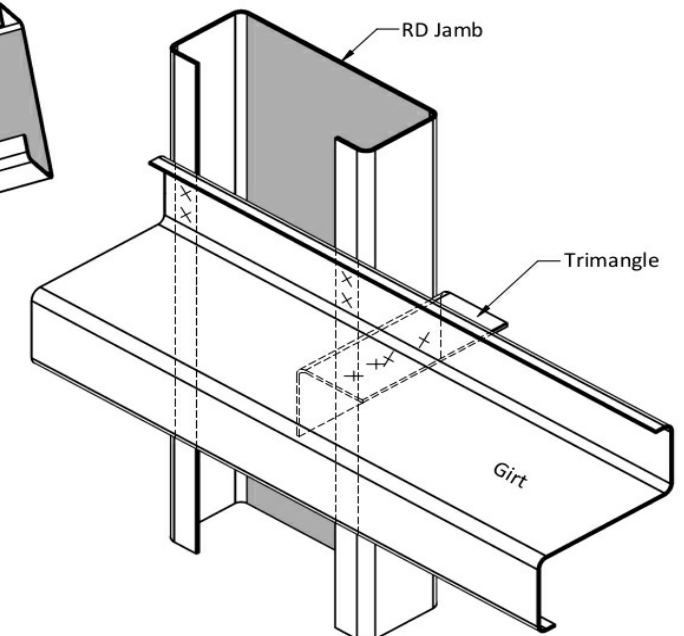
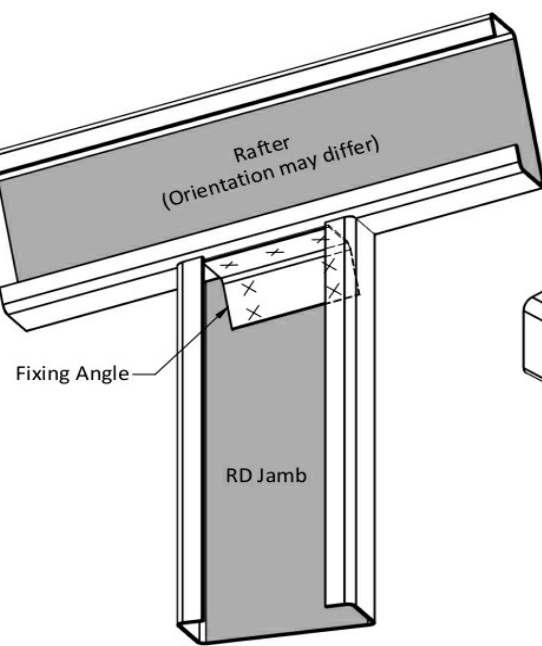
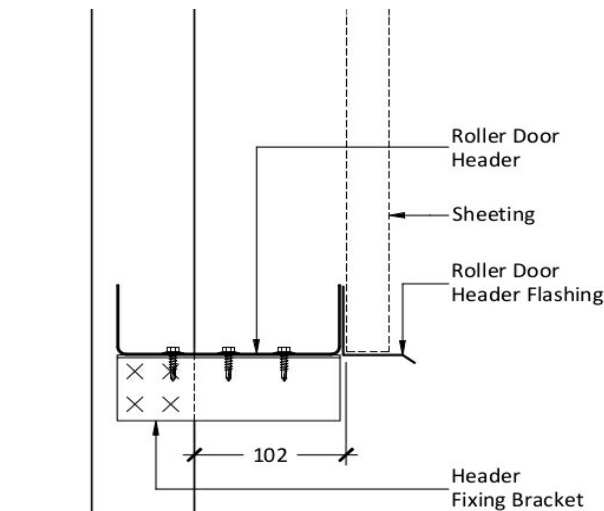
Signature: *J. Ronaldson* Date: John Ronaldson
 Date: 24/09/2025



RD Jamb Top Fixing
Refer to Detail (D4)
RD Jamb Flange level with
outside edge of Eave Purlin

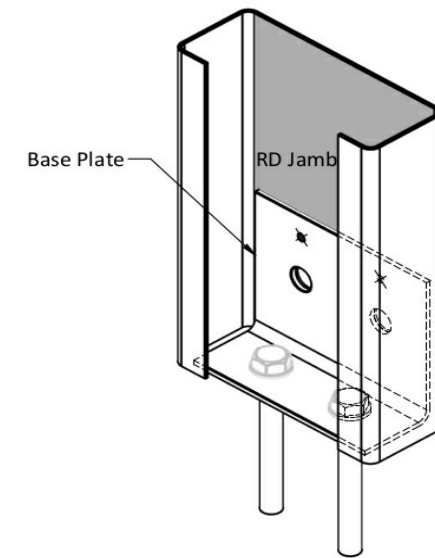
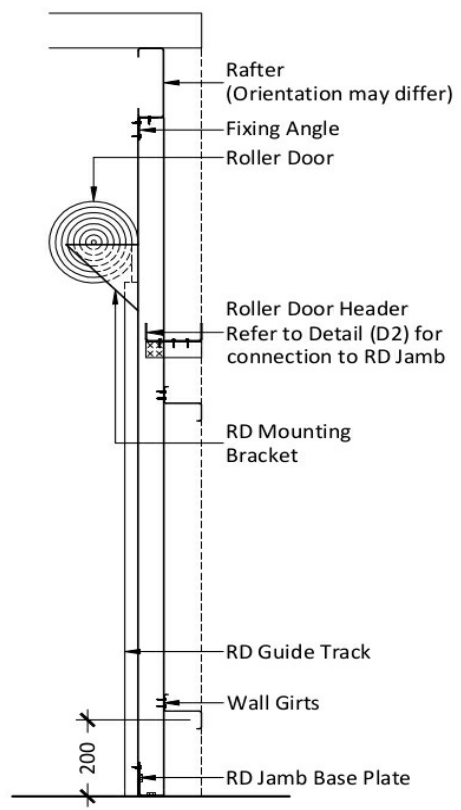


Door Width	Max Opening
≤3.1m	Door Width -50mm
>3.1m or ≤5.1m	Door Width -100mm

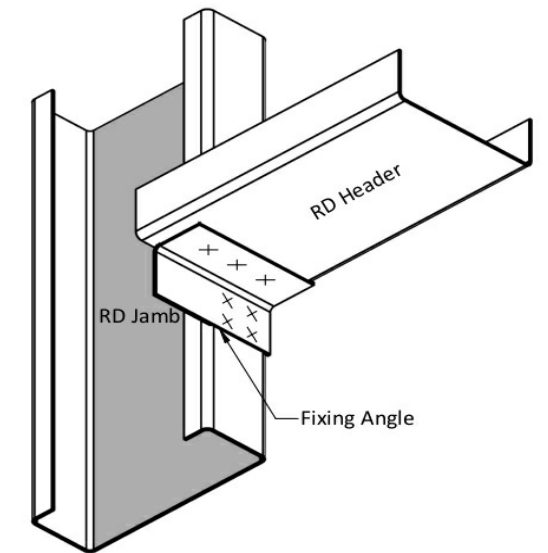


× FIXING SCREWS - 7 of 14.20 x 22
DETAIL (D4) - RD JAMB TOP FIXING

× FIXING SCREWS - 4 of 14.20 x 22 TO JAMB LIPS
× 4 of 14.20 x 22 TO TRIMANGLE
DETAIL (D3) - GIRT FIXING TO RD JAMB



2 of M12 x 75 DYNABOLTS - FOR C150 & C200 JAMBS
2 of M16 x 110 DYNABOLTS - FOR C250 & C300 JAMBS
○ FIXING BOLTS - 2 of M12 x 30 - FOR C150 & C200 JAMBS
○ FIXING BOLTS - 2 of M16 x 30 - FOR C250 & C300 JAMBS
× FIXING SCREWS - 2 of 14.20 x 22
DETAIL (D1) - RD JAMB BASE PLATE



× FIXING SCREWS - 7 of 14.20 x 22
DETAIL (D2) - RD HEADER FIXING

Purchaser Name: Karlie Fox

Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia

Drawing # TLAN250043 - 8

Print Date: 24/09/2025

Connection Details

Not to Scale
Page 5 of 6
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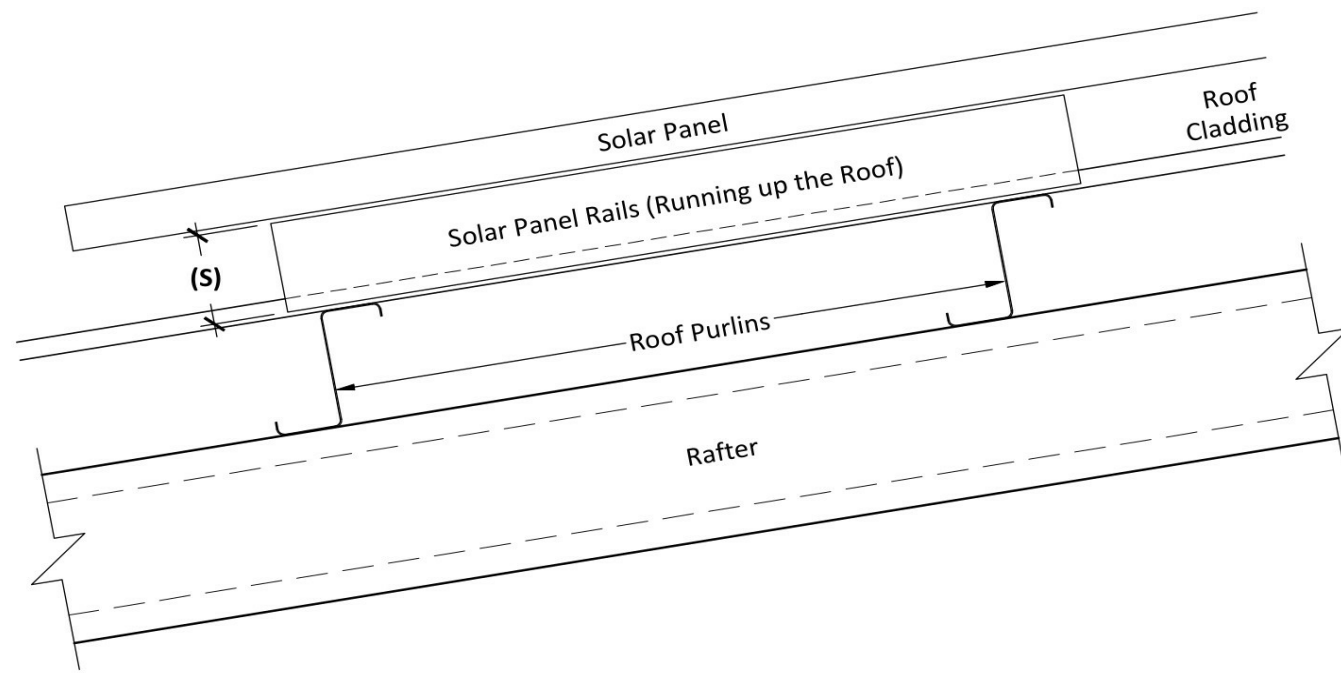
Seller: The Shed Company Launceston
RDAM Heald Pty Ltd
Phone: 03 9002 4272
Fax
Email: launceston@theshedcompany.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

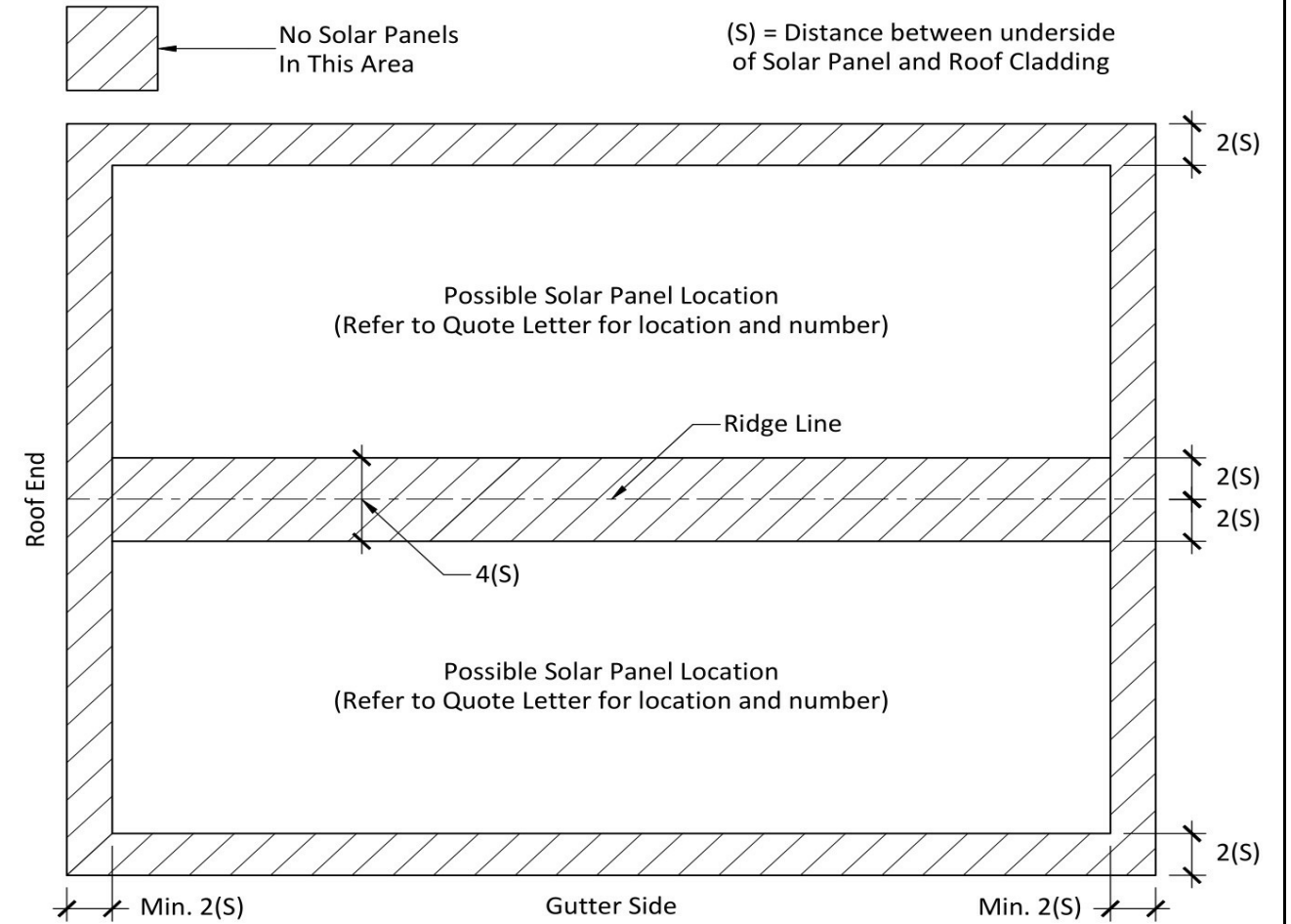
Signature: *J. Ronaldson* Date: John Ronaldson
Date: 24/09/2025

Notes:

- *This design is based on the requirements of AS/NZS 1170.2-2021 Clause B.6
- *Solar Panels must be attached Parallel to the Roof
- *The Gap between the underside of the panel and the roof (S) is to be between 50 mm and 300 mm (No Pitched Frames)
- *The minimum distance from a roof edge to the panel shall be 2(S) - Refer to Solar Panel Connection Detail A
- *The maximum weight of the Solar Panels and fixings is 15kg/m²



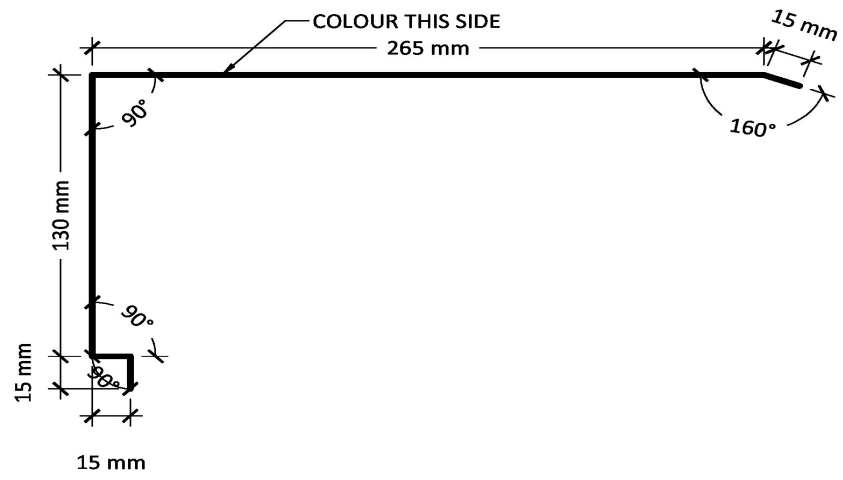
DETAIL A



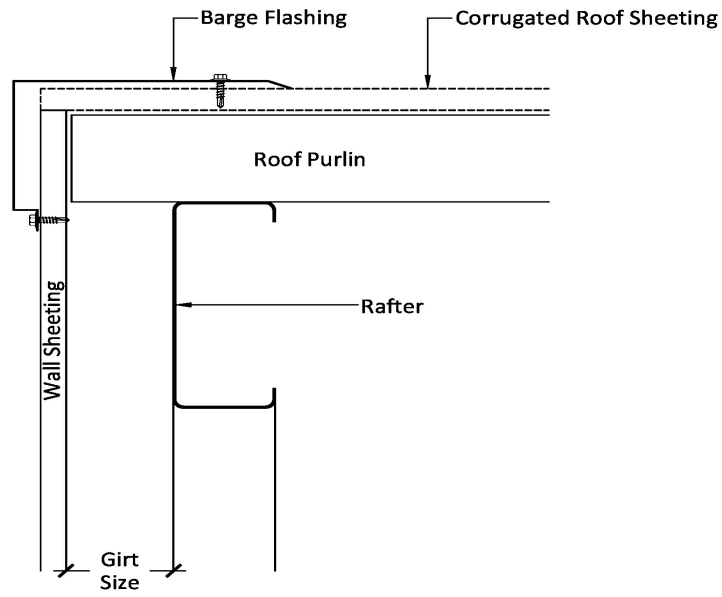
PLAN VIEW

SOLAR PANEL CONNECTION DETAILS

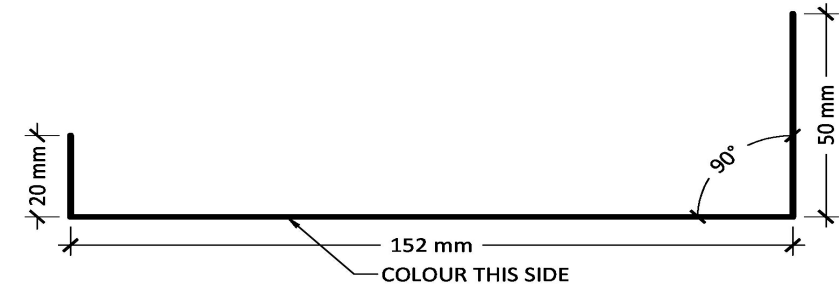
Purchaser Name: Karlie Fox		Connection Details Not to Scale Page 6 of 6 © Copyright Steelx IP Pty Ltd	Seller: The Shed Company Launceston RDAM Heald Pty Ltd Phone: 03 9002 4272 Fax: Email: launceston@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 ME Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers	
Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia				Signature:  Date: John Ronaldson Date: 24/09/2025	
Drawing # TLAN250043 - 8	Print Date: 24/09/2025				



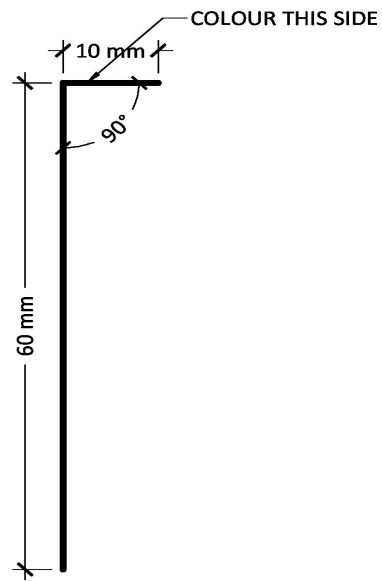
Barge Flash - Corodek TH64/Z100
A-BARGE-1-TSC



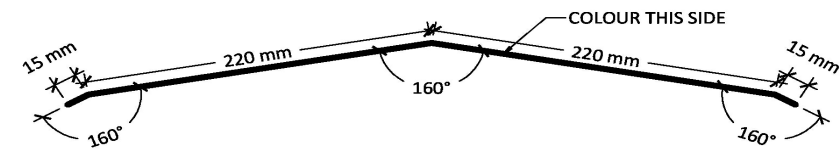
Barge Flashing - A-BARGE-1-TSC - Sheeting Gable



RD Head Cover Flashing
A-RDH-C-1-0



RD Side - Part B
A-RDJAMB-B



10° Ridge Capping - Z - Corodek
A-RIDGE-B-2

Purchaser Name: Karlie Fox

Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia

Drawing # TLAN250043 - 9

Print Date: 24/09/2025

Flashing Fixing Details

Not to Scale
Page 1 of 2
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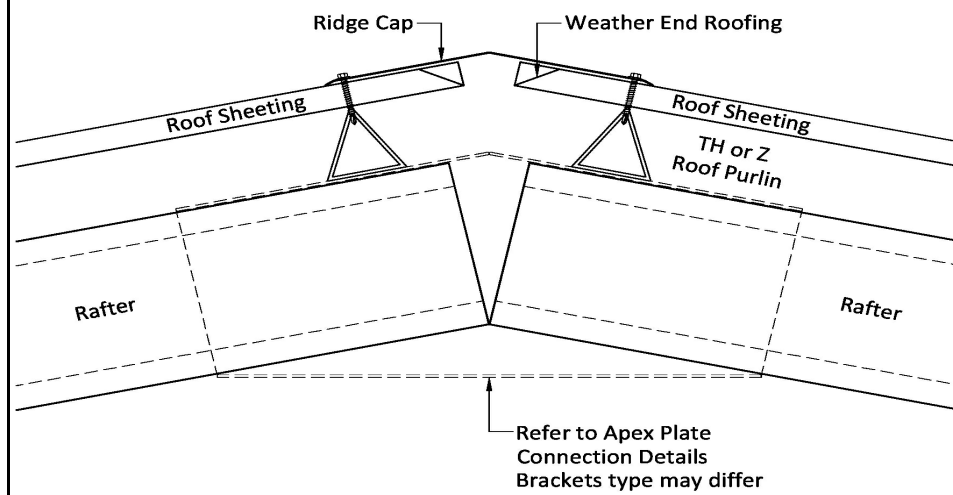
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Practising Professional Structural & Civil Engineers

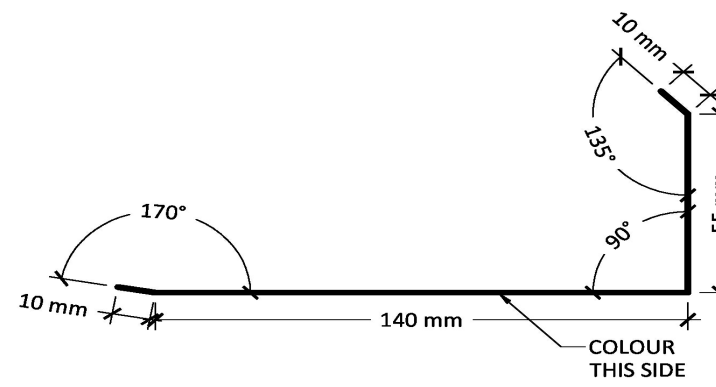
Signature:

Date: John Ronaldson

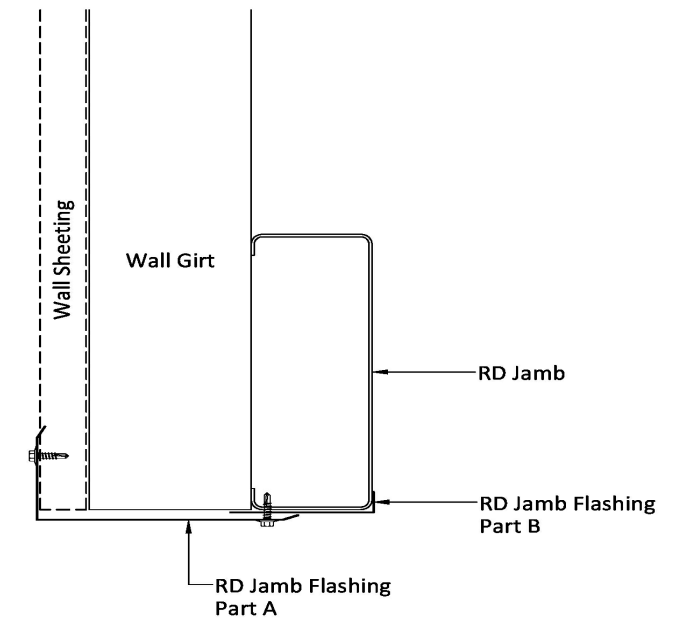
Date: 24/09/2025



Ridge Cap - A-RIDGE-B-2



RD Jamb Inset Flashing - Part A
Z100 Girt
B-RDJAMB-I-A-0



Roller Door Jamb Flashing - B-RDJAMB-I-A-0

Purchaser Name: Karlie Fox

Site Location: 12 Liddesdale Dr Deloraine TAS 7304 Australia

Drawing # TLAN250043 - 9

Print Date: 24/09/2025

Flashing Fixing Details

Not to Scale
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Seller: The Shed Company Launceston
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Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

Date: John Ronaldson

Date: 24/09/2025

24 September, 2025

To whom it may concern

This certification has been completed based on an Importance Level of 2.

Any approving authority should confirm that the Importance Level nominated is appropriate for the building's usage nominated in the application form used to apply for a Building Permit / Construction Certificate.

I certify that I am an independent technical expert and have reviewed Steelx's "Shed Management System" software that has produced the design and drawings detailed below.; I have reviewed the documents based on the site specific analysis that has been carried out using the "Shed Safe SiteCheck" software (Refer to the Site Specific Design Criteria Analysis included with these documents).

Job Number:	TLAN250043	Building Class:	10a
Customer:	Karlie Fox	Max Design Wind Speed	of 39.8m/s
Site Location:	12 Liddesdale Dr Deloraine TAS 7304 Australia (-41.51031 and 146.63414)		

Drawing Number	Date	Number of Pages	Description
TLAN250043 - 2	24/09/2025	2	General Notes
TLAN250043 - 3	24/09/2025	1	Layout
TLAN250043 - 4	24/09/2025	3	Material Specification Sheet
TLAN250043 - 5	24/09/2025	1	Bracing
TLAN250043 - 6	24/09/2025	2	Concrete Piers
TLAN250043 - 7	24/09/2025	1	Slab Dimensions
TLAN250043 - 8	24/09/2025	6	Connection Details
TLAN250043 - 9	24/09/2025	2	Flashing Fixing Details
TLAN250043 - 10	24/09/2025	1	Component Position
TLAN250043 - 11	24/09/2025	5	Purlin And Girt

(Some drawings have multiple pages, eg: "1 of 3")

As an independent technical expert, I verify this design complies with the following codes and standards:

NCC: 2022 Volume 2 Amendment 2	AS/NZS 1170.1:2002
AS/NZS 1170.2:2021	AS/NZS 1170.3:2003
AS/NZS 1170.4:2007	AS 2870:2011
AS 3600:2018	AS 4100:2020
AS/NZS 4600:2018	

Unless nominated, the building has not been designed for any additional loads including, but not limited to, earthquake, snow, solar panels or lining with any materials.

Signed



John Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
ACN 632 588 562

Member Institution of Engineers (Aust.), CPEng (NER Structural) Regn. No. 5276680
Registered Professional Engineer (Structural) - Queensland: Regn. No. 24223
Registered Building Designer & Professional Engineer (Structural) - Tasmania: Regn. No. 185770492
Registered Professional Engineer (Structural) - Victoria: Regn. No. PE0003848
Registered Professional Engineer (Structural) - ACT: Regn. No. 00300001602

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: *Owner name*
 Address
 Suburb/postcode

Designer details:

Name: *Category:*
 Business name: *Phone No:*
 Business address:
 Fax No:
 Licence No: *Email address:*

Details of the proposed work:

Owner/Applicant *Designer's project reference No:*
Address: *Lot No:*

Type of work: Building work: Plumbing work: *(X all applicable.)*

Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): *(X all applicable certificates)*

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Design
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Design
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Service Design
	<input type="checkbox"/> Fire Service design	Building Service Design
	<input type="checkbox"/> Electrical design	Building Service Design
	<input type="checkbox"/> Mechanical design	Building Service Design
	<input type="checkbox"/> Plumbing design	Plumber-Certifier: Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: *(X the appropriate box)*

Other details:

Design documents provided:	
-----------------------------------	--

The following documents are provided with this Certificate -

Document description:

Drawing numbers: TLAN250043-2 to TLAN250043-11	Prepared by: THE Shed Company	Date: 24/09/2025
Schedules:	Prepared by: TBA	Date: TBA
Specifications:	Prepared by: THE Shed Company	Date: 24/09/2025
Computations:	Prepared by: THE Shed Company	Date: 24/09/2025
Performance solution proposals:		
Test reports:		

Standards, codes or guidelines relied on in design process:	
--	--

NCC: 2022, and the following Australian standards: AS/NZS4600:2018, AS/NZS 1170.0 2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2021, AS/NZS 1170.3:2003, AS/NZS 1170.4:2007, AS4100:2020, AS2870:2011 and AS3600:2018.


Any other relevant documentation:	
--	--

Attribution as designer:	
---------------------------------	--

I John Ronaldson being a licensed building services provider am responsible for the design of that part of the building work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer:	Name: (print) John Ronaldson	Signed: 	Date: 24/09/2025
Licence No:	185770492		

Director of Building Control - date approved: 2 August 2017

Building Act 2016 - Approved Form No 35

Assessment of Certifiable Works: (TasWork)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

if you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK:

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for the water supplied by TasWater
- The works will not increase or decrease the amount of sweage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TaswWater's water system, a water meter is in place or had been applied for to TasWater.

Certification:

I being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the Water and Sewerage Industry Act 2008, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments. Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

Designer:	Name: (print)	Signed:	Date: