

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0201
APPLICANT:	Prime Design Tasmania
SITE:	48 Clance Avenue, Prospect Vale (CT: 189929/105)
PROPOSAL:	Single dwelling - building envelope.

The application can be inspected until Monday, 30 March 2026, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 14 March 2026.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No
 - Have you already received a Planning Review for this proposal? Yes No
 - Is a new vehicle access or crossover required? Yes No
- Indicate by ✓ box

PROPERTY DETAILS:

Address:	<input type="text" value="Lot 105 Country Club Avenue"/>	Certificate of Title:	<input type="text" value="189929/105"/>
Suburb:	<input type="text" value="Prospect Vale"/> <input type="text" value="xx"/>	Lot No:	<input type="text" value="105"/>
Land area:	<input type="text" value="584 m2"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Vacant block"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

Building work Change of use Subdivision Demolition
 Forestry Other

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 189929	FOLIO 105
EDITION 1	DATE OF ISSUE 13-Feb-2026

SEARCH DATE : 11-Mar-2026

SEARCH TIME : 12.09 pm

DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL
 Lot 105 on Sealed Plan 189929
 Derivation : Part of 375A-1R-0P Gtd. to James Goodger
 Prior CT 189623/1004

SCHEDULE 1

N176448 TRANSFER to TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD
 Registered 18-Mar-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP189929 EASEMENTS in Schedule of Easements
 SP189929 FENCING PROVISION in Schedule of Easements
 SP189929 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP185985, SP186417, SP187707, SP188351, SP188889 & SP189623
 FENCING PROVISION in Schedule of Easements
 SP10386 & SP18481 FENCING COVENANT in Schedule of Easements
 N102498 BENEFITING EASEMENT: a bushfire hazard management
 easement over the land marked Bushfire Hazard
 Management Easement 10.00 wide on Sealed Plan 189929
 Registered 13-Feb-2026 at 12.01 pm
 E172256 INSTRUMENT Creating Restrictive Covenants Registered
 13-Feb-2026 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

N153734 PRIORITY NOTICE reserving priority for 90 days
 TRANSFER Tasmanian Country Club Properties Pty Ltd to
 Tony John Rex Smith and Emily Marie Sawdon
 MORTGAGE Tony John Rex Smith and Emily Marie Sawdon
 to MyState Bank Limited Lodged by ZZIM CONVEYANCING
 on 27-Feb-2026 BP: N153734

OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD

FOLIO REFERENCE: C.T.189623/1004

GRANTEE: PART OF 375A-1R-0P GRANTED TO JAMES GOODGER, PART OF 300 ACRES GRANTED TO JOSEPH PENNY

PLAN OF SURVEY



BY SURVEYOR: BRETT RICHARD WOOLCOTT
 LOCATION: LAND DISTRICT OF CORNWALL
 PARISH OF LAUNCESTON
 SCALE 1:4000 LENGTHS IN METRES

REGISTERED NUMBER

SP189929

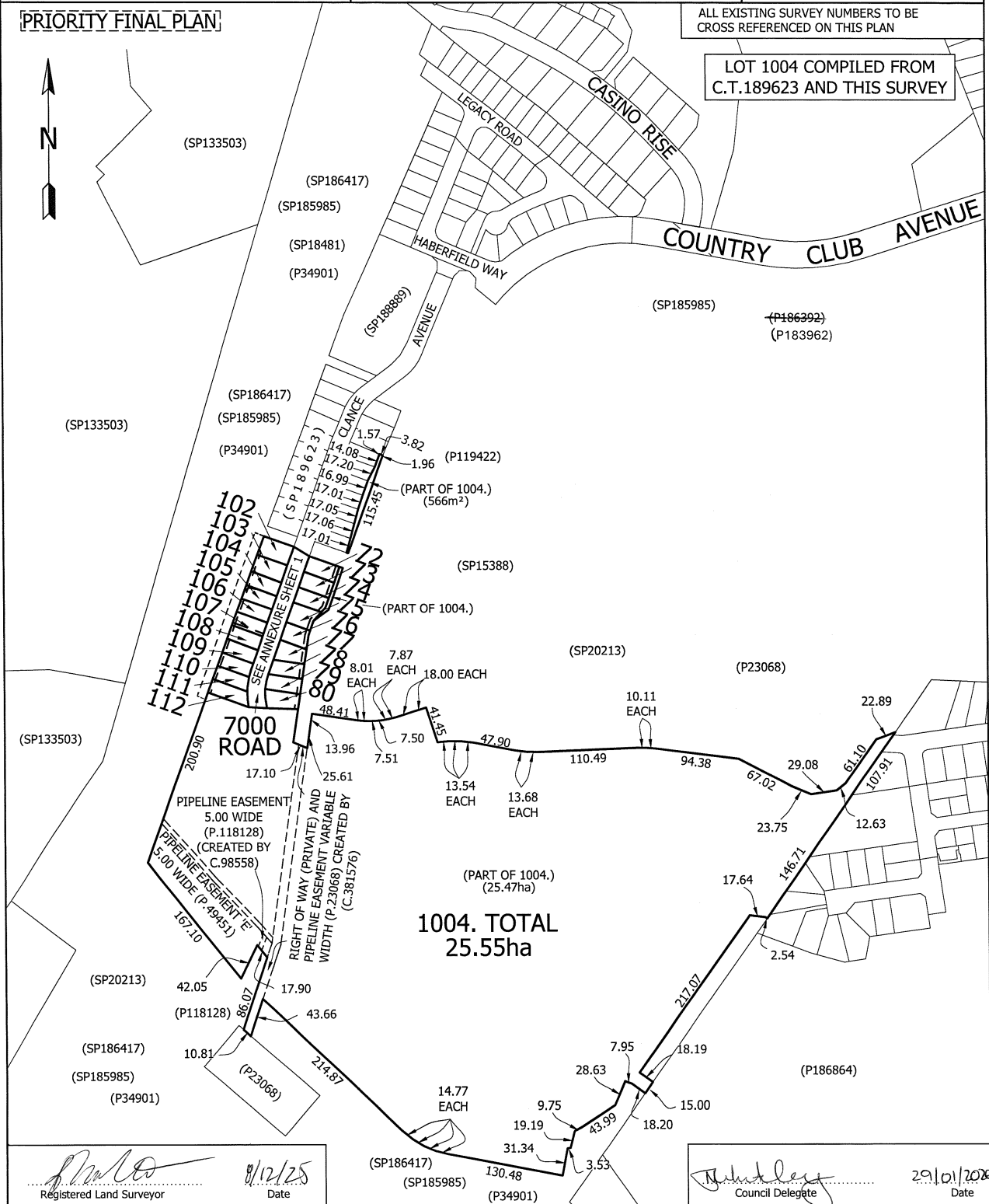
APPROVED EFFECTIVE FROM **13 FEB 2026**

Renia
 Recorder of Titles

PRIORITY FINAL PLAN


ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

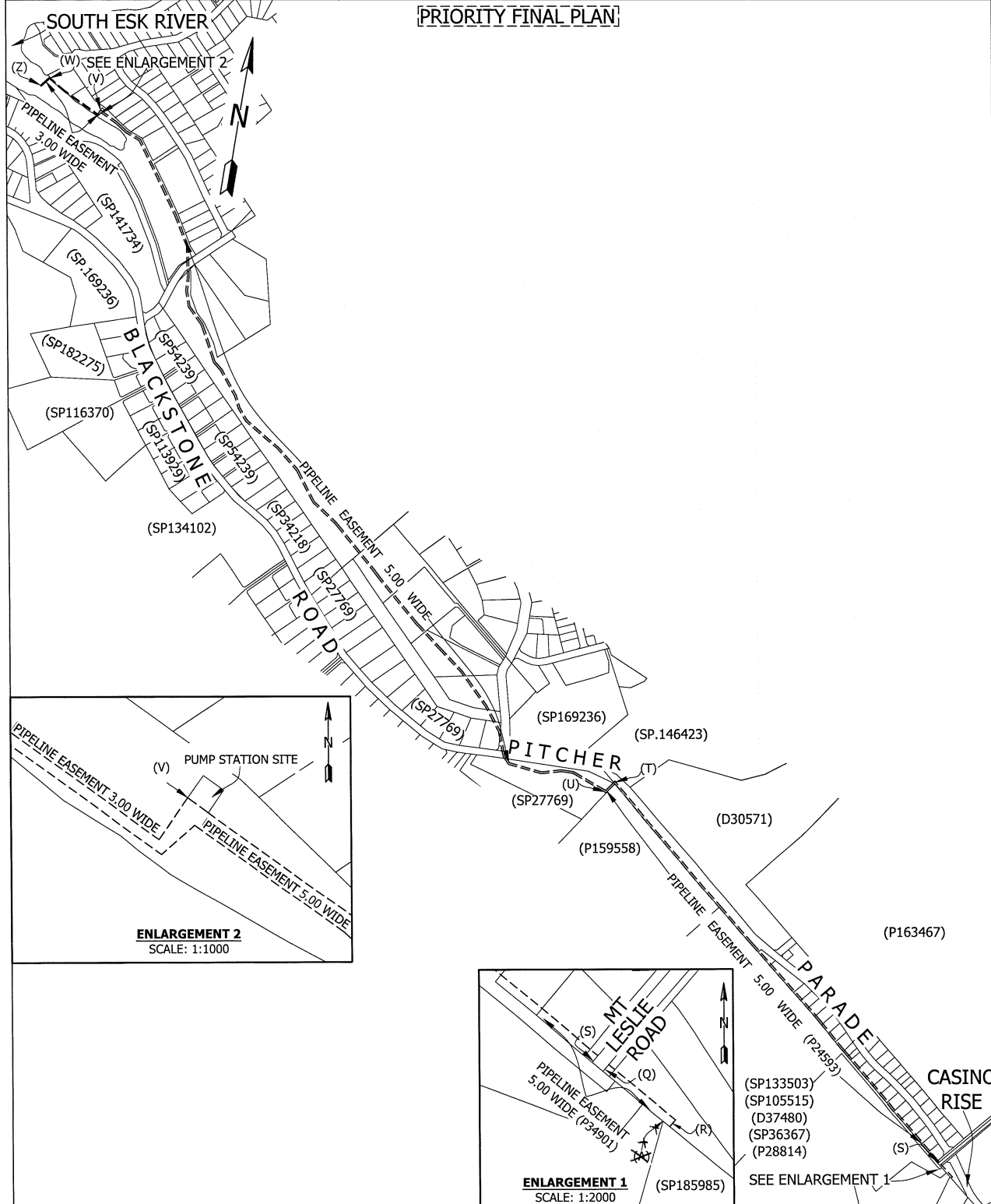
LOT 1004 COMPILED FROM C.T.189623 AND THIS SURVEY



Brett Woolcott
 Registered Land Surveyor
 Date: 8/12/25

Renia
 Council Delegate
 Date: 29/01/2026

<p>PLAN OF SURVEY</p>  <p>ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: C.T.189623/1004</p> <p>SCALE 1:10000 LENGTHS IN METRES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 29/01/2026 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 8/12/25 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 13 FEB 2026</p> <p><i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189929

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

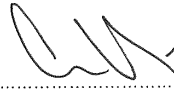
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EXISTING EASEMENTS CARRIED FORWARD FROM CERTIFICATE OF TITLE VOLUME 189623 FOLIO 1004

1. Lot 1004 on the Plan is subject to a pipeline easement (as fully defined in dealing no. C381576) in favour of the Meander Valley Council over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
2. Lot 1004 on the Plan is subject to a right of carriage way (appurtenant to lot 8 on Plan No. 23068) over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
3. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. B805803) in favour of Tasmania Irrigation Pty Ltd (ACN 722 799 075) over the land marked "PIPELINE EASEMENT "E" 5.00 WIDE" on the Plan (subject to the provisions contained in dealing B805803).
4. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. C98558) in favour of TasWater over the land marked "PIPELINE EASEMENT 5.00 WIDE" shown on the Plan (subject to provisions contained in dealing C98558).
5. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with water supply pipeline and pump rights (as fully defined in dealing no. A979664) over the land marked "PIPELINE EASEMENT 5.00 WIDE" and the land marked "PIPELINE EASEMENT 3.00 WIDE" and also marked "STUVWZ" and "PUMP STATION SITE" as shown on the Plan.




.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD FOLIO REF 189623/1004 SOLICITOR Con Tsamassiros, Butler McIntyre & Butler & REFERENCE: CT:242733	PLAN SEALED BY: <i>Meander Valley Council</i> DATE: <i>29.10.11.2026</i> <i>PA12210243</i> REF NO. <i>PA12210243</i>  Council Delegate
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

6. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with the full right and liberty for the registered proprietor for the time being (which registered proprietor is hereinafter referred to as "the Owner") of the said land within described (which land is hereinafter referred to as "the Dominant Land") to draw and convey water from the South Esk River to the Dominant Land by means of a water supply pipeline installed or to be installed as hereinafter appears within that portion of the land marked "PIPELINE EASEMENT 5.00 WIDE" and also marked "Q R" on the Plan (and which portion of land is hereinafter referred to as "the Servient Land") and to install lay relay inspect maintain repair renew remove and cleanse a one hundred and fifty millimetre water supply pipeline along within and under the Servient Land and at a depth where practicable of at least on half of a metre below the surface together with all such sluice and other valves manholes inspection openings stopcocks and other fittings of whatever nature as may be necessary.

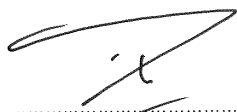
7. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183692 is together with the full right and liberty for the owner of the Dominant Land for the purposes set forth herein to enter upon the Servient Land at any time with or without inspectors workmen servants agents or other persons authorised by the owner of the Dominant Land to pass and repass on foot or with motor vehicles in over along and upon the Servient Land PROVIDED THAT the water supply pipeline shall be of such strength and so jointed in every part as not to permit the escape of any water passing through the same AND PROVIDED FURTHER THAT the owner of the Dominant Land shall make good any damage or disturbance which may be caused to the Servient Land in relation to any installation inspection maintenance repair renewal removal replacement of cleaning of the water supply pipeline.

NEW EASEMENTS CREATED

8. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

9. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

10. Lots 102, 103, 104, 105, 106 and 107 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.



Daniel Joseph Hanna
Director



Colin Paul Dewhurst
Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
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11. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
12. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
13. Lot 107 on the Plan is subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 3.00 WIDE" as shown passing through Lot 107 on the Plan.

FENCING PROVISION

In respect of the Lots shown on the Plan the Vendor, Tasmanian Country Club Properties Pty Ltd, shall not be required to fence.

DEFINITIONS

In this Schedule of Easements:

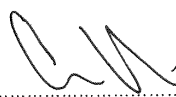
The **Pipeline and Services Easement** is defined to mean:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the subject lot from the highway at any then existing vehicle entry and cross the subject lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the subject lot.

PROVIDED ALWAYS THAT:

- (a) The registered proprietors of each Lot on the Plan that are subject to the **Pipeline and Services Easement** (each described as "the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (i) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (ii) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (iii) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (iv) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (v) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (vi) permit or allow any action which the Owner must not do or acquiesce in that action.
 - (vii) TasWater is not required to fence any part of the Easement Land.
- (b) The Owner may erect a fence across the Easement Land at the boundaries of the subject Lot.
- (c) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (i) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (ii) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (d) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (e) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (i) reinstate the ground level of the Easement Land; or
 - (ii) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (iii) replace anything that supported, protected or covered the Infrastructure.

And for the purpose of the definition of **Pipeline and Services Easement** and this Schedule of Easements:



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (i) sewer pipes and water pipes and associated valves;
- (ii) telemetry and monitoring devices;
- (iii) inspection and access pits;
- (iv) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (v) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (vi) anything reasonably required to support, protect or cover any of the Infrastructure;
- (vii) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (ix) where the context permits, any part of the Infrastructure.

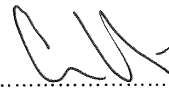
“Easement Land” means the land described as:

- (i) “Pipeline and Services and Drainage Easement 4.00 Wide and Variable Width”; and
- (ii) “Pipeline and Services and Drainage Easement 3.00 Wide”;
- (iii) “Pipeline and Services Easement 3.00 Wide”

“TasWater” means the Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

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Executed by **Tasmanian Country Club Properties Pty Ltd** (ACN 647 888 873) pursuant to section 127(1) of the *Corporations Act 2001* (Cth) by the signature of two of its directors:



Daniel Joseph Hanna - Director



Colin Paul Dewhurst - Director

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PROPOSED NEW RESIDENCE

LOT 105, COUNTRY CLUB AVENUE

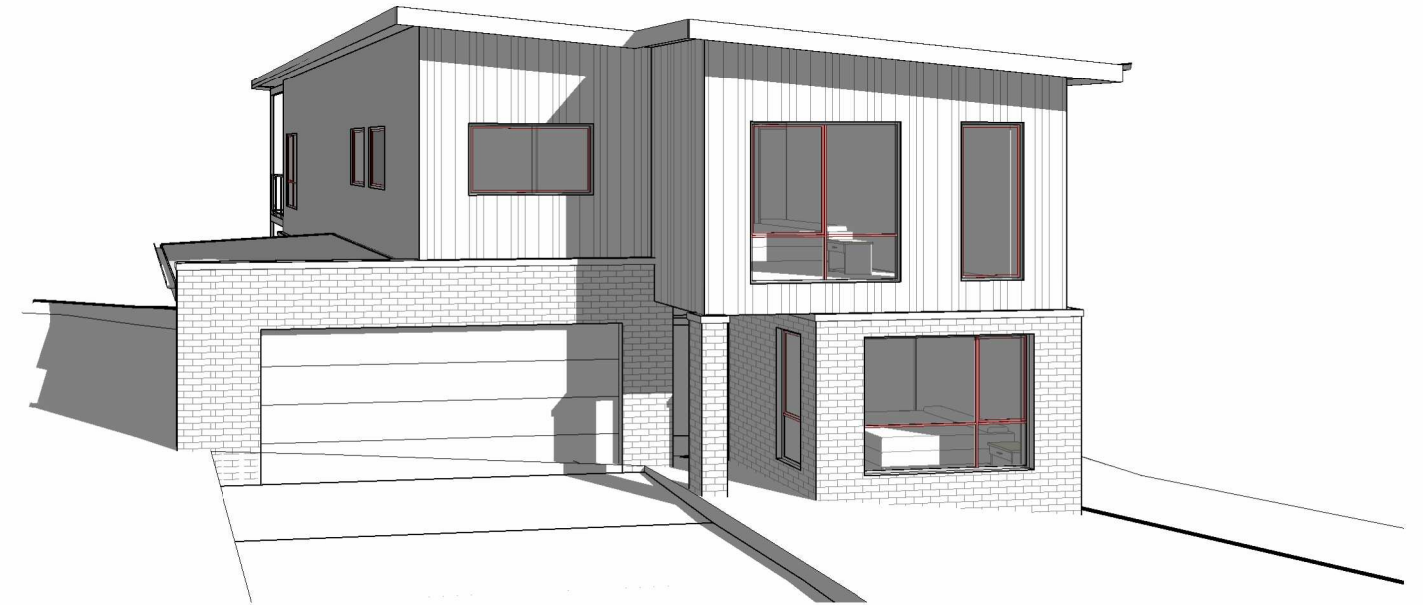
PROSPECT

LIDDELL BUILDING

PD25465

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	LOCALITY PLAN
03	GROUND FLOOR PLAN
04	FIRST FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	PERSPECTIVES



GARAGE AREA	40.59 m2	(4.37 SQUARES)
GROUND FLOOR AREA	108.42 m2	(11.67 SQUARES)
ALFRESCO AREA	27.18 m2	(2.93 SQUARES)
FIRST FLOOR AREA	129.00 m2	(13.89 SQUARES)
BALCONY AREA	26.73 m2	(2.88 SQUARES)
TOTAL AREA	331.92	35.73

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 105/189929
 SITE AREA: 584 m²
 DESIGN WIND SPEED: N1
 SOIL CLASSIFICATION: H1
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: N/A
 BAL RATING: 12.5
 OTHER KNOWN HAZARDS: NONE KNOWN

Prime Design
your build, your way

L: 10 Goodman Court, Invermay, 7248
 p(t) + 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009
 p(h) + 03 6228 4575

bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

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info@primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

primedesigntas.com.au

REV.	DATE	DESCRIPTION

MARCH 2026

PLANNING

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

HATCHED AREA: TASWATER CANNOT GUARANTEE SANITARY DRAINS WILL BE ABLE TO DISCHARGE VIA GRAVITY INTO TASWATER'S SEWERAGE SYSTEM

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 5.1m

SITE COVERAGE
BUILDING FOOTPRINT 179.305m² /SITE AREA 584m² = 0.307
TOTAL SITE COVERAGE 30.70%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYORS NOTES

- DATE: 28-01-26
- THIS PLAN HAS BEEN PREPARED BY WOOLCOTT LAND SERVICES FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
 - SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY AND OFFICE AS-CONSTRUCTED RECORDS. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 - WOOLCOTT LAND SERVICES CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 - THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT LAND SERVICES.
 - HORIZONTAL BEARING DATUM IS MGA2020.
 - VERTICAL DATUM IS AHD83.
 - CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
 - BOUNDARIES AND EASEMENTS ARE PER CONCURRENT SUBDIVISION SP189929 AND ARE SUBJECT TO CHANGE, PENDING PLAN REGISTRATION AT THE LAND TITLES OFFICE.
 - CO-ORDINATES ARE PLANE BASED ON GDA2020 AT SPM9988.

TITLE REF: 189929/105
LOT SIZE: 584 m²

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

DRIVENWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

FLOOR NAME	F.F.L.	COMMENTS
GROUND FLOOR	181,350	
FIRST FLOOR	184,150	
PLAN		



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REV. DATE DESCRIPTION

Client name:
LIDDELL BUILDING

Project:
PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

Project/Drawing no: PD25465 - 01
Scale: 1 : 200
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
SITE PLAN



PROPOSED NEW RESIDENCE
 LOT 105 COUNTRY CLUB AVENUE,
 PROSPECT

LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED RURAL, GENERAL RESIDENTIAL, LANDSCAPE CONSERVATION, MAJOR TOURISM AND REQUIRES A BUSHFIRE ASSESSMENT.
 RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5
 REFER TO ASSESSMENT FOR FURTHER DETAILS.
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.



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Client name:
 LIDDELL BUILDING

Project:
 PROPOSED NEW RESIDENCE
 LOT 105, COUNTRY CLUB AVENUE
 PROSPECT

Date: 10.03.2026
 Drafted by: A.D.
 Approved by: Approver

REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
 LOCALITY PLAN

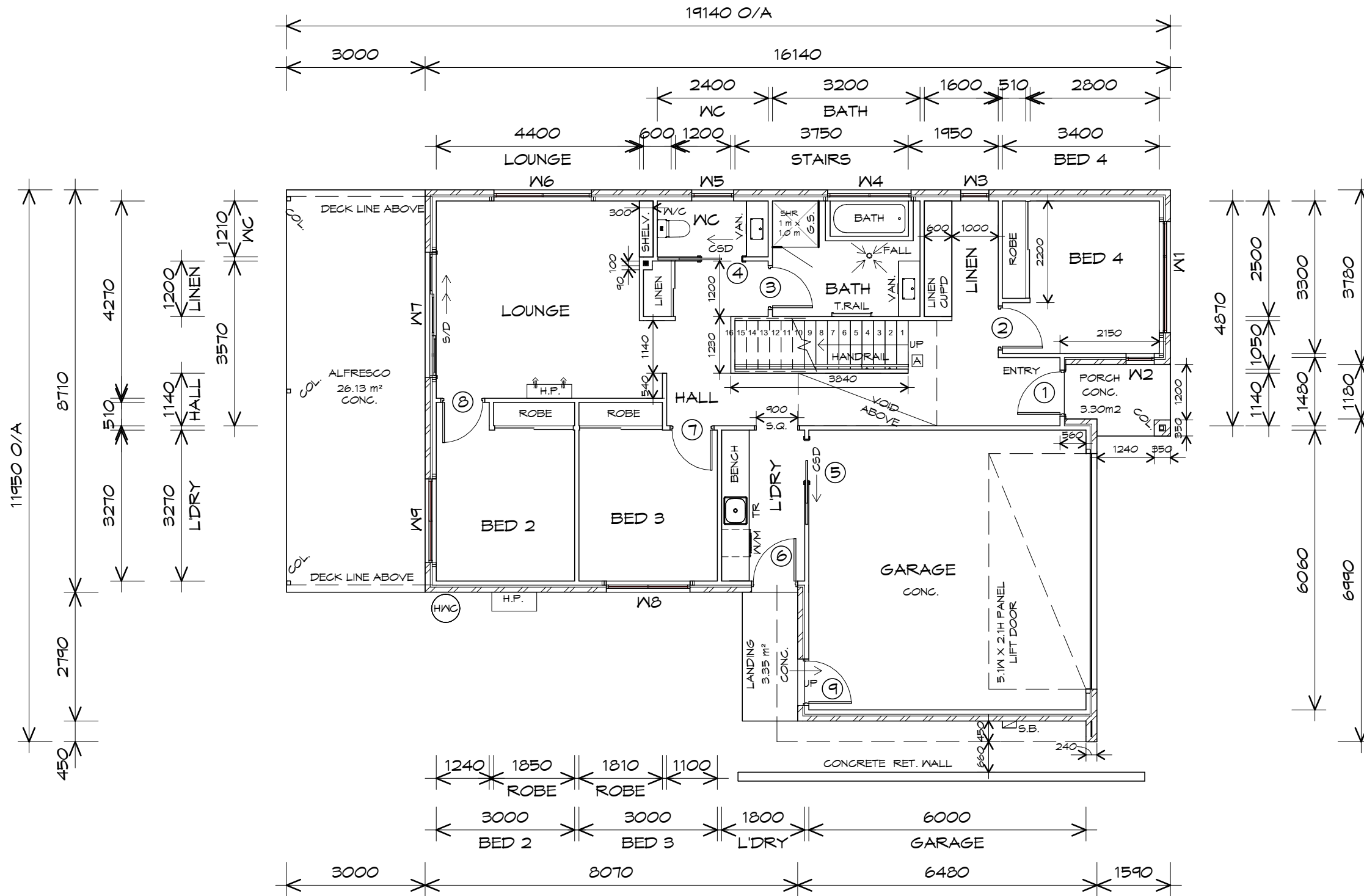
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 Revision: 02

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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- OHC OVERHEAD CUPBOARDS
- BH BULK HEAD
- HT HALF HEIGHT WALL
- COL. COLUMN



STAIRS			
STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	16	175	250

NON SLIP TO COMPLY NCC 2022

HANDRAIL
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GARAGE AREA	40.59 m ²	(4.37 SQUARES)
GROUND FLOOR AREA	108.42 m ²	(11.67 SQUARES)
ALFRESCO AREA	27.18 m ²	(2.93 SQUARES)
FIRST FLOOR AREA	129.00 m ²	(13.89 SQUARES)
BALCONY AREA	26.73 m ²	(2.88 SQUARES)
TOTAL AREA	331.92	35.73

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING



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REV. DATE DESCRIPTION

Client name:
LIDDELL BUILDING

Project:
PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

Project/Drawing no: PD25465 - 03
Scale: 1 : 100
Revision: 02

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

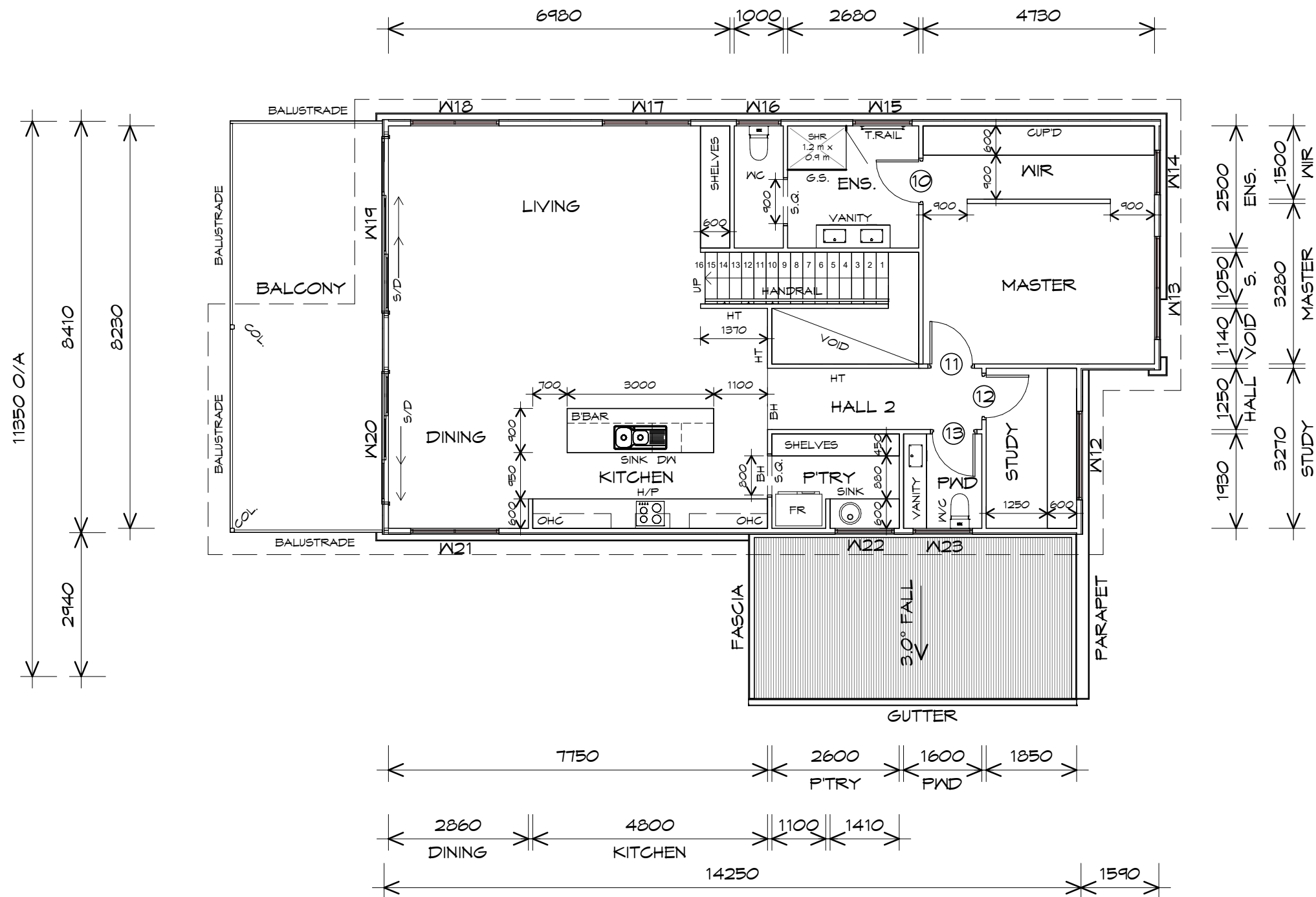
Drawing:
GROUND FLOOR PLAN

Accredited building practitioner: Frank Geskus -No CC246A
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NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- OHC OVERHEAD CUPBOARDS
- BH BULK HEAD
- HT HALF HEIGHT WALL
- COL. COLUMN



FIRST FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GARAGE AREA	40.59 m ²	(4.37 SQUARES)
GROUND FLOOR AREA	108.42 m ²	(11.67 SQUARES)
ALFRESCO AREA	27.18 m ²	(2.93 SQUARES)
FIRST FLOOR AREA	129.00 m ²	(13.89 SQUARES)
BALCONY AREA	26.73 m ²	(2.88 SQUARES)
TOTAL AREA	331.92	35.73

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

STAIRS

STAIR	No RISERS	RISER HT	TREAD DEPTH
A	16	175	250

NON SLIP TO COMPLY NCC 2022
HANDRAIL
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3



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REV.	DATE	DESCRIPTION
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Client name:
LIDDELL BUILDING

Project:
**PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT**

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

Project/Drawing no: PD25465 - 04
Scale: 1 : 100
Revision: 02

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
FIRST FLOOR PLAN

Accredited building practitioner: Frank Geskus - No CC246A
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GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	GLAZED EXTERNAL DOOR	ALUM. FULL LIGHT
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	
5	920	CAVITY SLIDING DOOR	
6	920	GLAZED EXTERNAL DOOR	
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	920	GLAZED EXTERNAL DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	2410	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	
W3	1800	610	AWNING WINDOW	
W4	1000	1810	AWNING WINDOW	OPAQUE
W5	1000	910	AWNING WINDOW	OPAQUE
W6	1800	2110	AWNING WINDOW	
W7	2100	2710	STACKING SLIDING DOOR	
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
10	870	INTERNAL TIMBER DOOR	
11	870	INTERNAL TIMBER DOOR	
12	870	INTERNAL TIMBER DOOR	
13	870	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W12	1000	1810	AWNING WINDOW	
W13	2100	2110	AWNING WINDOW	
W14	2100	910	AWNING WINDOW	
W15	1000	1210	AWNING WINDOW	OPAQUE
W16	1000	910	AWNING WINDOW	OPAQUE
W17	1800	1810	AWNING WINDOW	
W18	1800	1810	AWNING WINDOW	
W19	2100	3610	STACKING SLIDING DOOR	
W20	2100	2710	STACKING SLIDING DOOR	
W21	1800	1810	AWNING WINDOW	
W22	1000	1210	AWNING WINDOW	
W23	1000	1210	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT 12.5 BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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Client name:
LIDDELL BUILDING

Project:
PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

REV. DATE DESCRIPTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
DOOR AND WINDOW SCHEDULES

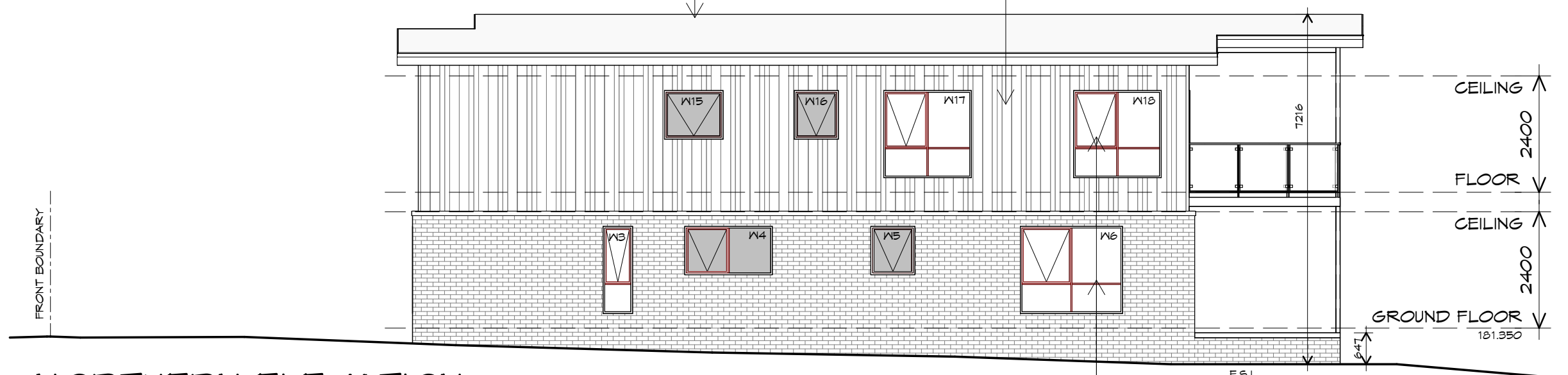
Project/Drawing no: PD25465 - 05
Scale:
Revision: 02

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ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

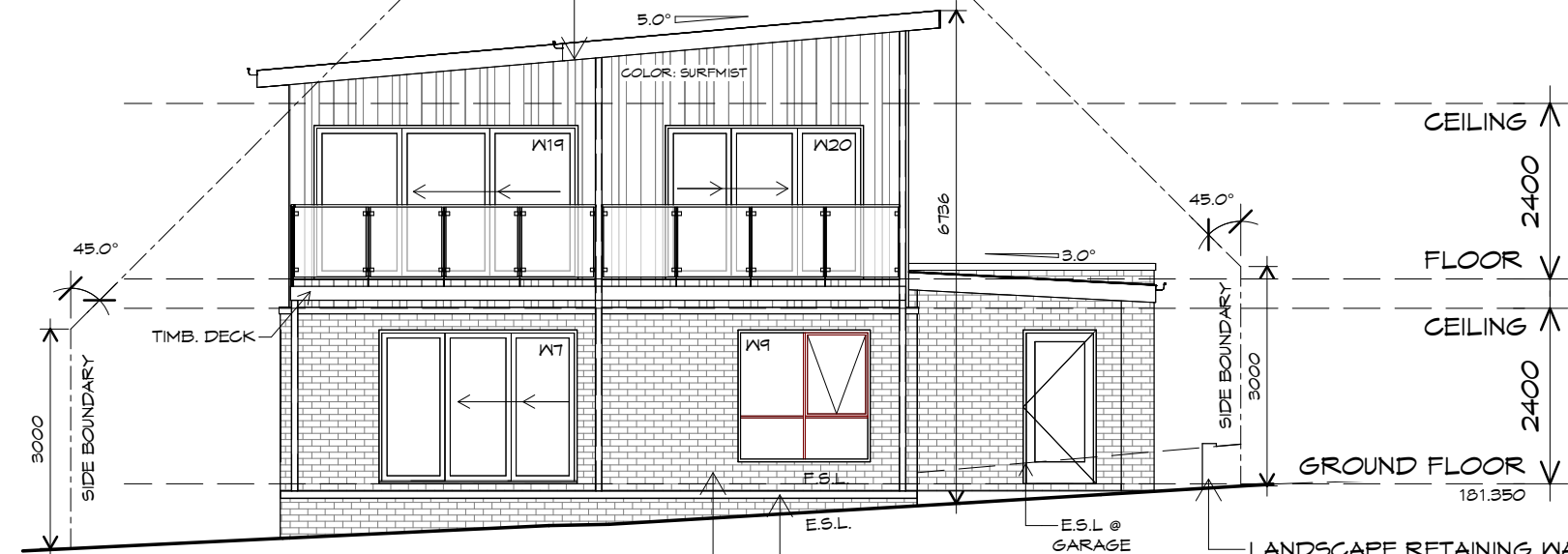
SCYON OBLIQUE (ON BATTENS)
INSTALL AND COAT TO MANUFACTURERS
SPECIFICATIONS.
COLOR: SURFMIST



NORTHERN ELEVATION
1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

ROOF FRAMING
PREFABRICATED ROOF RAFTER
@ 900 CRS MAX
BRACING BY OTHERS



WESTERN ELEVATION
1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5
DANIEL ROBERTSON TARKINE RUGGED BRICKS

BATTER NOTE
BATTER AS PER
ACB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

LANDSCAPE RETAINING WALL
ISLAND BLOCK AND PAVING TASMAN WALL (OR
SIMILAR) BY OTHERS.
INSTALL PER MANUFACTURERS SPEC.

REV.	DATE	DESCRIPTION
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Client name:
LIDDELL BUILDING

Project:
PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

Project/Drawing no: PD25465 - 06
Scale: 1 : 100
Revision: 02

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
ELEVATIONS

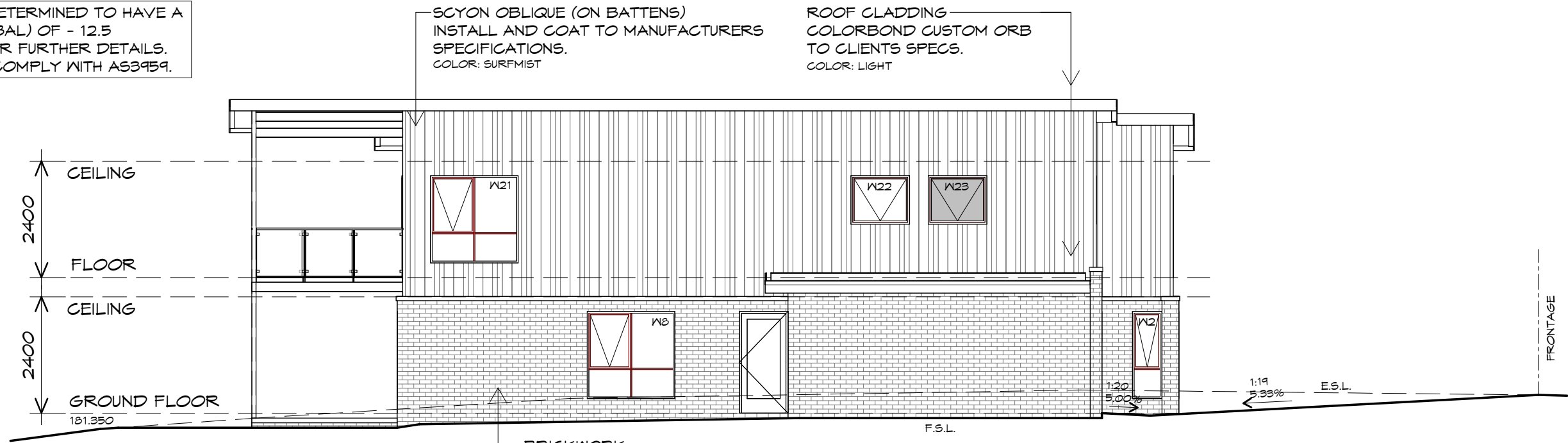
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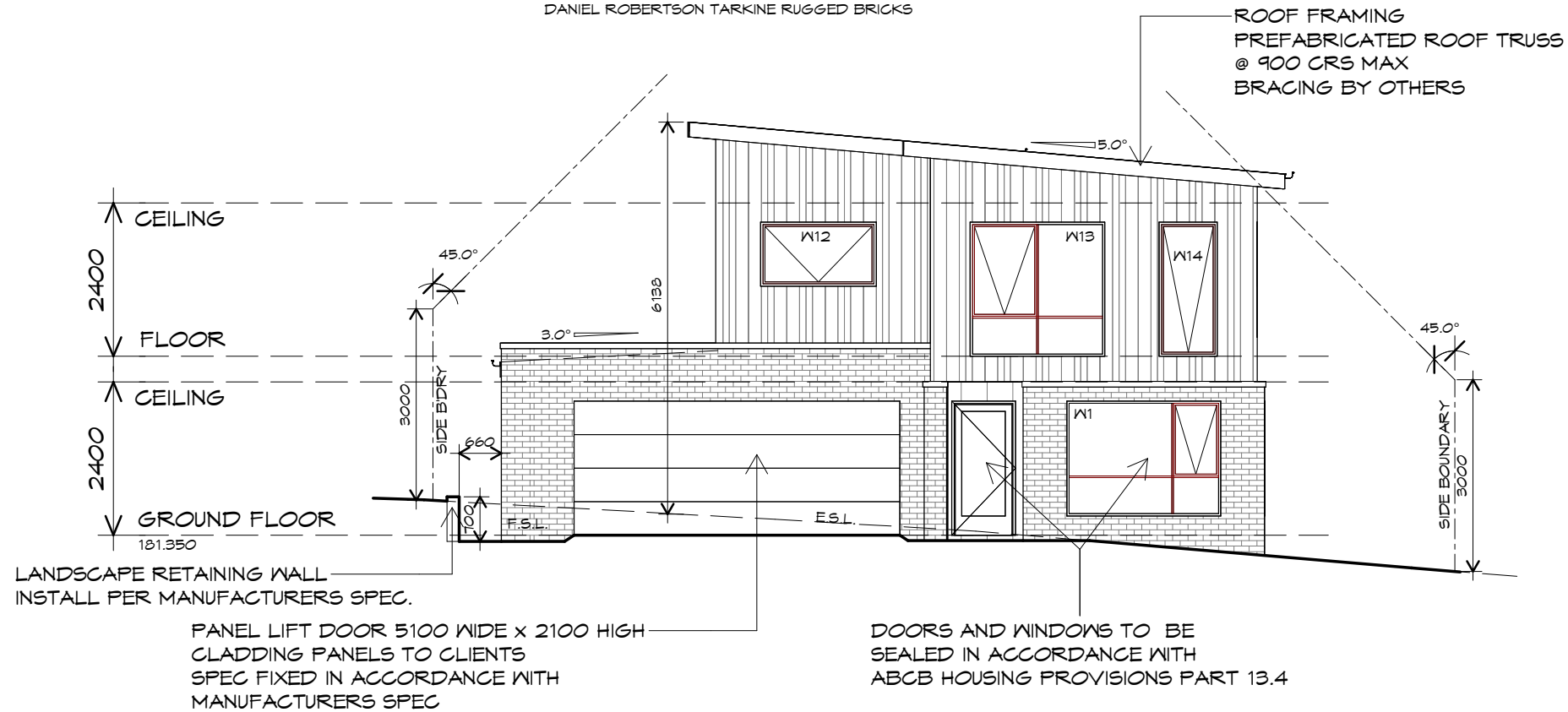
SOUTHERN ELEVATION

1 : 100

SCYON OBLIQUE (ON BATTENS) INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS. COLOR: SURFMIST

ROOF CLADDING COLORBOND CUSTOM ORB TO CLIENTS SPECS. COLOR: LIGHT

BRICKWORK SELECTED FIRED CLAY FACE BRICKS. RAKED JOINTS, STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5 DANIEL ROBERTSON TARKINE RUGGED BRICKS



EASTERN ELEVATION

1 : 100

LANDSCAPE RETAINING WALL INSTALL PER MANUFACTURERS SPEC.

PANEL LIFT DOOR 5100 WIDE X 2100 HIGH CLADDING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

ROOF FRAMING PREFABRICATED ROOF TRUSS @ 900 CRS MAX BRACING BY OTHERS

REV.	DATE	DESCRIPTION

Client name:
LIDDELL BUILDING

Project:
PROPOSED NEW RESIDENCE
LOT 105, COUNTRY CLUB AVENUE
PROSPECT

Date: 10.03.2026
Drafted by: T.W.
Approved by: A.J.C.

Project/Drawing no: PD25465 - 07
Scale: 1 : 100
Revision: 02

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
ELEVATIONS

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bdoo
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:500 FOR EAVES GUTTER
 BOX GUTTERS IN ACCORDANCE WITH
 AS33500.3:2021

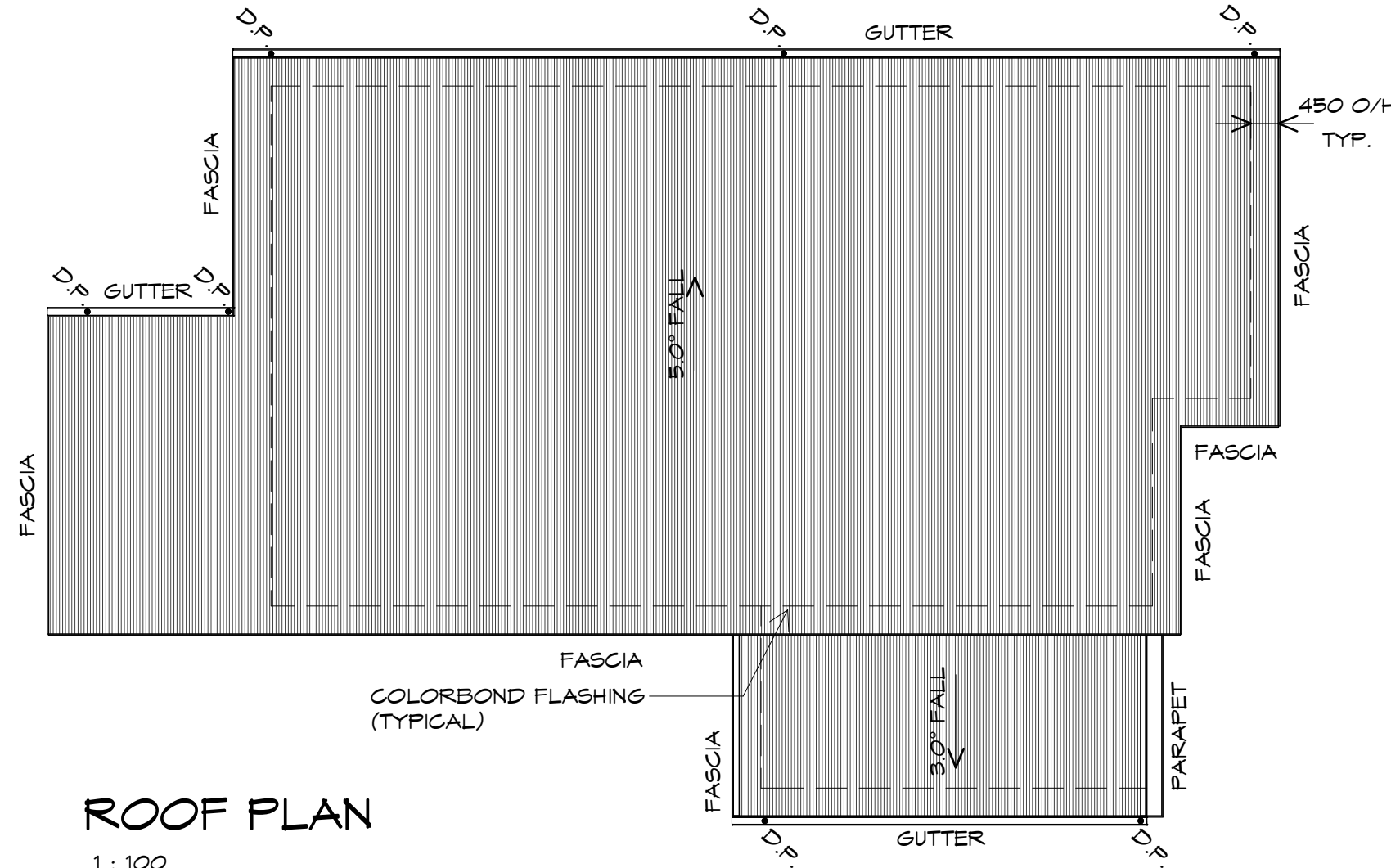
UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

METAL ROOF
 METAL SHEETING ROOF TO BE INSTALLED IN
 ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
 CORROSION PROTECTION FOR SHEET ROOFING,
 REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
 OF CONTACT BETWEEN DIFFERENT ROOFING
 MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
 FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
 AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
 DETAILS REFER TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
 REFER TO TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100



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Client name:
 LIDDELL BUILDING

Project:
 PROPOSED NEW RESIDENCE
 LOT 105, COUNTRY CLUB AVENUE
 PROSPECT

Date: 10.03.2026
 Drafted by: T.W.
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REV. DATE DESCRIPTION

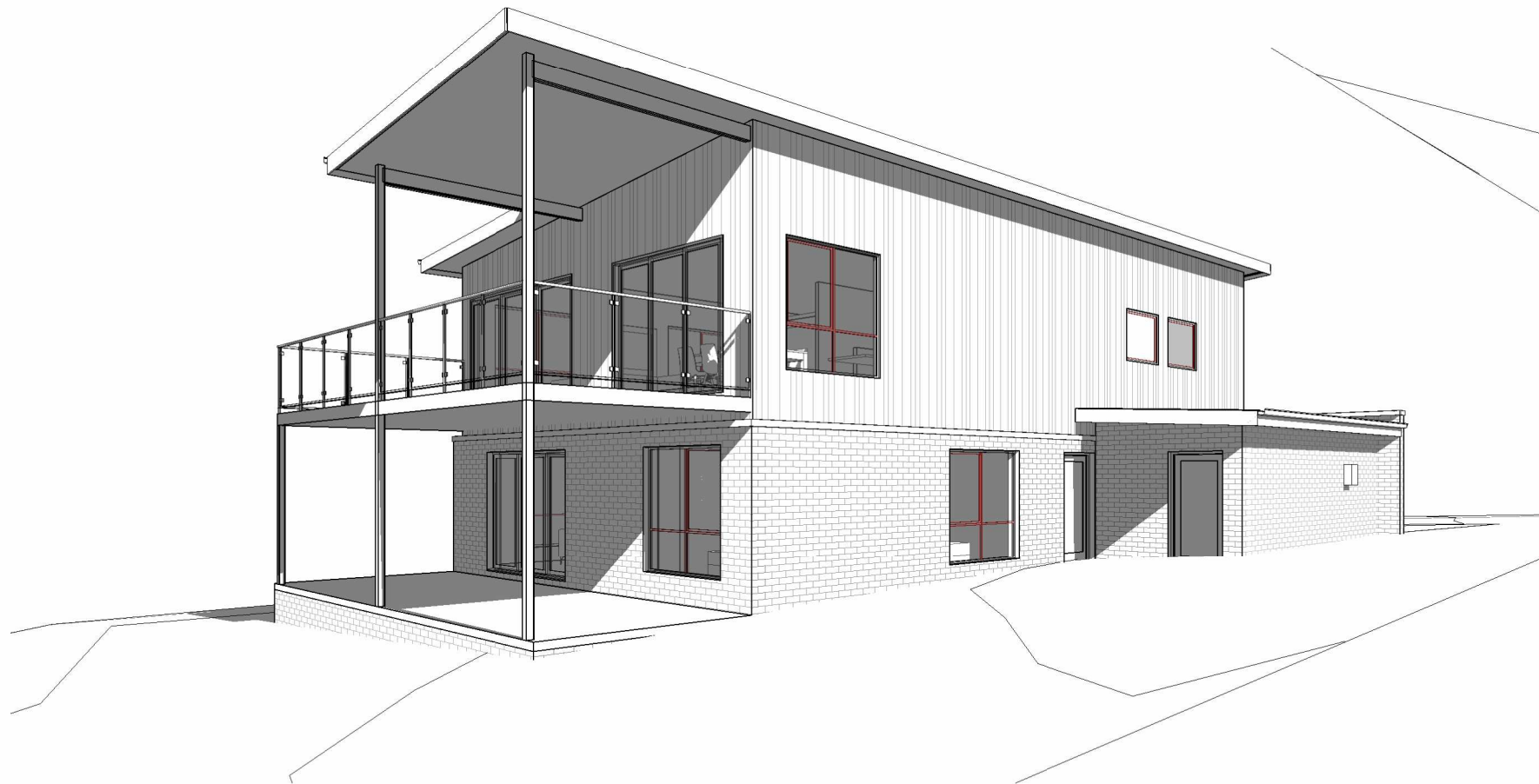
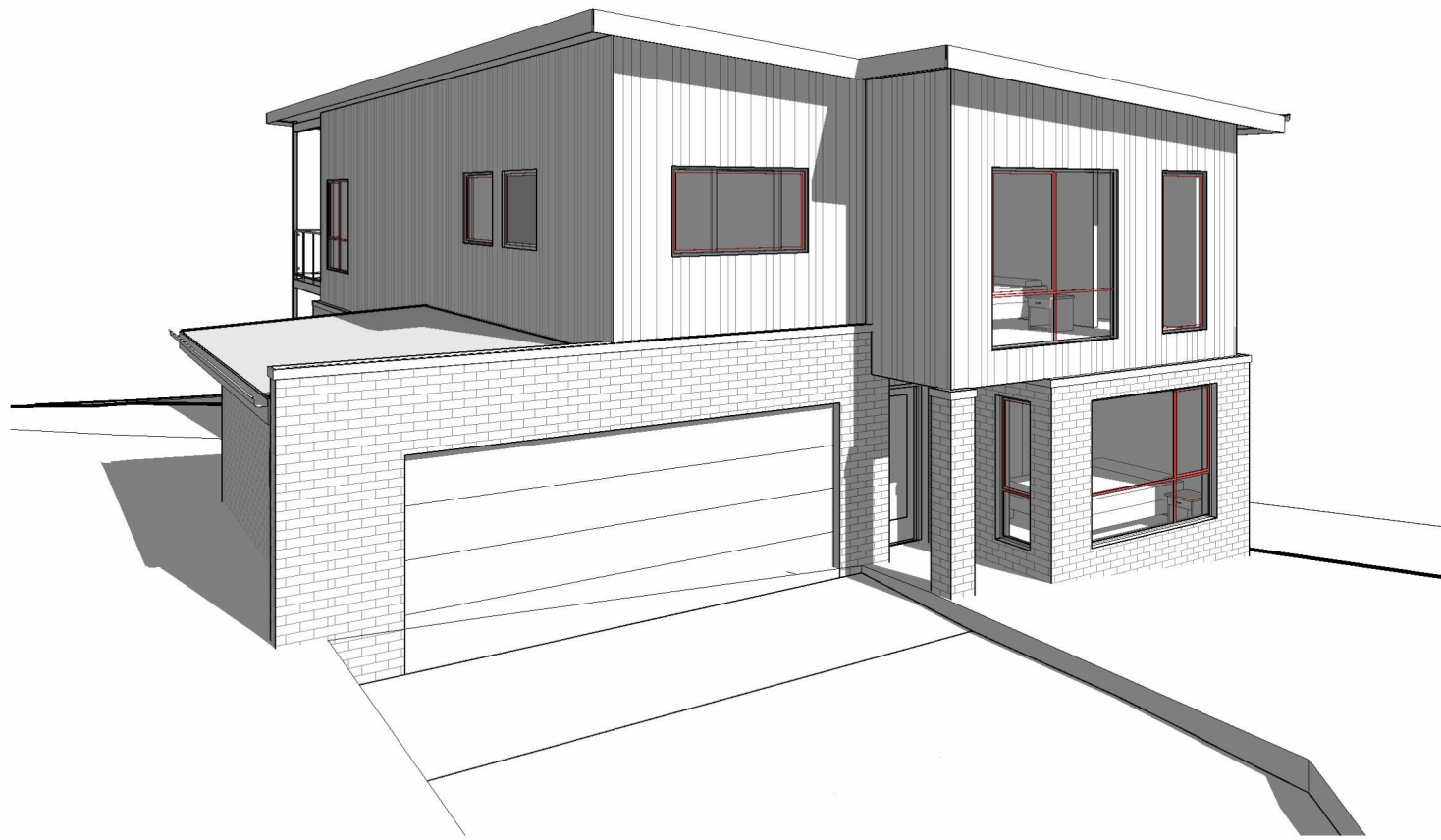
Project/Drawing no: PD25465 - 08
 Scale: 1 : 100
 Revision: 02

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
 ROOF PLAN

Accredited building practitioner: Frank Geskus -No CC246A
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Client name:
 LIDDELL BUILDING

Project:
 PROPOSED NEW RESIDENCE
 LOT 105, COUNTRY CLUB AVENUE
 PROSPECT

Date: 10.03.2026
 Drafted by: T.W.
 Approved by: A.J.C.

Project/Drawing no: PD25465 - 09
 Scale:
 Revision: 02

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REV.	DATE	DESCRIPTION
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PLANNING

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Drawing:
 PERSPECTIVES