



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APP NO.:	PA\26\0207
APPLICANT:	A Beswick obo Engineering Plus
SITE:	69 Bishopsbourne Road, Carrick (CT: 182018/3)
PROPOSAL:	Residential outbuilding (garage) – site coverage, setback, driveway.

The application can be inspected until **Tuesday, 24 March 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 7 March 2026.

David Murray
ACTING GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="69 Bishopsbourne Rd"/>	Certificate of Title:	<input type="text" value="182018/3"/>
Suburb:	<input type="text" value="Carrick Tas"/>	<input type="text" value="7291"/>	Lot No: <input type="text" value="3"/>
Land area:	<input type="text" value="1.030 ha"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Residential"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box Building work Change of use Subdivision Demolition
 Forestry Other

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 182018	FOLIO 3
EDITION 3	DATE OF ISSUE 07-Feb-2024

SEARCH DATE : 04-Mar-2026

SEARCH TIME : 04.55 pm

DESCRIPTION OF LAND

Parish of CARRICK Land District of WESTMORLAND
 Lot 3 on Sealed Plan [182018](#)
 Derivation : Part of Lot 53, 500 Acres Gtd. to William Bryan
 Prior CT [173102/2](#)

SCHEDULE 1


[M933026](#) TRANSFER to ERIN ROSE GRAY and BRADY CLIFFORD
 RICHARDS Registered 21-Feb-2022 at noon

SCHEDULE 2

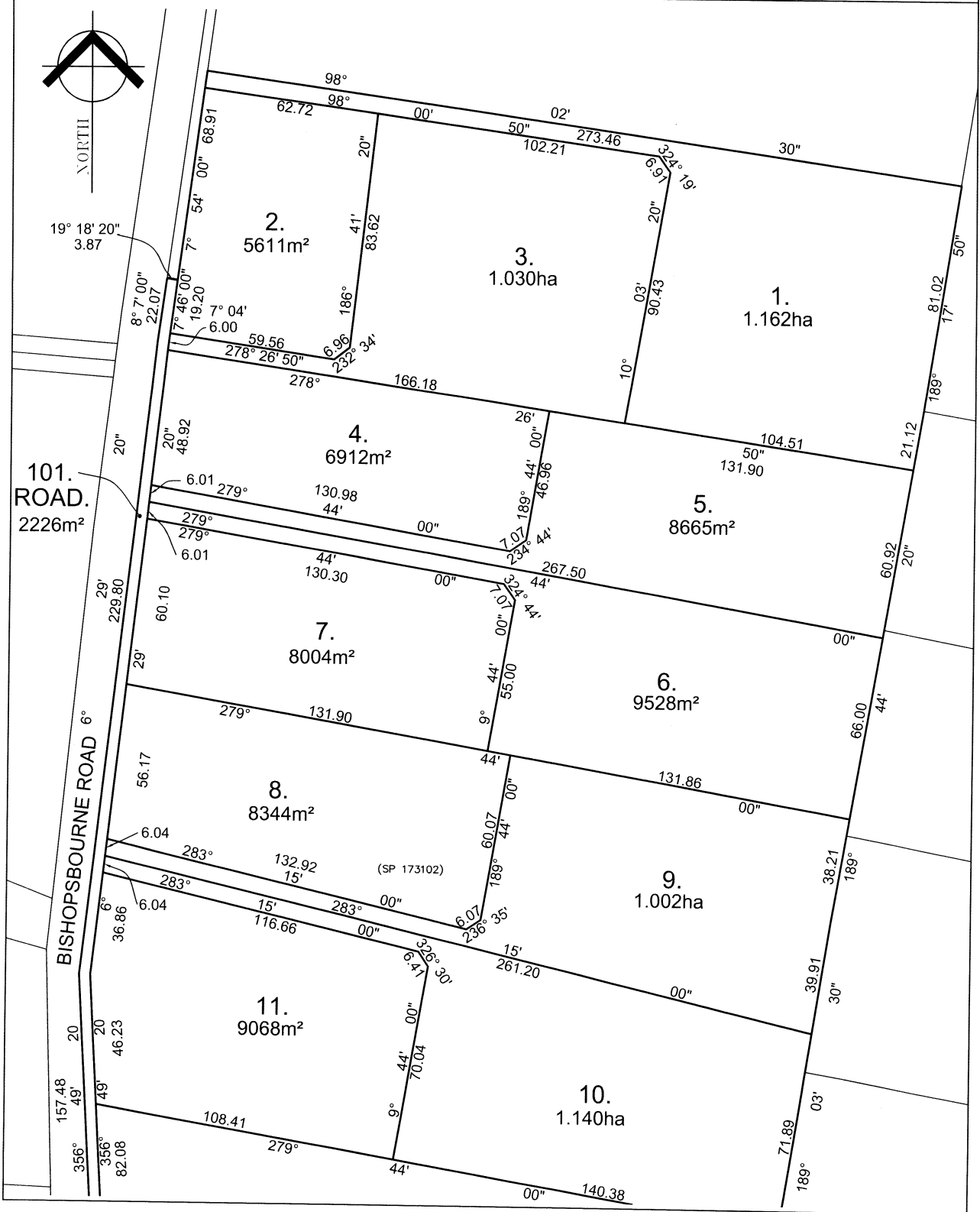
Reservations and conditions in the Crown Grant if any
[SP182018](#) FENCING COVENANT in Schedule of Easements
[SP173102](#) FENCING PROVISION in Schedule of Easements
[B189253](#) PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935 Registered 03-June-1988 at noon
[E372471](#) MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 07-Feb-2024 at 12.01 pm

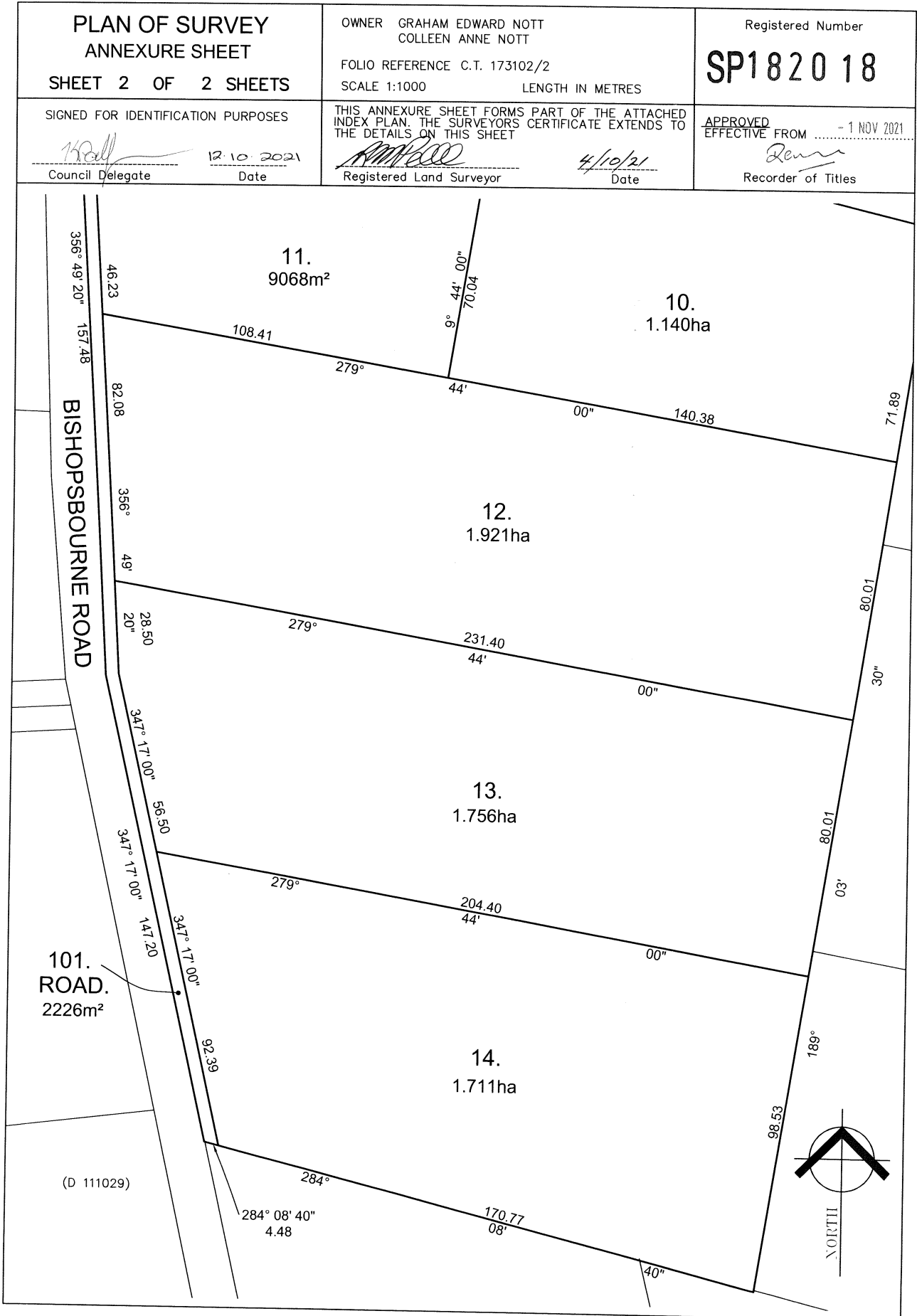
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER GRAHAM EDWARD NOTT COLLEEN ANNE NOTT</p> <p>FOLIO REFERENCE C.T. 173102/2</p> <p>GRANTEE PART OF LOT 53, 500 ACRES, WILLIAM BRYAN-PUR</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR R. M. PECK</p> <p>LOCATION</p> <p>LAND DISTRICT OF WESTMORLAND</p> <p>PARISH OF CARRICK</p> <p>SCALE 1:2000 LENGTHS IN METRES</p>	<p>Registered Number</p> <p>SP182018</p> <p>APPROVED EFFECTIVE FROM - 1 NOV 2021</p> <p><i>Deanna</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No 121	LAST UPI No	LAST PLAN No. SP 173102	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
			
<p><i>[Signature]</i> REGISTERED LAND SURVEYOR</p> <p>4/10/21 DATE</p>		<p><i>[Signature]</i> COUNCIL DELEGATE</p> <p>12.10.2021 DATE</p>	

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER GRAHAM EDWARD NOTT COLLEEN ANNE NOTT</p> <p>FOLIO REFERENCE C.T. 173102/2</p> <p>SCALE 1:1250 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 1820 18</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 12.10.2021 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i> 4/10/21 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM - 1 NOV 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>





<p style="text-align: center;">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p style="font-size: 2em; font-weight: bold;">SP 1820 18</p>
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PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING COVENANT

In respect of each Lot on the Plan the Vendors (Graham Edward Nott and Colleen Anne Nott) shall not be required to fence.

SIGNED by GRAHAM EDWARD NOTT)
 and COLLEEN ANNE NOTT as the Registered)
 Proprietors of the land comprised in Certificate)
 of Title Volume 173102 Folio 2 in the presence)
 of:)

Graham Nott
.....

Colleen Nott
.....


WITNESS SIGNATURE 

FULL NAME..... **Ryan Heath Gregson**
 OCCUPATION..... **Solicitor**
Clarke & Gee
 FULL ADDRESS..... **73 Paterson Street**
Launceston Tas 7250

SIGNATURE..... *Graham Nott*

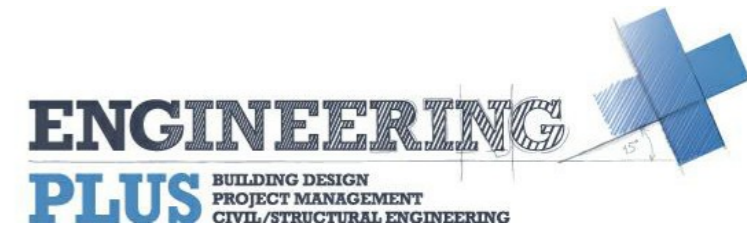
SIGNATURE..... *Colleen Nott*

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Graham Edward Nott & Colleen Anne Nott FOLIO REF: Certificate of Title Volume 173102 Folio 2	PLAN SEALED BY: Meander Valley Council DATE: <u>13 October 2021</u>
SOLICITOR & REFERENCE: Clarke & Gee (R.Gregson)	PA/21/0147 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

DRAWING SCHEDULE

A000 COVER PAGE
A101 SITE PLAN



PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	11.0 RURAL LIVING
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	182018/3
DESIGN WIND SPEED:	ASSUMED 'N3'
SOIL CLASSIFICATION:	ASSUMED 'H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBA
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	LOW
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

REVISION SCHEDULE

REVISION NO	DESCRIPTION	DATE	ISSUED BY
SK1	CONCEPT	24.02.26	J.N
A	DA SUBMISSION	25.02.26	J.N

Area Schedule (Gross Building)

Name	Area	Area (sq)
EXISTING DWELLING	514.20 m ²	55.35
EXISTING SHED	259.34 m ²	27.92
EXISTING SHIPPPING CONTAINERS	29.28 m ²	3.15
PROPOSED SHED (GARAGE)	96.00 m ²	10.33
	898.82 m ²	96.75

ISSUED FOR DEVELOPMENT APPROVAL PROPOSED SHED

PROJECT NO: EP2026-045

BRADY CLIFFORD RICHARDS
ERIN ROSE GRAY
69 BISHOPSBOURNE RD
CARRICK TAS 7291

MEANDER VALLEY COUNCIL



LOT 3
 TITLE: 182018/3
 PID: 9186513
 AREA: 1.030 ha

PROPOSED 12.0 x 8.0m SHED (GARAGE) DESIGNED BY OTHERS

NOTE:
 THE ENTIRETY OF THE PROPERTY LOT SITS WITHIN CARRICK SPECIFIC AREA PLAN LOCAL AREA OBJECTIVES; CARRICK SPECIFIC AREA PLAN; BUSHFIRE-PRONE AREAS.

LEGEND	
	SEWER
	EXISTING SEWER
	WATER
	EXISTING WATER
	STORMWATER
	EXISTING STORMWATER
	LOW LANDSLIP ZONE
	MEDIUM LANDSLIP ZONE
	HIGH LANDSLIP ZONE
	WATERWAY AND COASTAL PROTECTION ZONE
	BUSHFIRE MANAGEMENT ZONE
	FILLED AND BATTER BACK REGION
	CUT AND BATTER BACK REGION

DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE:
 ALL WORKS ARE TO COMPLY WITH BUT NOT LIMITED TO THE LATEST NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, A RELEVANT REPORT WILL BE PRESENTED. MEASUREMENTS INDICATED ON DRAWINGS ARE CLEAR DIMENSIONS TO STRUCTURAL FRAMELINE AND DO NOT INCLUDE PLASTERBOARD LININGS OR INTERNAL FINISHES. UNLESS OTHERWISE STATED, ALL PROPOSED INTERNAL WALLS ARE SHOWN AS STRUCTURAL STUDS ONLY. BUILDER IS TO VERIFY ALL INTERNAL WIDTHS AND CLEARANCES PRIOR TO CONSTRUCTION TO ENSURE STRICT COMPLIANCE WITH CURRENT NCC STANDARDS. SPECIAL ATTENTION MUST BE GIVEN TO MINIMUM CLEAR WIDTHS FOR ACCESSIBLE CORRIDORS, DOORWAYS, AND SANITARY COMPARTMENT REQUIREMENTS. BUILDERS MUST VERIFY ALL MEASUREMENTS, SERVICES, MATERIALS, AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS OR DISCREPANCIES FOUND. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS. DO NOT PROCEED WHERE DISCREPANCIES EXIST BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS. ENGINEERING PLUS DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION RESULTING FROM A FAILURE TO VERIFY SITE CONDITIONS OR ADHERE TO THE NCC STANDARDS MENTIONED ABOVE.

SITE PLAN
 SCALE 1 : 500

Accredited Building Designer
Designer Name : G. Pfeiffer
Accreditation No : CC2211T
Revision Number : A
Revision Description : DA SUBMISSION
Revision Date : 25.02.26
Revision Issued By : J.N

Date Drawn: 23.02.26
Drawn: J.Nguyen
Checked: R. Hall
Approved: J. Pfeiffer
Scale: As Shown @ A3

Client: BRADY CLIFFORD RICHARDS
 ERIN ROSE GRAY
Project: PROPOSED SHED
Address: 69 BISHOPSBOURNE RD
 CARRICK TAS 7291

DEVELOPMENT APPROVAL **EP2026-045** **A101**



Sheds & More

LAUNCESTON

QUOTE NUMBER
101247
3/02/2026
Quote Valid for 30 Days

Dear Brady Richards ,

Thank you for your enquiry. We are pleased to present our quote for your new Fair Dinkum Build.

Australia’s most trusted name in sheds and more.

We believe some of life’s best moments start in our sheds, garages, carports, patios, barns and storage units. We’re talking moments like completing that amazing car restoration, hosting a wonderful surprise party, dusting off the Christmas tree at the start of summer – or hearing all Dad’s classic jokes in while you prep the boat for a perfect day out on the water.

Nothing beats a Fair Dinkum. Our sheds are designed for one of the world’s most unforgiving climates and we’ve been supplying Fair Dinkum Aussie quality builds for over 30 years.

Skyline Roofing & Sheetmetal have been supporting the local community in Northern Tasmania for nearly 40 years in the roof, cladding and shed industry. You can rely on our experience and expertise to ensure you get the shed you need!!

CUSTOMER DETAILS			
Customer Name: Brady Richards		Mobile:	
Site Address: 69 Bishopsbourne Road Carrick 7291		Email: Admin@onefab.net.au	
BUILDING SUMMARY		DESIGN FACTORS	
Span	8m	Importance Level	2
Length	12m	Wind Region	Reg A
Bay Width	4.1m, 4m and 3.9m x 3 bay(s) at 4m each	Terrain Category	TCat 2.5
Eave Height	3m	Topography	1
Roof Pitch	Gable 30Deg	Shielding Factor	1
Left Lean-to		Internal Pressure	-0.6, 0.64
Right Lean-to		Site wind speed in m/s	39.3

Should you need to discuss any part of your quote, please do not hesitate to reach out to our expert team.

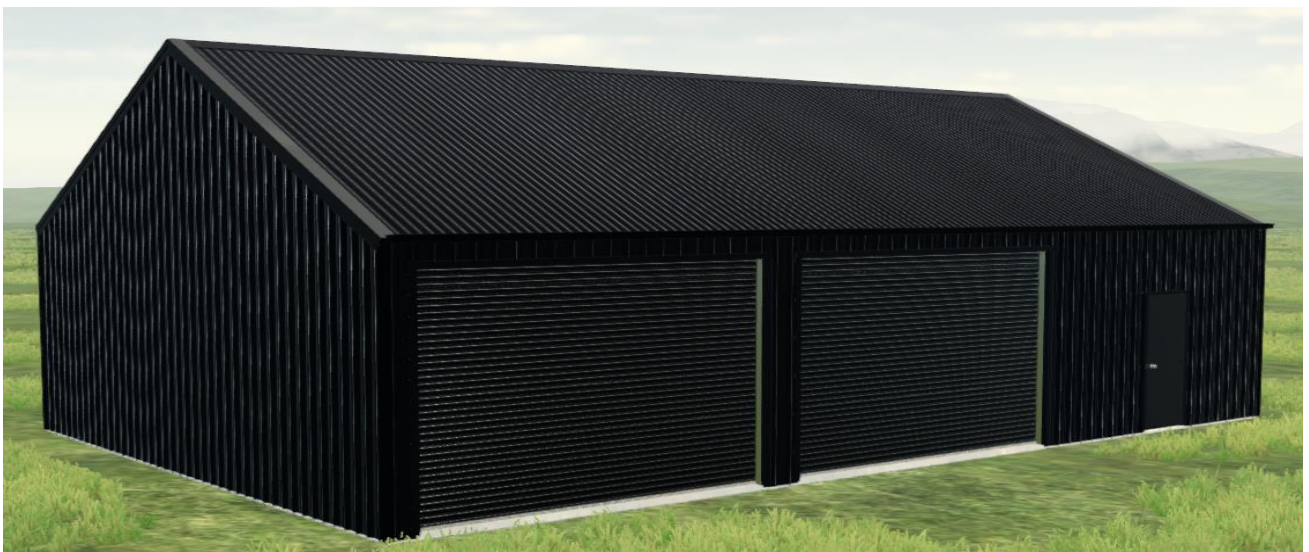
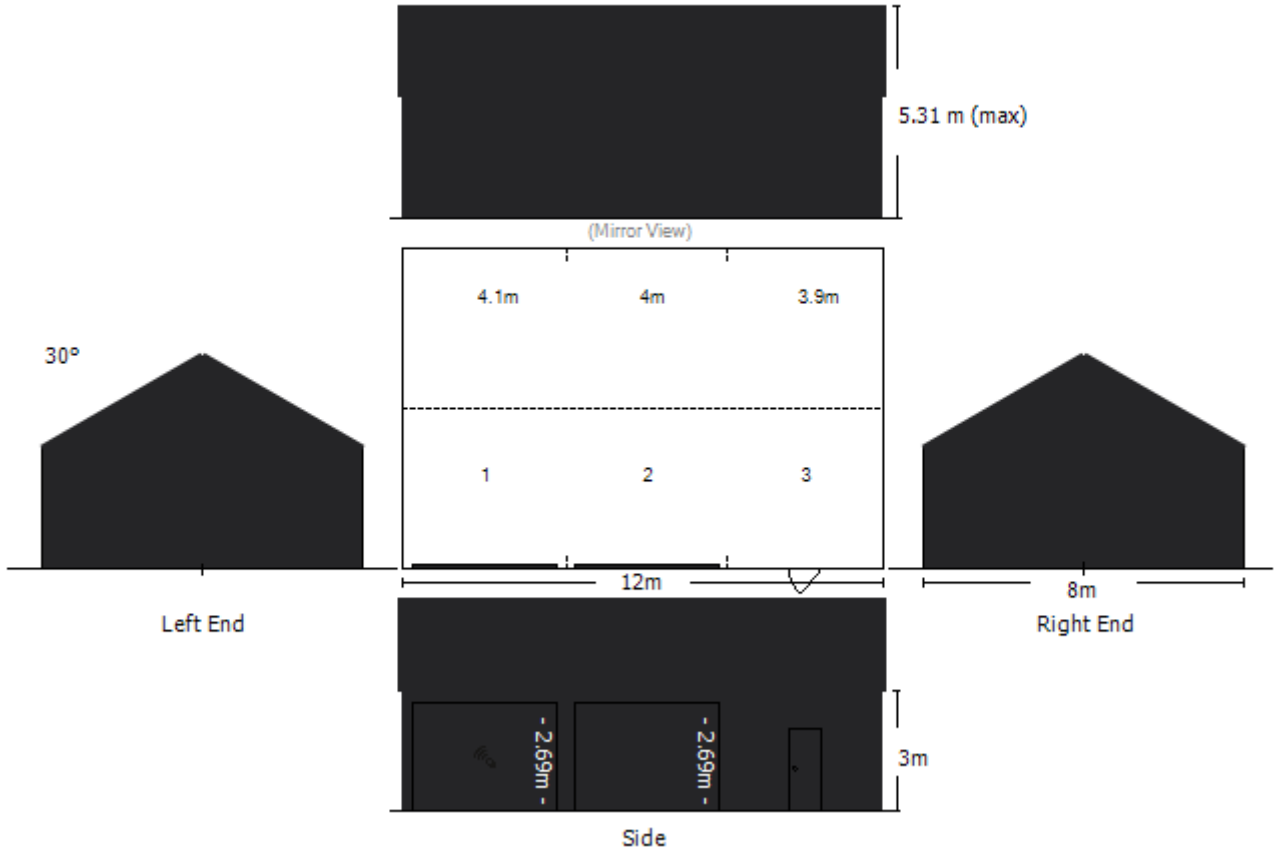
Kalem Richardson
SHED SALES MANAGER

Fair Dinkum Builds Launceston is part of locally owned Skyline Roofing & Sheetmetal
99 to 103 Forster Street, INVERMAY TAS 7248
P: 03 6334 5535 E: sales@launcestonsheds.com.au

Launceston Sheds Pty Ltd (ABN: 21 679 529 170), trading as Fair Dinkum Builds Launceston.
Fair Dinkum Builds™ is a trade mark used under licence from Stramit Corporation Pty Limited, ACN 005 010 195.

LAUNCESTON

YOUR DESIGN



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LAUNCESTON

BUILDING DETAILS		CUSTOMER INITIAL	INTERNAL CHECK
Wall Sheeting	Monoclad TCT 0.47, CB COLORBOND® NIGHT_SKY		
Roof Sheeting	Corrugated TCT 0.47, CB COLORBOND® NIGHT_SKY		
Roller Doors	2 x 2.80h X 3.70 CB *Series AA COLORBOND® NIGHT_SKY		
Roller Door Motors	1 x RoDoor Motor in Bay 1 of FRONT wall : SilntDrv Essen 655MYQ 16.5m2 Max		
PA Door	1 x Personal Access Door in CENTRE of Bay 3 of FRONT wall. COLORBOND® NIGHT_SKY		
Gutter	Quad 115 Plain Gutter CB COLORBOND® NIGHT_SKY		
Downpipes	No downpipes or gutter pops are supplied with your building		
Barge Flashings	COLORBOND® NIGHT_SKY		
Corner Flashings	COLORBOND® NIGHT_SKY		
Door Flashings	COLORBOND® NIGHT_SKY		

OPTIONAL EXTRAS			
Skylights			
Divider Walls			
Glass sliding door			
Windows			
Insulation			
Whirlybirds			
Mezzanine			
Mezzanine Stairs			
Commercial Slide Door			

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LAUNCESTON

MATERIAL SPECIFICATION

Columns	C20024	Purlins	Z10010
Rafters	C20024	Side Girts	Z10010
Knee/Apex Brace	C15012	End Girts	Z10010
Left Lean-to Column		Right Lean-to Column	
Left Lean-to Rafter		Right Lean-to Rafter	

FOOTING

SLAB

Min 100mm Slab thickened locally under each column by BORED footing

Concrete in Vertical Bored hole locally under each column 450mm x 300mm Diameter x Depth

The above foundation details are only suitable for soil classification A.S. or M and S.B.V. 100 kPa min. For other soil types refer to a registered structural engineer.

Refer to sheet No '4' in plans for details other than shown on specification sheet and footing diagram sheet



**MADE WITH
GENUINE
COLORBOND®
STEEL**

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Sheds & More

LAUNCESTON

PRICE FOR SUPPLYING YOUR BUILDING

	YOUR KIT ONLY PRICE
TOTAL PRICE	\$22,262.00
	Incl. GST & Delivery

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LAUNCESTON**TERMS & CONDITIONS****ENGINEERING PLANS FOR YOUR BUILDING**

Launceston Sheds Pty Ltd can supply your engineering plans for Council approval. Please note, these plans are not site-specific plans such as a Site Layout Plan or Drainage Plan. You will need to contact a Building Designer for this or talk to us and we can organise this component of the project for you. To obtain engineering plans a 15% deposit of your kit amount is to be paid, this will be deducted off the total cost of your quote.

PAYMENT FOR YOUR NEW STEEL BUILDING

The following payment terms are required with Launceston Sheds Pty Ltd:

15% of your kit amount for your Engineering Plans only;

60% deposit to proceed with ordering your shed kit;

\$500 deposit for Build + \$500 deposit for Slab & Footing costs at the time of ordering your kit with the balance to be paid one week in advance of the build & slab dates.

25% remaining balance of your shed kit due one week prior to delivery.

PAYMENT DETAILS

We offer the following payment methods to Clients, noting that there are fees associated with some payment methods.

Cash in person

Credit Card in person only (We do not offer over the phone payment for sheds) **PLEASE NOTE:** *incurs a 2% surcharge*

Direct credit into our bank is available, in this instance individual invoices will be raised by our accounts department and submitted to you for payment once quote has been accepted.

MISSING/DAMAGED COMPONENTS OR LATE DELIVERY

From time-to-time, there may be a component missing or damaged from your kit. While we endeavour to ensure 100% supply of materials on time and in good condition as agreed, where it occurs that a component is missing or damaged, Launceston Sheds Pty Ltd are not liable for associated costs. These may include but not be limited to unreasonable express/overnight freight costs, costs for labour for any personnel erecting the kit, delay costs, machinery/plant costs or the like. What we do guarantee you is that if a component is missing, we will ensure a timely replacement time frame by any means that we have available for sourcing a replacement item for the same cost as the original. The same is applicable where delivery may be delayed due to circumstances outside of our control.

DELIVERY OF YOUR KIT

Delivery of your kit is on a date as agreed between both parties. Should you request a specific location for your kit to be dropped off, we will endeavour to meet this requirement however this will be subject to the space requirements, accessibility and the capability of the crane truck to reach the desired area. We will not be held responsible for any relocation costs.

SCREWS & GLAZED ITEMS

Due to past instances of screws and glazed items going missing from kits when delivered onsite, more so in remote areas, we keep your screws and glazed items in our store for you to collect from us when you are ready to commence construction of your kit. Where you wish to have these items delivered with your kit, you must notify us 7 days prior to delivery so we can organise this with our carrier. Failure to notify us will mean we have assumed for all intents and purpose that you intend on collecting these components from us. Should this not be the case, Launceston Sheds Pty Ltd will not be held liable for freight costs or any other costs listed under the section titled "MISSING/DAMAGED COMPONENTS OR LATE DELIVERY".

CONFIRMATION OF ORDER

You are responsible for checking your order upon delivery, in accordance with the Bill of Materials (BOM) supplied by Launceston Sheds Pty Ltd, to ensure all components are supplied and are in an acceptable condition. This check must be completed within 14 days of delivery. At this time, it will be deemed that you have checked your order and you are satisfied with the quantity and condition of the building and all materials supplied.

AGREEING TO THESE TERMS & CONDITIONS

By signing this quote, you are agreeing to the Terms & Conditions set out herein and agree to purchase the building at the agreed price to the agreed measurements including options and accessories as per this quote and agreement.

Therefore, no changes are possible after this time. By signing this quotation, you confirm that you have read and

understand the terms and conditions of sale and supply set out herein and that you wish to place the order as

specified. You acknowledge that no responsibility will be accepted by Launceston Sheds Pty Ltd for goods which are held longer than 2 weeks from the date of delivery.

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LAUNCESTON

CONFIRMATION OF ORDER

I hereby agree to place this order based on the details of the steel building and terms and conditions provided within this document.

CLIENT NAME:

CLIENT SIGNATURE:

**PLEASE INITIAL EACH PAGE & COLOURS
LISTED UNDER BUILDING SUMMARY**

DATE:

OUR COMMUNITY

For over a decade, we've proudly supported the Australian Men's Shed Association as the exclusive shed partner and provided direct funding and discounts to more than 150 local Men's Sheds throughout Australia.

From hosting bbqs to recycling scrap materials, we encourage our network of branches to work closely with their local Men's Shed to build relationships and discuss opportunities on a local level. We also offer support through signage, online promotion, templates and other materials.

mensshed.org



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