

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0211
APPLICANT:	BVZ Designs
SITE:	49 Clance Avenue, Prospect Vale (CT: 189929/75)
PROPOSAL:	Multiple dwellings (2 Units) - setbacks, privacy, car parking numbers, parking areas.

The application can be inspected until Monday, 30 March 2026, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 14 March 2026.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



Meander Valley Council
Working Together

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="49 CLAME AVENUE"/>	Certificate of Title:	<input type="text" value="189929"/>
Suburb:	<input type="text" value="PROSPECT VALLE"/> <input type="text" value="7250"/>	Lot No:	<input type="text" value="75"/>
Land area:	<input type="text" value="713"/> m ²		
Present use of land/building:	<input type="text" value="VACANT LAND"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---------------------------------------------------|----------------------------------------|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 189929	FOLIO 75
EDITION 1	DATE OF ISSUE 13-Feb-2026

SEARCH DATE : 04-Mar-2026

SEARCH TIME : 08.35 am

DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL
 Lot 75 on Sealed Plan [189929](#)
 Derivation : Part of 375A-1R-0P Gtd. to James Goodger
 Prior CT [189623/1004](#)

SCHEDULE 1

[N176448](#) TRANSFER to TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD
 Registered 18-Mar-2024 at 12.01 pm

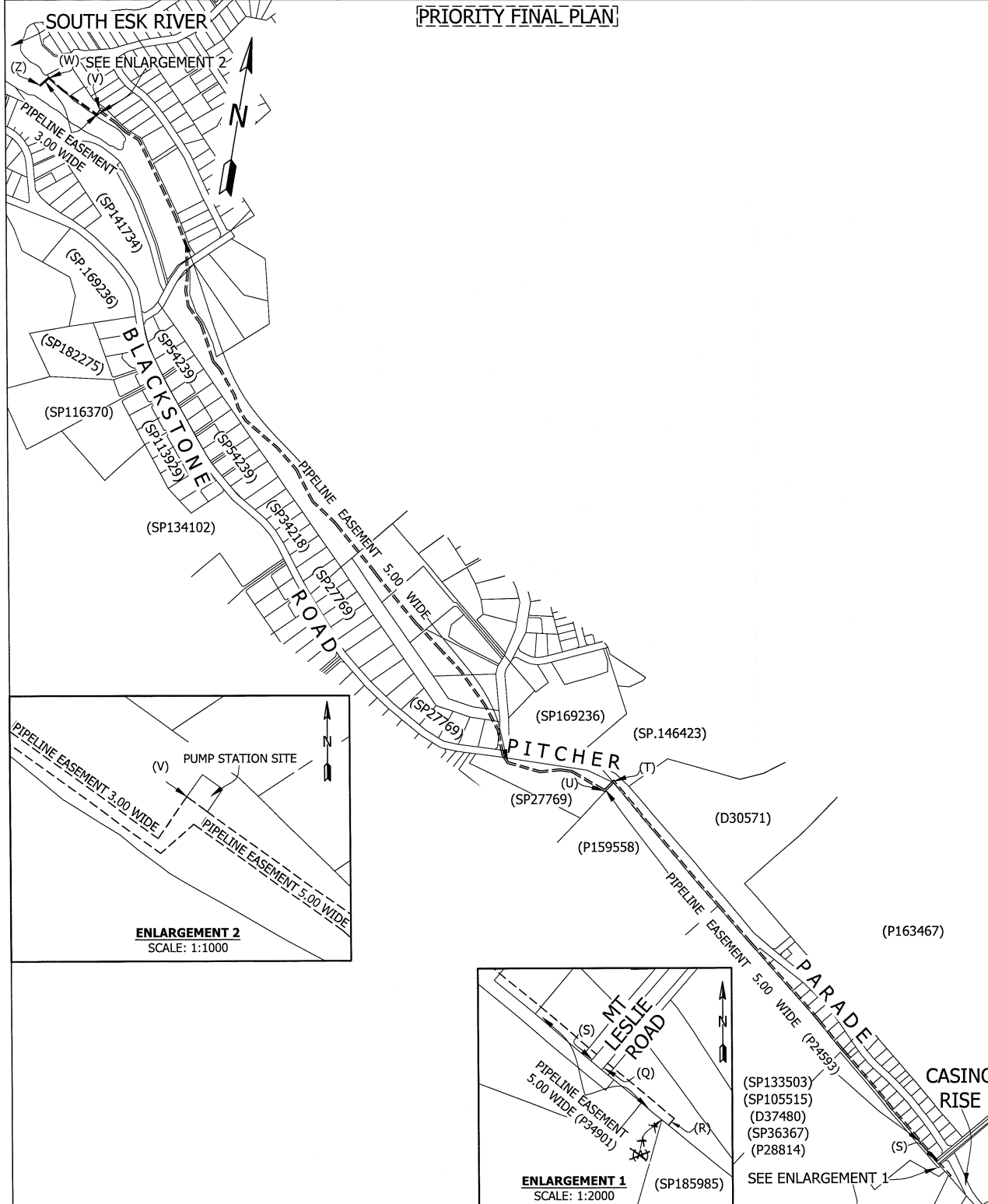
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP189929](#) EASEMENTS in Schedule of Easements
[SP189929](#) FENCING PROVISION in Schedule of Easements
[SP185985](#), [SP186417](#), [SP187707](#), [SP188351](#), [SP188889](#) & [SP189623](#)
 FENCING PROVISION in Schedule of Easements
[SP10386](#) & [SP18481](#) FENCING COVENANT in Schedule of Easements
[E172256](#) INSTRUMENT Creating Restrictive Covenants Registered
 13-Feb-2026 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

[N145303](#) PRIORITY NOTICE reserving priority for 90 days
 TRANSFER TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD TO
 LIDA DJAMOSI DEZFULI AND MATEO FIROOZBAKHT AS TRUSTEE
 FOR THE DJAMOSI & FIROOZBAKHT FAMILY TRUST Lodged by
 SIMMONS WOLFHAGEN on 17-Feb-2026 BP: [N145303](#)

<p>PLAN OF SURVEY</p> <p>Woolcott LAND SERVICES</p> <p>ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: C.T.189623/1004</p> <p>SCALE 1:10000 LENGTHS IN METRES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 29/01/2026 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 8/02/25 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 13 FEB 2026</p> <p><i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189929

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

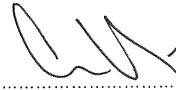
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EXISTING EASEMENTS CARRIED FORWARD FROM CERTIFICATE OF TITLE VOLUME 189623 FOLIO 1004

1. Lot 1004 on the Plan is subject to a pipeline easement (as fully defined in dealing no. C381576) in favour of the Meander Valley Council over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
2. Lot 1004 on the Plan is subject to a right of carriage way (appurtenant to lot 8 on Plan No. 23068) over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
3. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. B805803) in favour of Tasmania Irrigation Pty Ltd (ACN 722 799 075) over the land marked "PIPELINE EASEMENT "E" 5.00 WIDE" on the Plan (subject to the provisions contained in dealing B805803).
4. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. C98558) in favour of TasWater over the land marked "PIPELINE EASEMENT 5.00 WIDE" shown on the Plan (subject to provisions contained in dealing C98558).
5. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with water supply pipeline and pump rights (as fully defined in dealing no. A979664) over the land marked "PIPELINE EASEMENT 5.00 WIDE" and the land marked "PIPELINE EASEMENT 3.00 WIDE" and also marked "STUVWZ" and "PUMP STATION SITE" as shown on the Plan.




.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD FOLIO REF 189623/1004 SOLICITOR Con Tsamassiros, Butler McIntyre & Butler & REFERENCE: CT:242733	PLAN SEALED BY: <i>Meander Valley Council</i> DATE: <i>29.10.11.2026</i> <i>PA12210243</i> REF NO. <i>PA12210243</i>  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

6. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with the full right and liberty for the registered proprietor for the time being (which registered proprietor is hereinafter referred to as "the Owner") of the said land within described (which land is hereinafter referred to as "the Dominant Land") to draw and convey water from the South Esk River to the Dominant Land by means of a water supply pipeline installed or to be installed as hereinafter appears within that portion of the land marked "PIPELINE EASEMENT 5.00 WIDE" and also marked "Q R" on the Plan (and which portion of land is hereinafter referred to as "the Servient Land") and to install lay relay inspect maintain repair renew remove and cleanse a one hundred and fifty millimetre water supply pipeline along within and under the Servient Land and at a depth where practicable of at least on half of a metre below the surface together with all such sluice and other valves manholes inspection openings stopcocks and other fittings of whatever nature as may be necessary.

7. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183692 is together with the full right and liberty for the owner of the Dominant Land for the purposes set forth herein to enter upon the Servient Land at any time with or without inspectors workmen servants agents or other persons authorised by the owner of the Dominant Land to pass and repass on foot or with motor vehicles in over along and upon the Servient Land PROVIDED THAT the water supply pipeline shall be of such strength and so jointed in every part as not to permit the escape of any water passing through the same AND PROVIDED FURTHER THAT the owner of the Dominant Land shall make good any damage or disturbance which may be caused to the Servient Land in relation to any installation inspection maintenance repair renewal removal replacement of cleaning of the water supply pipeline.

NEW EASEMENTS CREATED


8. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

9. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

10. Lots 102, 103, 104, 105, 106 and 107 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.



.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
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11. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
12. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
13. Lot 107 on the Plan is subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 3.00 WIDE" as shown passing through Lot 107 on the Plan.

FENCING PROVISION

In respect of the Lots shown on the Plan the Vendor, Tasmanian Country Club Properties Pty Ltd, shall not be required to fence.

DEFINITIONS

In this Schedule of Easements:

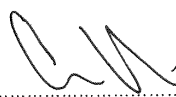
The **Pipeline and Services Easement** is defined to mean:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the subject lot from the highway at any then existing vehicle entry and cross the subject lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the subject lot.

PROVIDED ALWAYS THAT:

- (a) The registered proprietors of each Lot on the Plan that are subject to the **Pipeline and Services Easement** (each described as "the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (i) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (ii) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (iii) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (iv) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (v) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (vi) permit or allow any action which the Owner must not do or acquiesce in that action.
 - (vii) TasWater is not required to fence any part of the Easement Land.
- (b) The Owner may erect a fence across the Easement Land at the boundaries of the subject Lot.
- (c) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (i) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (ii) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (d) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (e) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (i) reinstate the ground level of the Easement Land; or
 - (ii) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (iii) replace anything that supported, protected or covered the Infrastructure.

And for the purpose of the definition of **Pipeline and Services Easement** and this Schedule of Easements:



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (i) sewer pipes and water pipes and associated valves;
- (ii) telemetry and monitoring devices;
- (iii) inspection and access pits;
- (iv) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (v) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (vi) anything reasonably required to support, protect or cover any of the Infrastructure;
- (vii) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (ix) where the context permits, any part of the Infrastructure.

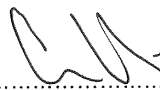
“Easement Land” means the land described as:

- (i) “Pipeline and Services and Drainage Easement 4.00 Wide and Variable Width”; and
- (ii) “Pipeline and Services and Drainage Easement 3.00 Wide”;
- (iii) “Pipeline and Services Easement 3.00 Wide”

“TasWater” means the Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

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<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

Executed by **Tasmanian Country Club Properties Pty Ltd** (ACN 647 888 873) pursuant to section 127(1) of the *Corporations Act 2001* (Cth) by the signature of two of its directors:



Daniel Joseph Hanna - Director



Colin Paul Dewhurst - Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

RIVERSIDE 7250

P. 0407 272 381

E. BVZDESIGNS@GMAIL.COM

LICENCE NUMBER 957699796

Reply to the planning scheme for
49 Clance Avenue Prospect Vale 7250 189929/75

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 – Acceptable solution compliant

8.4.2 Setbacks and building envelope for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

P2

A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.

P2 – While the acceptable solution requires garages to be set back 5.5m from the front boundary. The intent of this is to allow a car to be parked in front of the garage door and not have the rear of the vehicle extend out past the title boundary. This all assumes the garage door to be parallel to the street boundary, so the parking is perpendicular.

In this case, the garage door is perpendicular to the street boundary, so will not have parking issues as detailed above. Then from the streetscape point of view, the 4.5m will match in with an acceptable solution in any other room of a dwelling as without a garage door facing the street, it will not be obvious what the use inside the brick/clad wall will be.

P3

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or

(ii) another dwelling on the same site.

P3 –

(a) Not cause an unreasonable loss of amenity to adjoining properties, having regard to: (i) Reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property

The proposed unit development, with compliant setbacks, ensures no unreasonable sunlight loss to habitable rooms on adjoining properties. The grade necessitates retaining walls, mostly cut, which do not increase overshadowing. The low-side fill wall, under 1m, aligns with the acceptable solution, preserving neighbouring amenity.



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

RIVERSIDE 7250

P. 0407 272 381

E. BVZDESIGNS@GMAIL.COM

LICENCE NUMBER 957699796

(ii) Overshadowing the private open space of a dwelling on an adjoining property

The development's compliant setbacks and cut retaining walls minimise overshadowing of neighbouring private open spaces. The grade is managed with low-impact design, and the fill retaining wall, under 1m, ensures minimal shadow impact, maintaining consistency with the area's established properties and preserving neighbour amenity.

(iii) Overshadowing of an adjoining vacant property

The unit development's siting, with compliant setbacks, avoids overshadowing vacant adjoining properties. The grade is addressed with cut retaining walls, and the low-side fill wall, under 1m, ensures negligible shadow impact, aligning with the subdivision's character and protecting future development potential on neighbouring lots.

(iv) Visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property

The units' compliant setbacks and low-profile design respect the area's scale. Retaining walls, mostly cut, enhance privacy, while the fill wall, under 1m, minimises visual bulk. This ensures the development blends with neighbouring properties, maintaining a cohesive streetscape without imposing on adjoining views.

(b) Provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area

The development's compliant setbacks align with neighbouring properties' separation distances. The steep grade is managed with cut retaining walls, preserving privacy and space. The fill wall, under 1m, ensures minimal visual impact, maintaining consistency with the established separation patterns in the subdivision.

(i) An adjoining property

The unit development's compliant setbacks and low-profile retaining walls ensure no unreasonable sunlight reduction to solar installations on adjoining properties. The grade is managed with cut walls, and the fill wall, under 1m, minimises shadowing, preserving solar access for neighbouring properties.

(ii) Another dwelling on the same site

As a standalone unit development, no other dwellings exist on the site to impact. The compliant setbacks and low-height retaining walls, primarily cut, ensure the design respects the steep grade without affecting potential future solar installations, maintaining site-specific amenity.

8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant



BRADLEY VAN ZETTEN

4 EDEN HILLS DRIVE

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LICENCE NUMBER 957699796

8.4.6 Privacy for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

P3 – Both units main bedroom window is within 2.5m of the common driveway, but this is only on the angle and the driveway is not in front of the bedrooms, so vehicles using the driveway will be not be shining any light directly into the other units bedroom window.

8.4.7 Frontage fences for all dwellings

A1 – Acceptable solution compliant

8.4.8 Waste storage for multiple dwellings

A1 – Acceptable solution compliant

C2.5.1 Car parking numbers

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms;and
- (c) the pattern of parking in the surrounding area.

P1.2

(a) Each unit has two spots dedicated to itself. This is compliant with the acceptable solution with the development just having the omission of the visitor spots so the residents themselves all have onsite parking, so the average two-car household.

The site is a “typical” rectangle lot square to the street, so there will be an additional 2 parking spaces along the front boundary of on street parking.

(b) The proposed units are at the smaller end of units/houses, so it would not be expected that the average occupancy would have more than 2 vehicles, and with the above point, there is ample on-street parking for visitors parking, which is the spot that omitted from the acceptable solution.

(c) The other subdivision units also do not have a visitor parking space. So this development will match the neighbouring property perfectly.

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', with a horizontal line extending to the right.

Bradley Van Zetten

LEGEND
 PAGE 1# COVER PAGE
 PAGE 2# EXISTING SITE SURVEY PLAN
 PAGE 3# SITE PLAN
 PAGE 4# LANDSCAPING PLAN
 PAGE 5# STRATA PLAN
 PAGE 6# SITE PLUMBING PLAN
 PAGE 7# CAR PARKING PLAN
 PAGE 8# SOIL AND WATER MANAGEMENT PLAN
 PAGE 9# UNIT 1 – FLOOR PLAN
 PAGE 10# UNIT 1 – FLOOR PLAN WITH DIMENSIONS
 PAGE 11# UNIT 1 – ROOF PLAN
 PAGE 12# UNIT 2 – FLOOR PLAN
 PAGE 13# UNIT 2 – FLOOR PLAN WITH DIMENSIONS
 PAGE 14# UNIT 2 – ROOF PLAN
 PAGE 15# ELEVATIONS
 PAGE 16# ELEVATIONS

COUNCIL – MEANDER VALLEY COUNCIL
 ZONE – GENERAL RESIDENTIAL
 CODE – BUSHFIRE PRONE AREA
 – PRIORITY VEGETATION AREA
 LANDSLIDE BAND – NIL
 SPECIFIC AREA PLAN – MEA-S22.0

TITLE REFERENCE – 189929/75

BUSHFIRE-PRONE AREA BAL RATING LOW
 AS PER SUBDIVISION BUSHFIRE REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
 REFER TO ENERGY REPORT BY 2DR

PROPOSED UNIT DEVELOPMENT FOR DJAMOSI & FIROOZBAKHT FAMILY TRUST AT 49 CLANCE AVENUE PROSPECT VALE 7250

ALPINE AREA – N/A LESS THAN 900m AHD
 OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
 BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
 HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
 PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
 THEN THESE MUST BE CONFIRMED ONSITE BY A
 SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
 'APPROVED' PLANS BY BUILDING SURVEYOR AND
 PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
 COMPLIANT WITH NCC PART 10.8 CONDENSATION
 MANAGEMENT.

NOTES
 (1) REFER TO THE GUIDANCE IN THE "CONDENSATION IN
 BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
 AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
 READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
 ANOMALY OR AMBIGUITY WITHIN THE
 DOCUMENTATION IS FOUND, THE DESIGNER IS TO BE
 CONTACTED PRIOR TO ANY MORE CONSTRUCTION
 CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
 THAT THE NOTED DIMENSIONS ARE USED FOR
 ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER



DESIGNS

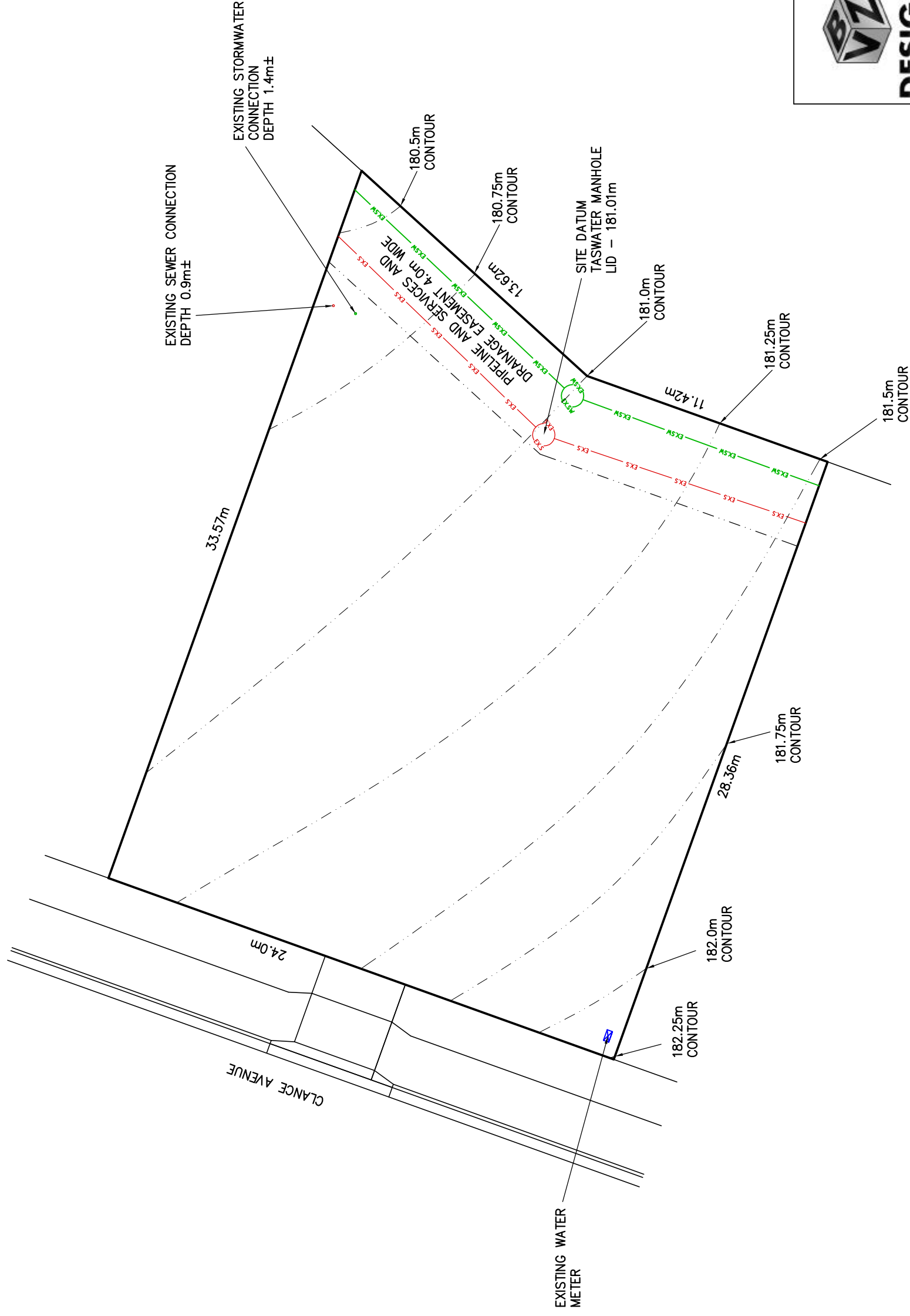
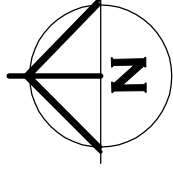
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REVISION NUMBER	DATE
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REVISION 2	05 / 03 / 2026
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EXISTING SITE SURVEY PLAN

REVISION NUMBER	DATE
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DRAWING: EXISTING SITE SURVEY PLAN

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR
DJAMOSI & FIROZBAKHT FAMILY TRUST
AT 49 CLANCE AVENUE
PROSPECT VALE 7250

DESIGNED: B. v. Z.

DRAWN: B. v. Z.

SCALE -- A3 -- 1:200.

APPROVED. DATE: 12 / 03 / 26

DRAWING No.:
DJA0326 -- 2/16

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SITE AREA TABLE FOR STORMWATER DETENTION		PERCENTAGE OF LOT
SITE AREA	713	49.6
ROOF AREA OF UNITS	354	
SEALED GROUND AREA (EXCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	162	22.7
AREA FREE FROM IMPERVIOUS SURFACES	197	27.6

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1



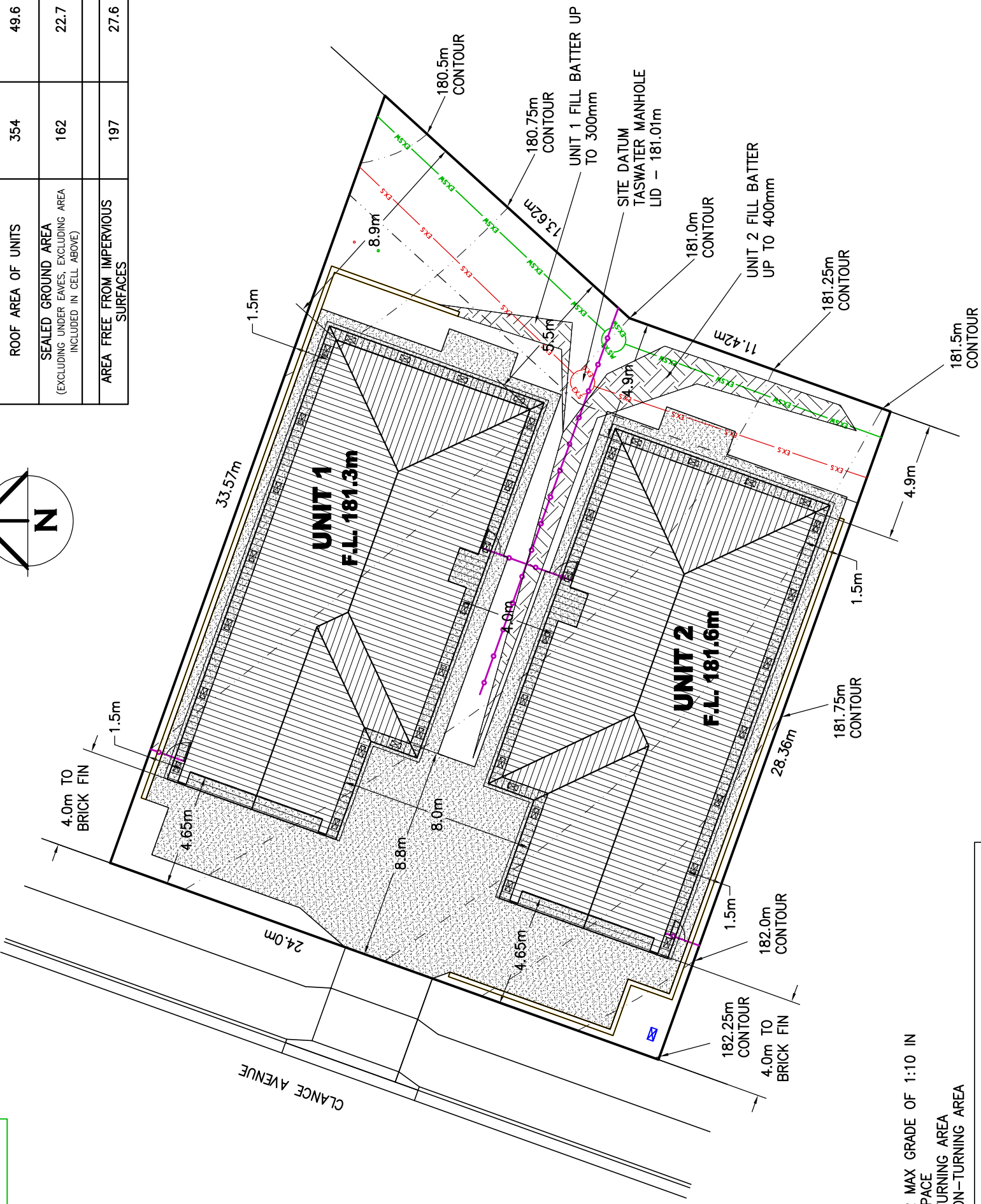
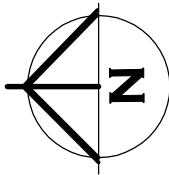
TABLE 3.2.1: SOIL TYPE	EMBANKMENT SLOPES H:L
STABLE ROCK	COMPACTED FILL CUT
SAND	3:3
CLAY	1:2
FIRM CLAY	1:2
SOFT CLAY	NOT SUITABLE
SOFT SOILS	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
 (A) WITHIN THE ALLOTMENT; AND
 (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
 (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
 (A) BE PLACED WITHIN THE ALLOTMENT; AND
 (B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
 (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
 (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
 (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
 (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE FOR PLANNING SCHEME		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	713	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	301	42.2
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	215	30.2
AREA FREE FROM BUILDING AND DRIVEWAY AREA	197	27.6



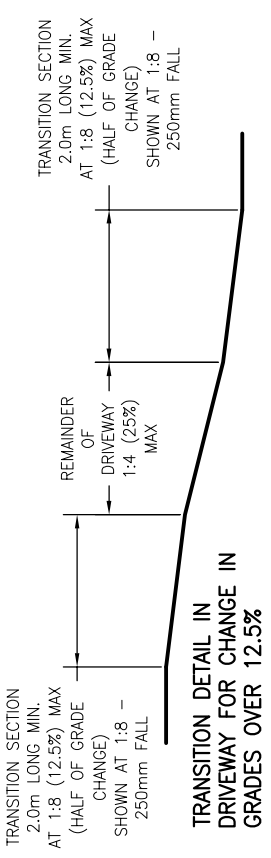
SITE PLAN

BOTH UNITS ARE SETOUT IS PARALLEL TO SOUTH SIDE BOUNDARY

- "ORANGE" COLORED LINES FOR CONCRETE BLOCK RETAINING WALL
- CUT RETAINING WALL UP TO 1.2m HIGH
- FILL RETAINING WALL UP TO 0.6m HIGH

CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
 1:10 DRIVEWAY TURNING AREA
 1:4 DRIVEWAY NON-TURNING AREA

SEALED DRIVEWAY TO FALL TO PITS, ASPHALT OR CONCRETE.
 5% (1:20) MAX GRADE FOR PARKING AREA
 10% (1:10) MAX GRADE FOR DRIVEWAY TURNING AREA
 25% (1:4) MAX GRADE FOR DRIVEWAY NON-TURNING AREA
 TRANSITION – CHANGE IN GRADES IN EXCESS OF 12.5% (1:8). GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES. TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES, MAX 12.5% (1:8).



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DRAWING: SITE PLAN

DESIGNED: B. v. Z. APPROVED. DATE: 12 / 03 / 26

DRAWN: B. v. Z.

SCALE – A3 – 1:200. DRAWING No.: DJA0326 – 3/16

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BORONIA ANEMONIFOLIA
STICKY BORONIA
MATURE HEIGHT APPROX. 1.5m



LEUCOPYTHA BROWNII
CUSHION BUSH
MATURE HEIGHT APPROX. 1.0m



SEDUM SPECTABILE
ICE PLANT
MATURE HEIGHT APPROX. 0.7m



DIANELLA TASMANICA
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT TO BE PLANTED. SIMILAR VARIATIONS MAY BE INSTALLED AT TIME OF PLANING



SIR WALTER BUFFALO OR SIMILAR GRASS



15mm-20mm 'NO FINES' DECORATIVE STONE OR MULCH TO ALL GARDEN BEDS.



SEALED DRIVEWAY TO FALL TO PITS



PRIVATE OPEN SPACE 6x4m OR 5x5m MAX GRADE 1:10



CLOTHES LINE
CRUSHED GRAVEL PATH OR STEPPING STONE PAVERS TO CLOTHES LINE



1.7x0.9m WHEELIE BIN STORAGE MINIMUM 1.5m²



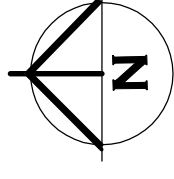
L LETTERBOX



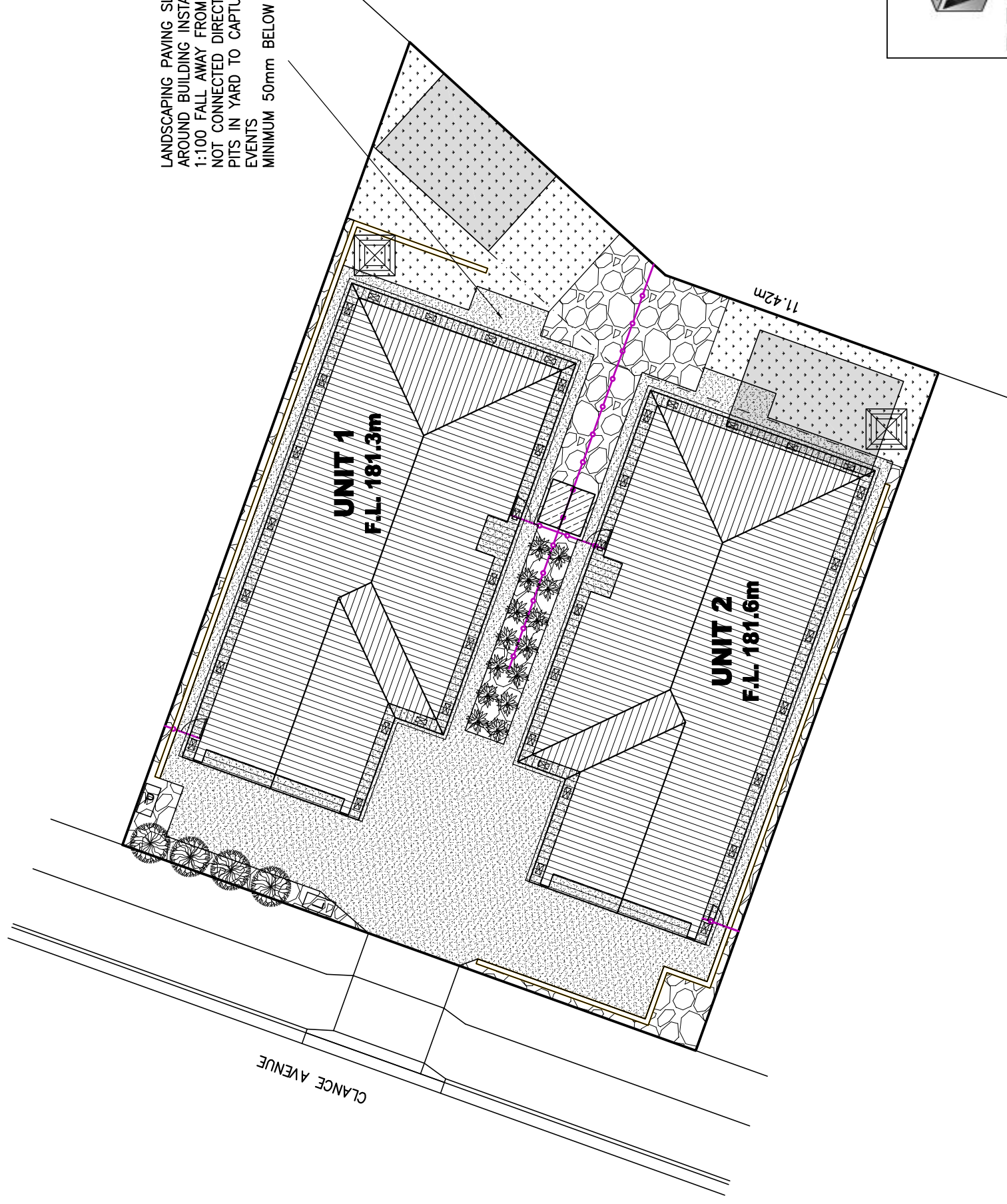
P MAIN POWER BOARD LOCATED WITHIN COMMON GROUND



"MAGENTA" 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.



LANDSCAPING PAVING SLAB OR PAVERS, AND PATH AROUND BUILDING INSTALLED SEPARATE TO FOOTINGS WITH 1:100 FALL AWAY FROM DWELLING TO PERVIOUS AREA. NOT CONNECTED DIRECTLY INTO STORMWATER SYSTEM. PITS IN YARD TO CAPTURE WATER RUN OFF IN HIGH RAIN EVENTS
MINIMUM 50mm BELOW FLOOR LEVEL



LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 128 sq/m
PRIVATE YARD AREA UNIT 2 = 96 sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER



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DRAWING: LANDSCAPING PLAN

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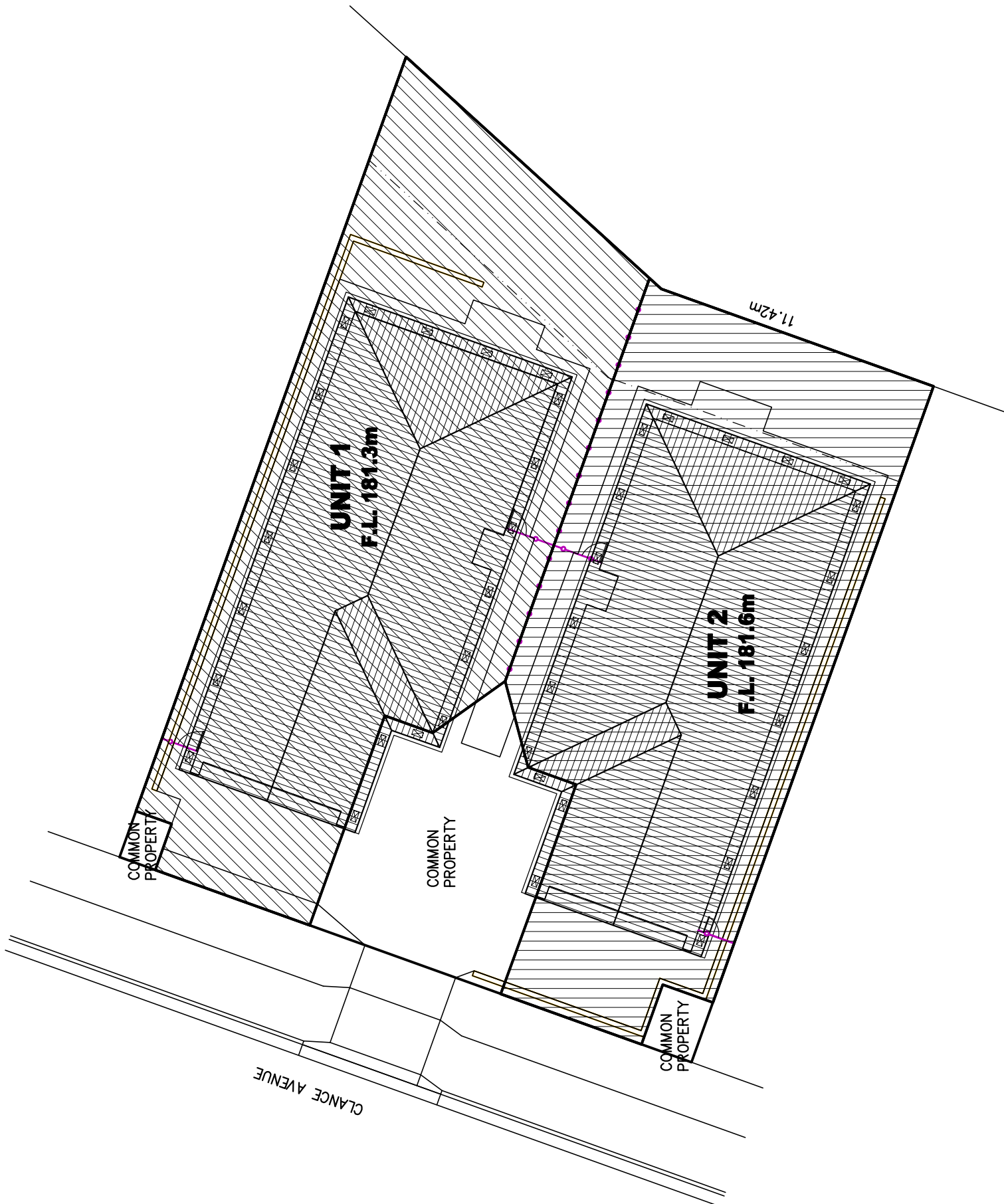
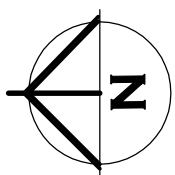
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COMMON PROPERTY



UNIT 1 STRATA TITLE



UNIT 2 STRATA TITLE



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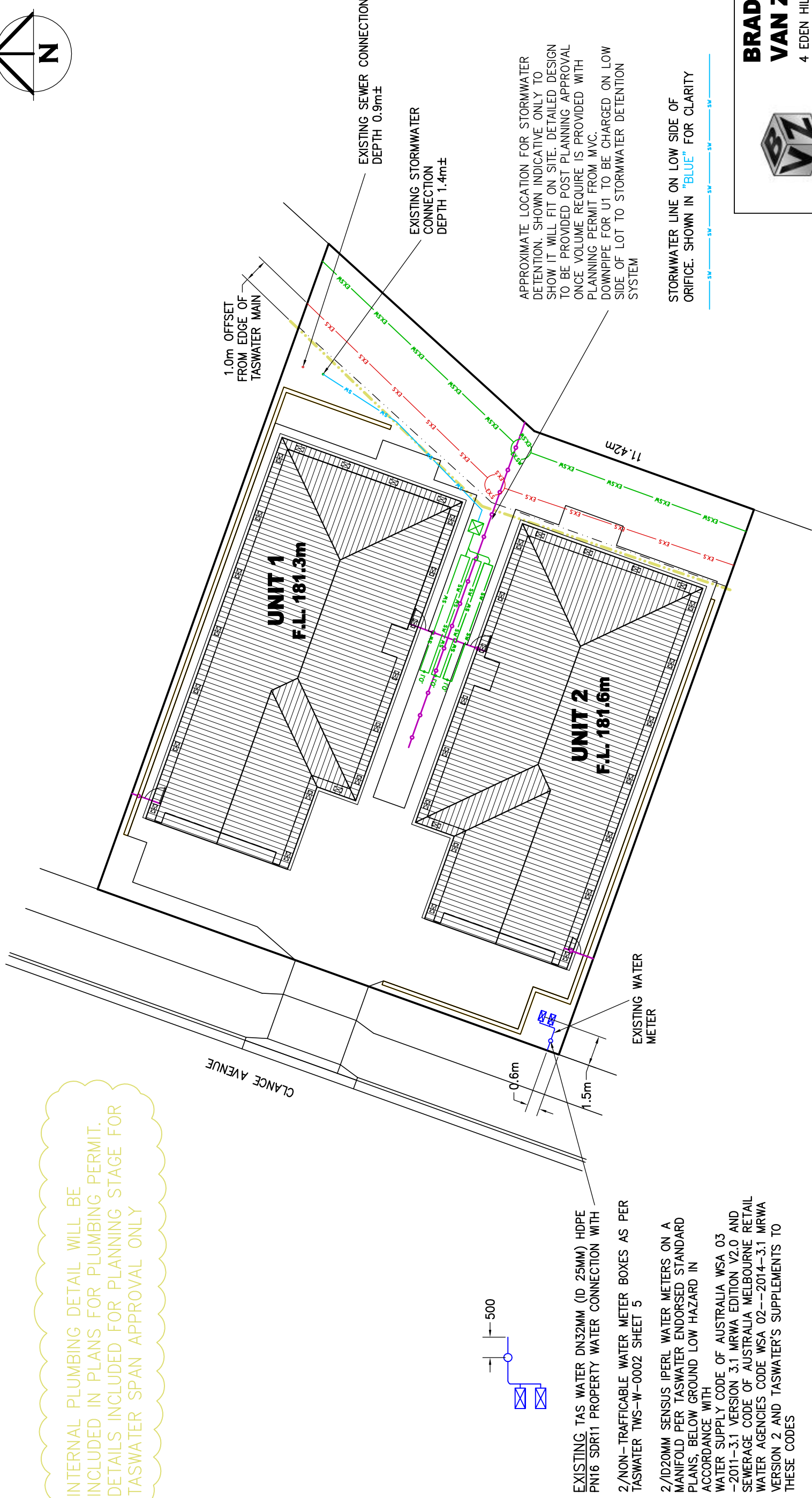
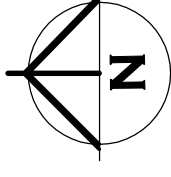
STRATA PLAN

EXACT STRATA BOUNDARY TO BE CONFIRMED ONCE CONSTRUCTION IS COMPLETED AND STRATA PLAN IS COMPLETED BY LAND SURVEYOR

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INTERNAL PLUMBING DETAIL WILL BE INCLUDED IN PLANS FOR PLUMBING PERMIT. DETAILS INCLUDED FOR PLANNING STAGE FOR TASWATER SPAN APPROVAL ONLY



EXISTING TAS WATER DN32MM (ID 25MM) HDPE PN16 SDR11 PROPERTY WATER CONNECTION WITH
 2/NON-TRAFFICABLE WATER METER BOXES AS PER TASWATER TWS-W-0002 SHEET 5

2/ID20MM SENSUS IPERL WATER METERS ON A MANIFOLD PER TASWATER ENDORSED STANDARD PLANS, BELOW GROUND LOW HAZARD IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02--2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES

INSTALLED AS PER TWS-W-0002 SHEET 9

ALL WORKS BY TAS WATER AT DEVELOPERS COST.

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DRAWING: SITE PLUMBING PLAN

DESIGNED: B. v. Z.
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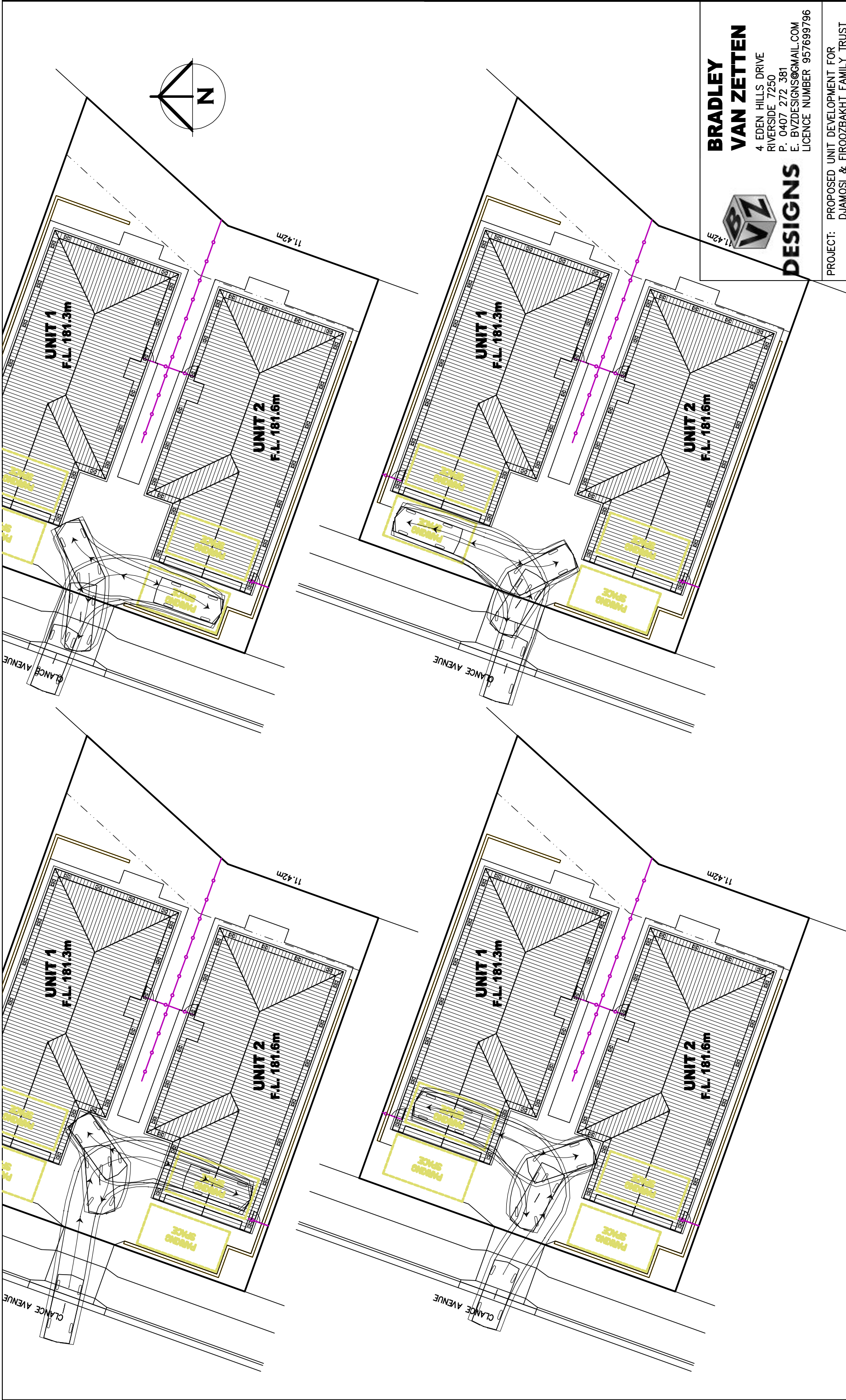
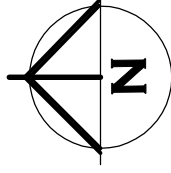
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SITE PLUMBING PLAN



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DRAWING: CAR PARKING PLAN

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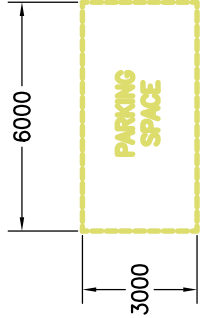
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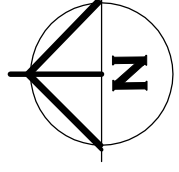
CARPARKING PLAN

EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.
 INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.
 VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.



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BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19 EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 - SOIL AND WATER MANAGEMENT.

PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 - DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 - MINIMISE SOIL DISTURBANCE.

DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 - PRESERVE VEGETATION WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 - DIVERT UP-SLOPE WATER DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 - EROSION CONTROL MATS AND BLANKETS WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 - PROTECT SERVICES TRENCHES AND STOCKPILES ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE. TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM. SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 - EARLY ROOF DRAINAGE CONNECTION DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED. TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 - SCOUR PROTECTION NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 - STABILISED SITE ACCESS DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE. INSTALLED AS PER FACT SHEET

FACT SHEET 13 - WHEEL WASH EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 - SEDIMENT FENCES SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

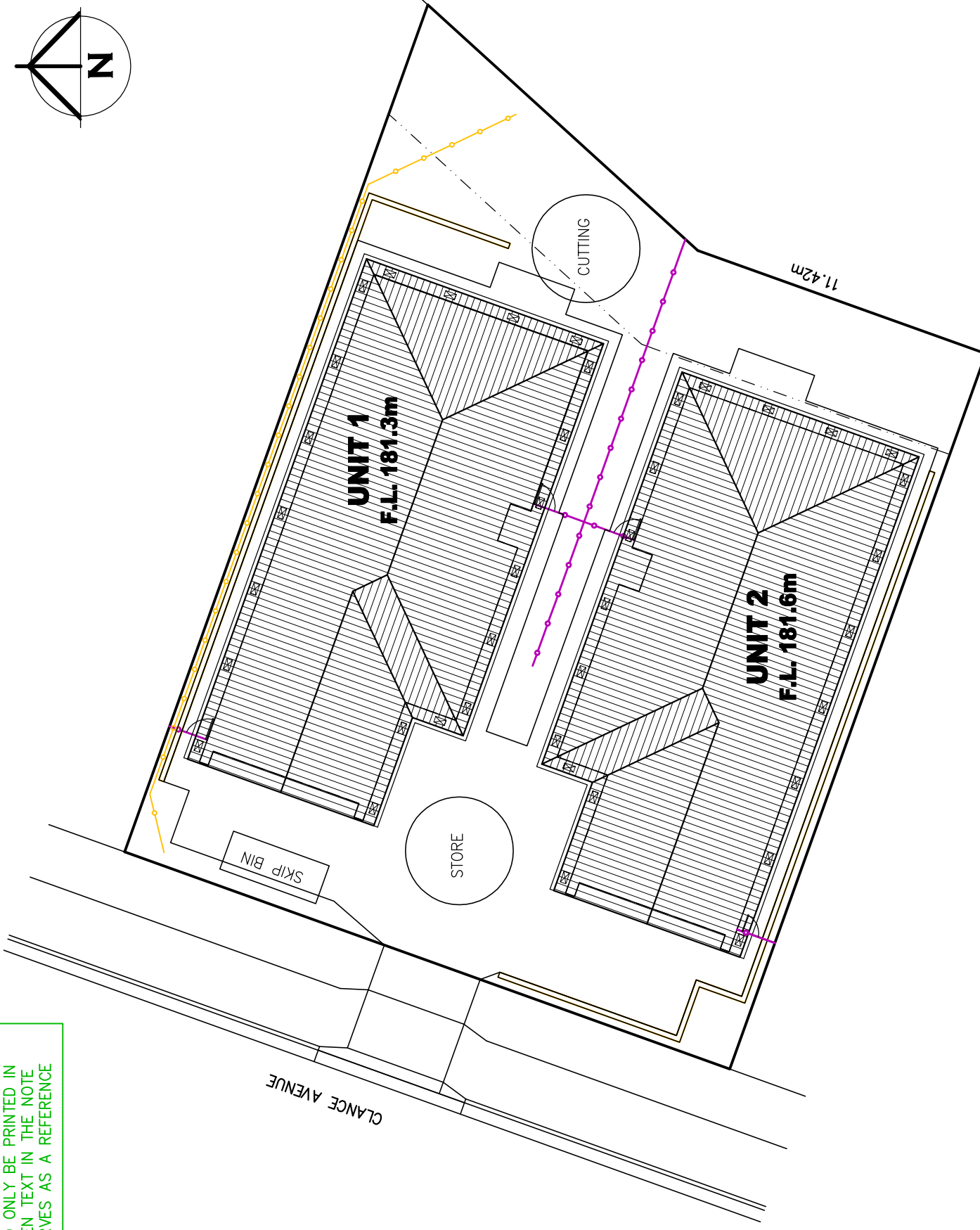
FACT SHEET 15 - PROTECTION OF STORMWATER PITS PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 - PROTECTED CONCRETE, BRICK AND TILE CUTTING ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

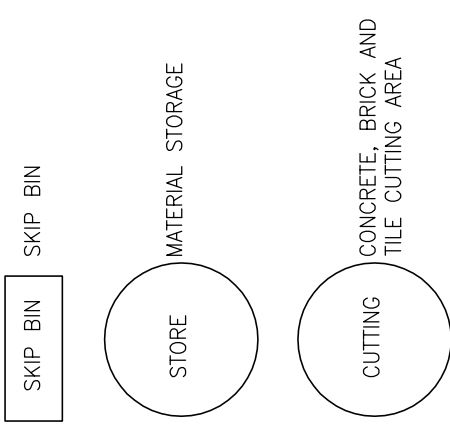
FACT SHEET 17 - SEDIMENT BASINS NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 - DUST CONTROL DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

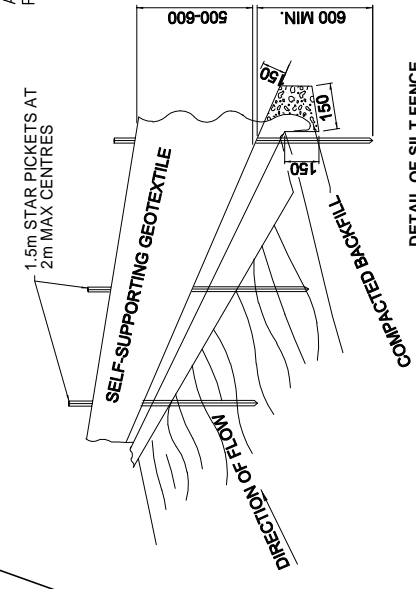
FACT SHEET 19 - SITE REVEGETATION ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



SOIL AND WATER MANAGEMENT PLAN



SILT FENCE AS PER DETAIL



DETAIL OF SILT FENCE

DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED
INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION
EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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REVISION 1	23 / 02 / 2026
REVISION 2	03 / 03 / 2026
REVISION 3	12 / 03 / 2026

BRADLEY VAN ZETTEN
4 EDEN HILLS DRIVE
RIVERSIDE 7250
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
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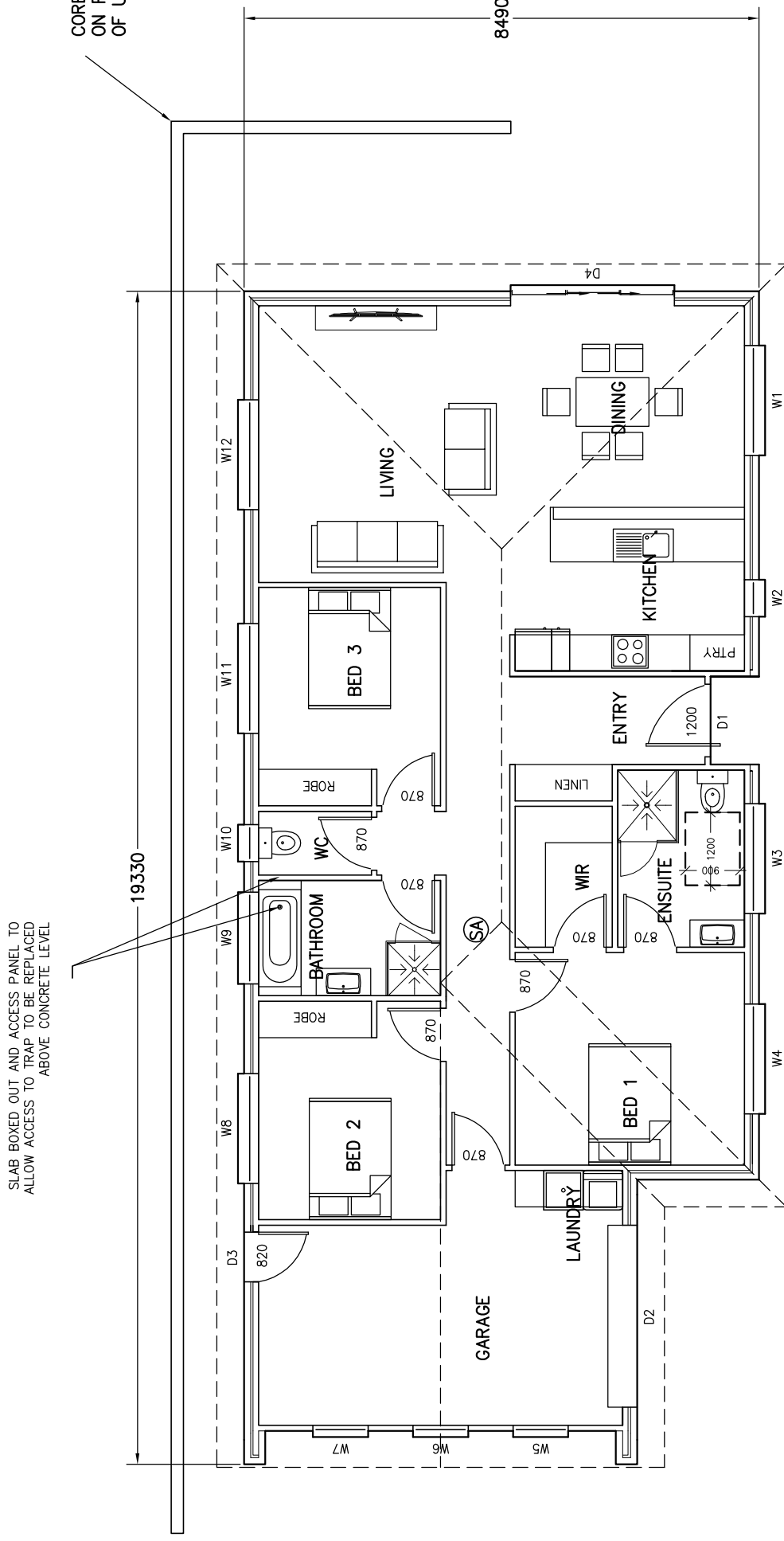
PROJECT: PROPOSED UNIT DEVELOPMENT FOR DJAMOSI & FIROOZBAKHT FAMILY TRUST AT 49 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: SOIL AND WATER MANAGEMENT PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26
SCALE - A3 - 1:200.	DRAWING No.: DJA0326 - 8/16



-  BRICK VENEER WALL
-  EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING
-  INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



SA - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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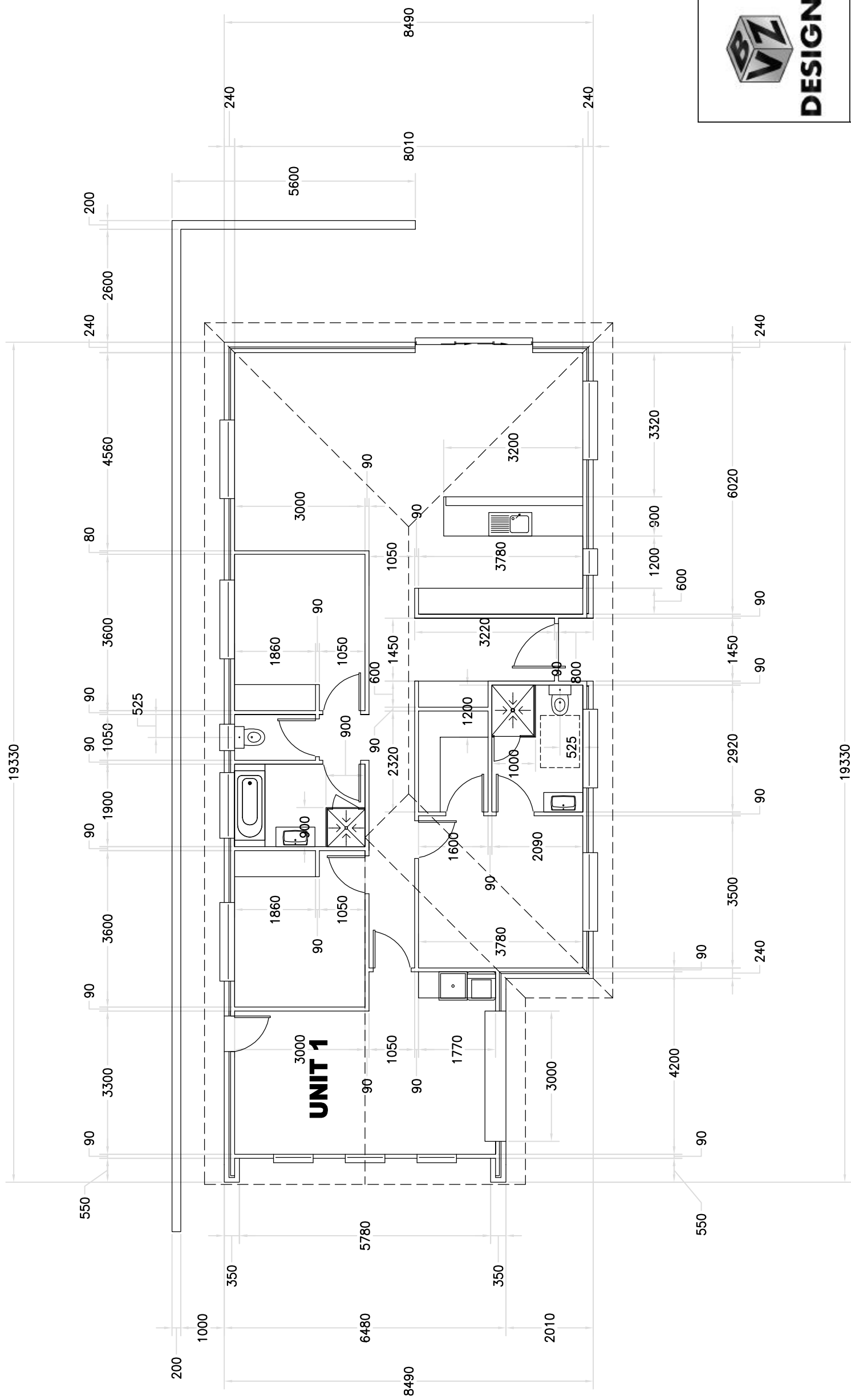
DRAWING: FLOOR PLAN UNIT 1	DESIGNED: B. v. Z.	APPROVED.
	DRAWN: B. v. Z.	DATE: 12 / 03 / 26
	SCALE - A3 - 1:100.	DRAWING No.: DJA0326 - 9/16

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
REVISION 2	03 / 03 / 2026
REVISION 3	12 / 03 / 2026

FLOOR PLAN UNIT 1

- BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
- CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.
- BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.
- WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED
- BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE	
SQUARE METER	BUILDING SQUARES
FLOOR AREA	150.4
TOTAL AREA	16.2



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DESIGNS

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
DJAMOSI & FIROOZBAKHT FAMILY TRUST
AT 49 CLANCE AVENUE
PROSPECT VALE 7250

DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 1

DESIGNED: B. v. Z.
DRAWN: B. v. Z.
APPROVED.
DATE: 12 / 03 / 26

SCALE -- A3 -- 1:100.
DRAWING No.:
DJA0326 -- 10/16

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
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REVISION 3	12 / 03 / 2026

FLOOR PLAN WITH DIMENSIONS UNIT 1

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
 GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAE
- WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH— A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
- (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH—
- (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
- (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
- (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.

COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5°: ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL), FIXED AT SIDE LAPS, 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT 12-11x50mm FOR HARDWOOD

ROOF PLAN UNIT 1

SHEET ROOF
 75x38mm HARD WOOD OR 70x35mm MGP12
 BATTENS AT 900mm MAX 900mm CRS AND SPAN.
 RANGEHOOD AND BATHROOM EXTRACTION FANS
 DUCTED TO EAVE/WALL VENT

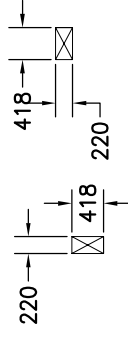
NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR METER OF WALL

HIP/RIDGE VENTILATION
 NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
 BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS

BRADFORD 418x220mm VENTS



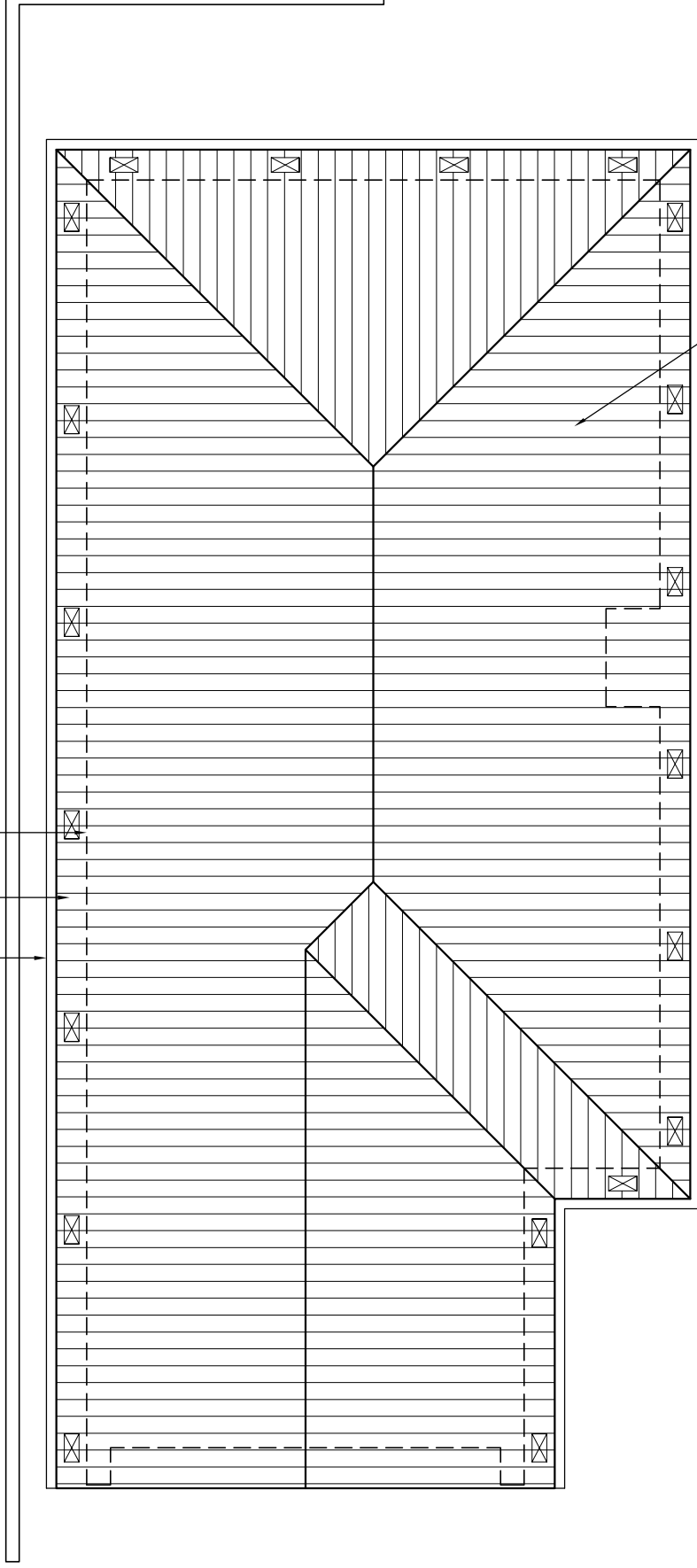
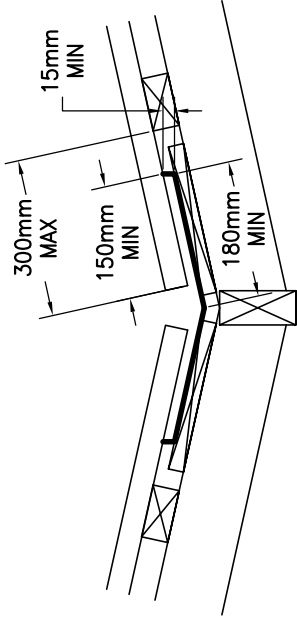
ROOF OVER 15 DEGREES

COLORBOND GUTTER AND FASCIA SYSTEM

450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED

VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4



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PROJECT: PROPOSED UNIT DEVELOPMENT FOR
 DJAMOSI & FIROOZBAKHT FAMILY TRUST
 AT 49 CLANCE AVENUE
 PROSPECT VALE 7250

DRAWING: ROOF PLAN UNIT 1

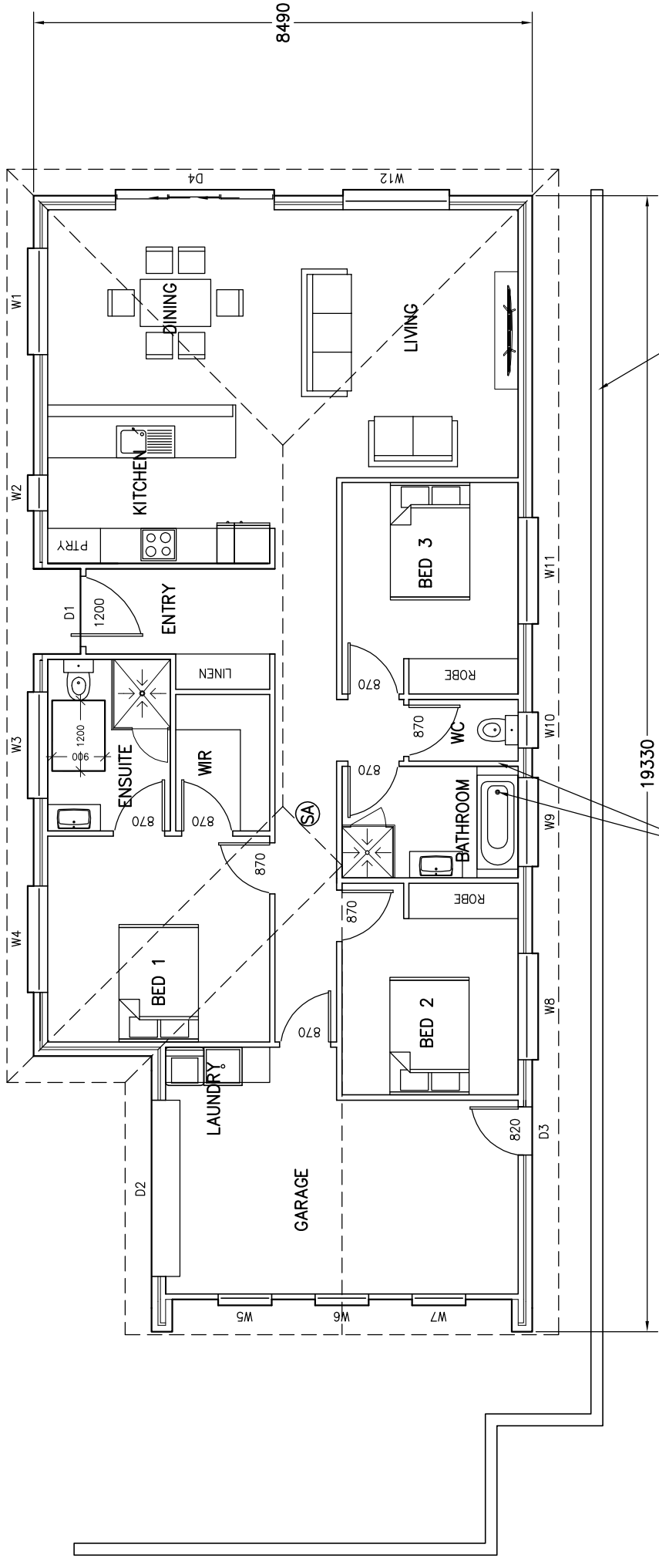
DESIGNED: B. v. Z.
 DRAWN: B. v. Z.
 APPROVED. DATE: 12 / 03 / 26

SCALE - A3 - 1:100.
 DRAWING No.: DJA0326 - 11/16

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
REVISION 2	03 / 03 / 2026
REVISION 3	12 / 03 / 2026



- BRICK VENEER WALL
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- INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
- EXTENT OF RAKED CEILING



CORE FILL BLOCK WALL ON WITH TOE TO HIGH SIDE OF UNIT 2

SLAB BOXED OUT AND ACCESS PANEL TO ALLOW ACCESS TO TRAP TO BE REPLACED ABOVE CONCRETE LEVEL

SA - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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PROJECT: PROPOSED UNIT DEVELOPMENT FOR DJAMOSI & FIROZBAKHT FAMILY TRUST AT 49 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: FLOOR PLAN UNIT 2	DESIGNED: B. v. Z.	APPROVED:
	DRAWN: B. v. Z.	DATE: 12 / 03 / 26
	SCALE - A3 - 1:100.	DRAWING No.: DJA0326 - 12/16

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
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FLOOR PLAN UNIT 2

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
 CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

- BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.
- WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED
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AREA TABLE		
SQUARE METER	BUILDING SQUARES	
FLOOR AREA	150.4	16.2
TOTAL AREA	150.4	16.2



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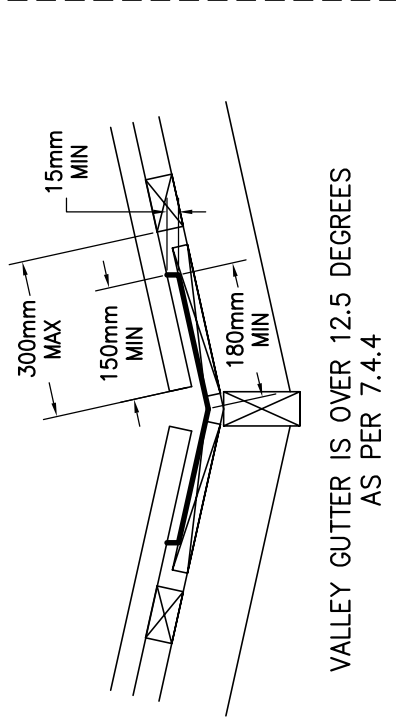


PROJECT: PROPOSED UNIT DEVELOPMENT FOR
 DJAMOSI & FIROZBAKHT FAMILY TRUST
 AT 49 CLANCE AVENUE
 PROSPECT VALE 7250

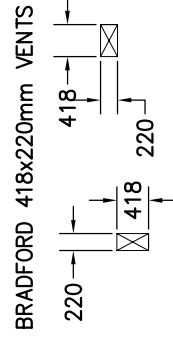
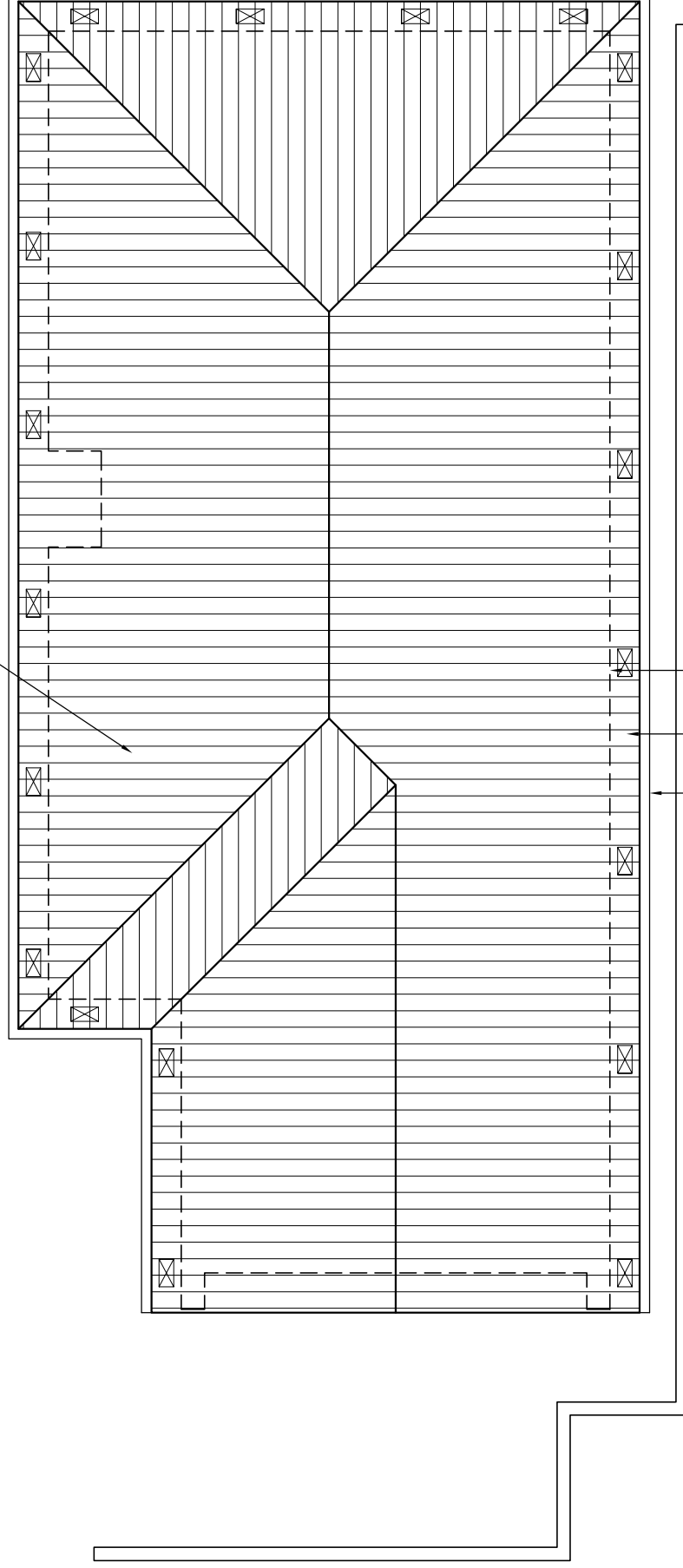
DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 2	
DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26
SCALE -- A3 -- 1:100.	DRAWING No.: DJA0326 -- 13/16

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
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REVISION 3	12 / 03 / 2026

FLOOR PLAN WITH DIMENSIONS UNIT 2



COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5° ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS
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ROOF OVER 15 DEGREES

NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR METER OF WALL

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ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIA

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND

(B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND

(C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

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EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH-- A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

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(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,

THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

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DESIGNS

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
 DJAMOSI & FIROOZBAKHT FAMILY TRUST
 AT 49 CLANCE AVENUE
 PROSPECT VALE 7250

DRAWING: ROOF PLAN UNIT 2

REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
REVISION 2	03 / 03 / 2026
REVISION 3	12 / 03 / 2026

DESIGNED: B. v. Z.

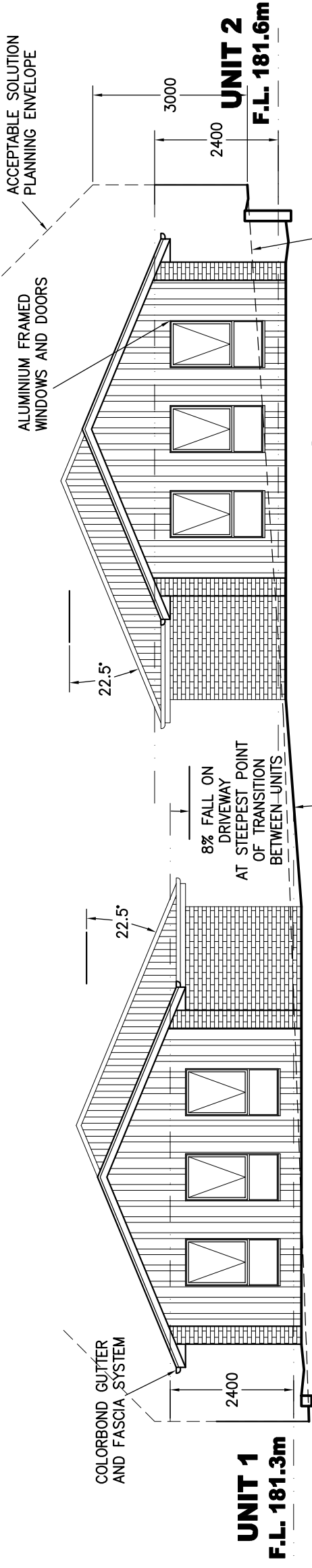
APPROVED.

DRAWN: B. v. Z.

DATE: 12 / 03 / 26

SCALE -- A3 -- 1:100.

DRAWING No.:
 DJA0326 -- 14/16



**UNIT 1
WEST ELEVATION**

**UNIT 2
WEST ELEVATION**

ACCEPTABLE SOLUTION
PLANNING ENVELOPE

ALUMINIUM FRAMED
WINDOWS AND DOORS

NATURAL GROUND
LEVEL

BRICK VENEER CLADDING

COLORBOND CUSTOM ORB
SHEET ROOFING

JAMES HARDIES OBLIQUE
CLADDING, OR OTHER JAMES
HARDIES CODEMARK PRODUCT
INSTALLED AS PER JAMES HARDIES
INSTALLATION MANUAL WITH CAVITY FIXING

8% FALL ON
DRIVEWAY
AT STEEPEST POINT
OF TRANSITION
BETWEEN UNITS

22.5°

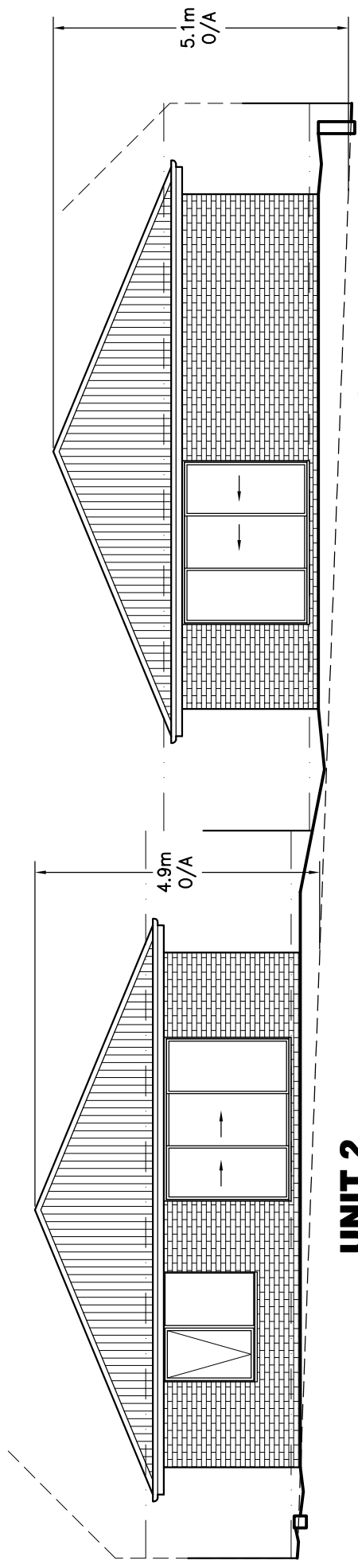
2400

3000

2400

**UNIT 1
F.L. 181.3m**

**UNIT 2
F.L. 181.6m**

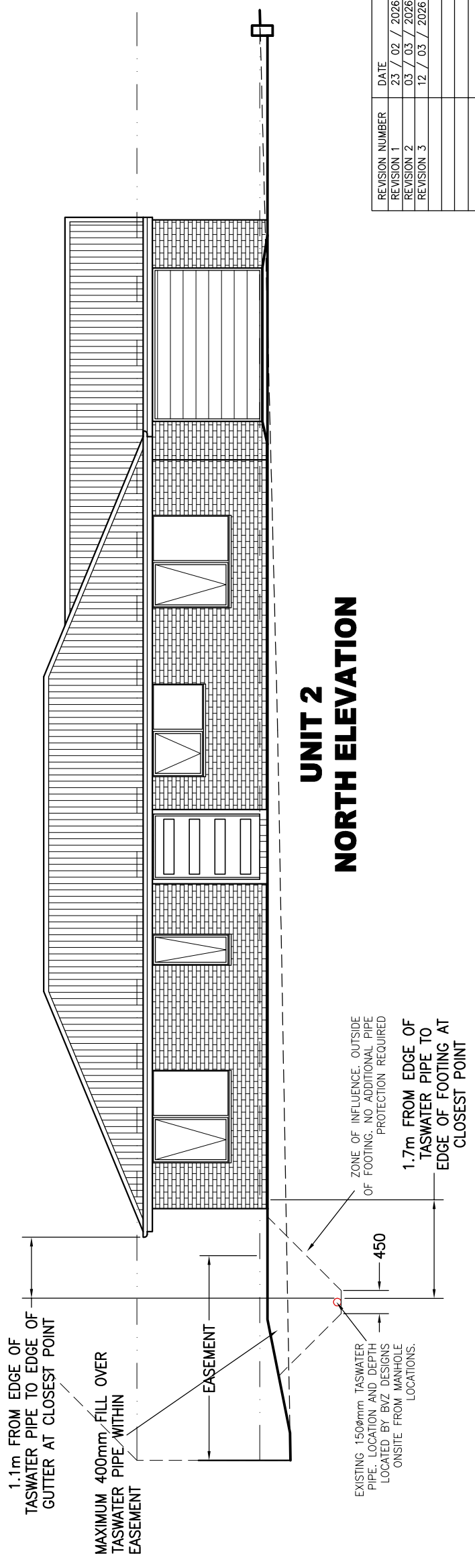


**UNIT 1
EAST ELEVATION**

**UNIT 2
EAST ELEVATION**

4.9m
O/A

5.1m
O/A



**UNIT 2
NORTH ELEVATION**

1.1m FROM EDGE OF
TASWATER PIPE TO EDGE OF
GUTTER AT CLOSEST POINT

MAXIMUM 400mm FILL OVER
TASWATER PIPE WITHIN
EASEMENT

EASEMENT

450

1.7m FROM EDGE OF
TASWATER PIPE TO
EDGE OF FOOTING AT
CLOSEST POINT

ZONE OF INFLUENCE, OUTSIDE
OF FOOTING, NO ADDITIONAL PIPE
PROTECTION REQUIRED

EXISTING 1500mm TASWATER
PIPE, LOCATION AND DEPTH
LOCATED BY BYZ DESIGNS
ONSITE FROM MANHOLE
LOCATIONS.

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DESIGNS

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
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PROSPECT VALE 7250

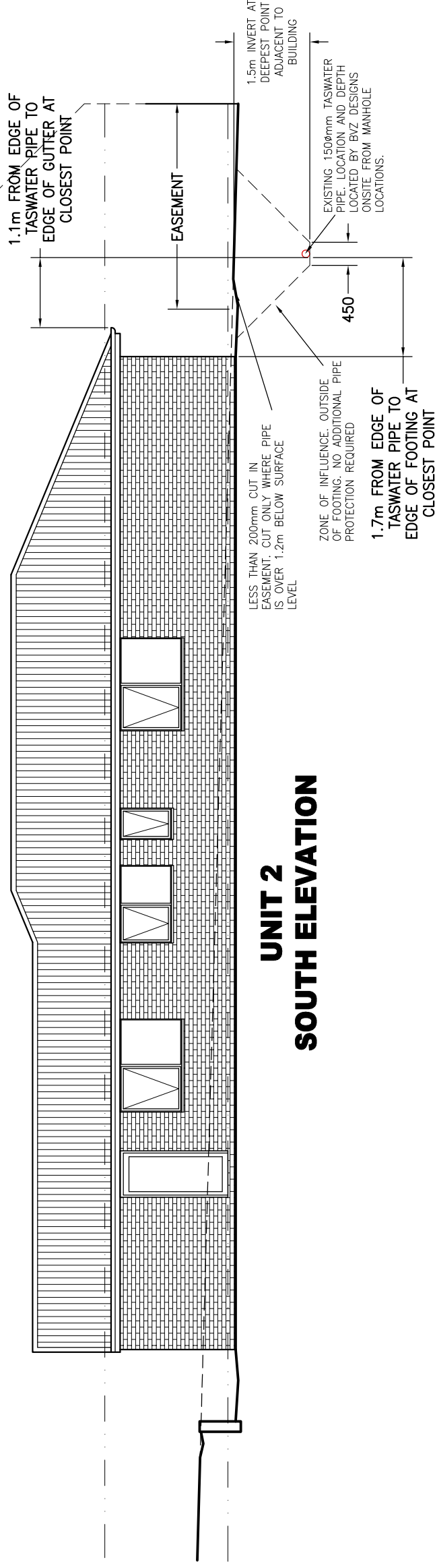
DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

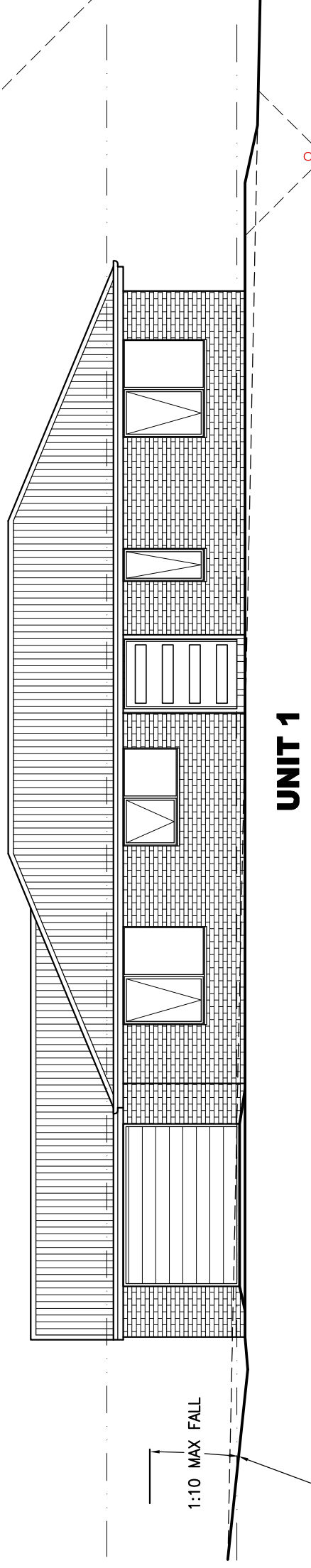
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DATE: 12 / 03 / 26

SCALE -- A3 -- 1:100.
DRAWING No.:
DJA0326 -- 15/16

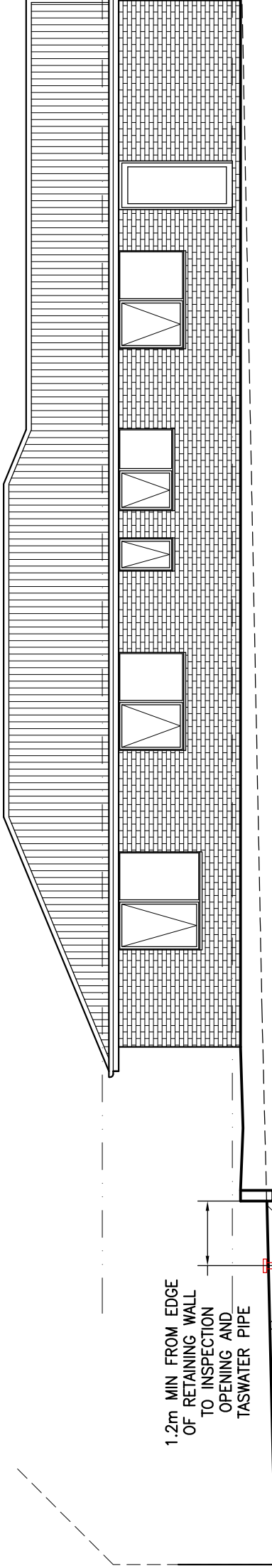
REVISION NUMBER	DATE
REVISION 1	23 / 02 / 2026
REVISION 2	03 / 03 / 2026
REVISION 3	12 / 03 / 2026



**UNIT 2
SOUTH ELEVATION**



**UNIT 1
SOUTH ELEVATION**



**UNIT 1
NORTH ELEVATION**

**BRADLEY
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**BVZ
DESIGNS**

PROJECT: PROPOSED UNIT DEVELOPMENT FOR
DJAMOSI & FIROZBAKHT FAMILY TRUST
AT 49 CLANCE AVENUE
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DRAWING: ELEVATIONS

DESIGNED: B. v. Z.
DRAWN: B. v. Z.
APPROVED.
DATE: 12 / 03 / 26

SCALE -- A3 -- 1:100.
DRAWING No.:
DJA0326 -- 16/16