

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0223
APPLICANT:	N Freeman
SITE:	3 Church Street, Carrick (CT: 180543/1)
PROPOSAL:	Extension to Single dwelling (Pergola) & Residential outbuilding (garage) x 2 - site coverage, setback, parking area.

The application can be inspected until **Thursday, 16 April 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 28 March 2026.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA \	<input type="text"/>	PA \	<input type="text"/>	PC \	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS :

Address	<input type="text" value="3 Church Street"/>	Certificate of Title	<input type="text" value="151816"/>
Suburb:	<input type="text" value="Carrick"/>	Tas	Lot No: <input type="text" value="1"/>
Land area:	<input type="text" value="2.768 ha"/>	m ² / ha	
Present use of land/building:	<input type="text" value="Residential"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building - dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials:	External walls:	<input type="text" value="colorbond - timber"/>	Colour:	<input type="text" value="Black"/>
	Roof cladding:	<input type="text" value="colorbond - timber"/>	Colour:	<input type="text" value="Black"/>

SEARCH OF TORRENS TITLE

VOLUME 180543	FOLIO 1
EDITION 2	DATE OF ISSUE 27-Jun-2025

SEARCH DATE : 15-Oct-2025

SEARCH TIME : 10.15 AM

DESCRIPTION OF LAND

Town of CARRICK

Lot 1 on Sealed Plan [180543](#)

Derivation : Part of 10 Acres Gtd. to William Bryan, Part of 4A-1R-18P (Sec. D) Gtd. to John Kinder Archer & Part of 2A-0R-37.5/10P Gtd. to The Closer Settlement Board

Prior CTs [117289/1](#) and [111028/1](#)

SCHEDULE 1

[M548849](#) & [E141014](#) TRANSFER to NICHOLAS JOHN FREEMAN and JODIE MAREE FREEMAN Registered 14-May-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP180543](#) EASEMENTS in Schedule of Easements

[SP180543](#) COVENANTS in Schedule of Easements

[SP180543](#) FENCING PROVISION in Schedule of Easements

[SP111028](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP117289](#) COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

[B189253](#) PROCLAMATION under Section 9A and 52A of the Roads and Jetties Act 1935 Registered 03-Jun-1988 at noon

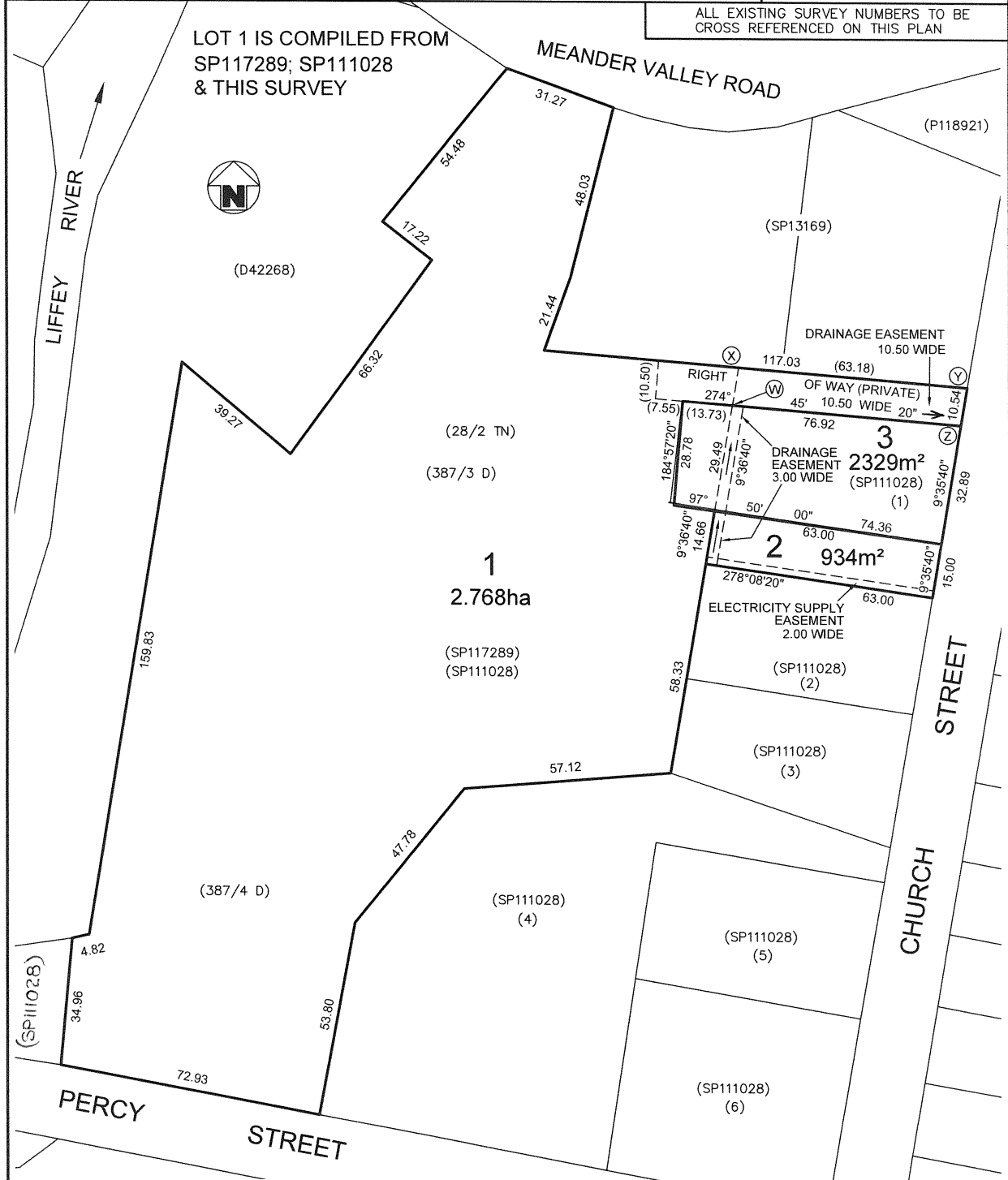
[E417785](#) MORTGAGE to Credit Union Australia Ltd Registered 27-Jun-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNERS: NICHOLAS JOHN FREEMAN JODIE MAREE FREEMAN PETER GEORGE PHILLIPS AMANDA LEE PHILLIPS FOLIO REFERENCE FR 117289/1; FR 111028/1 GRANTEE Part of 10 Acres. - Gtd. to William Bryan. Part of 4A 1R 18P. - Gtd. to John Kinder Archer. Part of 2A OR 37 5/10P. - Gtd. to The Closer Settlement Board	PLAN OF SURVEY		REGISTERED NUMBER SP180543
	BY SURVEYOR D.P. TOMPKINS	SURVEY & ALIGNMENT SERVICES	
LOCATION Town of Carrick Section D	APPROVED EFFECTIVE FROM 14 MAY 2021 Recorder of Titles		
SCALE 1:1000	LENGTHS IN METRES		

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



22/10/2020
 REGISTERED LAND SURVEYOR DATE

J. Jordan
 GENERAL MANAGER 5/11/2020
 COUNCIL DELEGATE DATE

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 180543

PAGE 1 OF 1 PAGE/S
3

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 1 is subject to a right of carriage way (appurtenant to Lot 1 on Sealed Plan 13169) over the land marked "RIGHT OF WAY (PRIVATE) 10.50 WIDE" on the plan.

Lots 2 and 3 are subject to a right of drainage (appurtenant to Lot 2 on Sealed Plan 111028) over the land marked "DRAINAGE EASEMENT 3.00 WIDE" on the plan.

Lot 1 is subject to a right of drainage (appurtenant to Lots 1, 2, 3, 4, 5 and 6 on Sealed Plan 111028) over the land marked WXYZ and "DRAINAGE EASEMENT 10.50 WIDE" on the plan.

Lot 2 is subject to an Electricity Supply Easement appurtenant to Lot 1 over the land marked "ELECTRICITY SUPPLY EASEMENT 2.00 WIDE" on the plan.

EASEMENTS CONTINUED ON PAGE 3

RESTRICTIVE COVENANT- SEE PAGE 3

~~The Owner (hereinafter called the Covenantor) of Lot 1 on the plan covenants with the Vendor and the owner or owners for the time being of every other Lot on Sealed Plan 117289 to the intent that the burden thereof shall run with and bind the Covenantors Lot and every part thereof and to the intent that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot on the plan to observe the following covenant:~~

~~Not to construct any direct access from the said Lot or any part thereof except onto Church Street.~~

N.J.F. Freeman *[Signature]* *A.L. Phillips* *[Signature]*

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PETER GEORGE PHILLIPS, AMANDA LEE PHILLIPS, NICHOLAS JOHN FREEMAN AND JODIE MAREE FREEMAN FOLIO REF: 111028/1 & 117289/1 SOLICITOR & REFERENCE: Amelia Goss – Rae & Partners Lawyers	PLAN SEALED BY: <i>Meander Valley Council</i> DATE: <u>5.11.2020</u> <i>J. Jordan</i> PA 2010281... REF NO. <i>[Signature]</i> GENERAL MANAGER Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES 3	Registered Number SP 180543
SUBDIVIDER: PETER GEORGE PHILLIPS, AMANDA LEE PHILLIPS, NICHOLAS JOHN FREEMAN AND JODIE MAREE FREEMAN FOLIO REFERENCE: 111028/1 & 117289/1	

DEFINITIONS

“Electricity Infrastructure” means the cables and apparatus for the purpose of the transmission and distribution of electrical energy and all ancillary facilities necessary or desirable including all future replacements, modifications or enhancements of them.

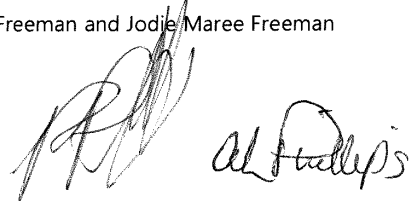
“Electricity Supply Easement” means the full free right and liberty for the dominant owner its servants and agents:

- (a) install, construct and maintain Electricity Infrastructure for the purposes of the transmission and distribution of electrical energy to the dominant tenement under the land (but not more than 2 metres and not less than 60 centimetres in depth) marked “ELECTRICITY SUPPLY EASEMENT 2.00 WIDE” (hereinafter called the “servient land”);
- (b) to enter into and upon the servient land for the purpose of maintaining or replacing the Electricity Infrastructure causing as little damage as possible to the servient land.

FENCING PROVISION

The Subdivider Peter George Phillips, Amanda Lee Phillips, Nicholas John Freeman and Jodie Maree Freeman shall not be required to fence.

EXECUTED by **PETER GEORGE PHILLIPS AND AMANDA LEE PHILLIPS** as the registered proprietor of the land comprised in Folio of the Register Volume 111028 Folio 1 in the presence of:



(witness signature)



(witness full name)

Benjamin Matthew Webb

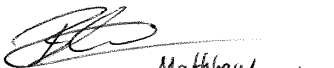
(witness occupation)

Estimator / Project Manager

EXECUTED by **NICHOLAS JOHN FREEMAN AND JODIE MAREE FREEMAN** as the registered proprietor of the land comprised in Folio of the Register Volume 117289 Folio 1 in the presence of:



(witness signature)



(witness full name)

Benjamin Webb

(witness occupation)

Estimator / Project Manager

of
59 David street, Newstead TAS 7250

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP180543</p>
<p>SUBDIVIDER: - PG & AL PHILLIPS and NJ & JM FREEMAN</p> <p>FOLIO REFERENCE: - 117289/1 & 111028/1</p>	
<p>EASEMENTS CONTINUED</p> <p>Lot 1 on the Plan is together with an Electricity Supply Easement over the land marked Electricity Supply Easement 2.00 wide shown passing through Lot 2 on the Plan.</p> <p>Lot 2 on the Plan & that part of Lot 3 on the Plan formerly comprised in Lot 1 on Sealed Plan 117289 are each subject to a right of drainage (appurtenant to Lots 1, 3, 4, 5 & 6 on Sealed Plan 111028) over the land marked Drainage Easement 3.00 wide on the Plan.</p> <p>That part of Lot 3 on the Plan formerly comprised in Lot 1 on Sealed Plan 111028 is subject to a right of drainage (appurtenant to Lots 3, 4, 5 & 6 on Sealed Plan 111028) over the land marked Drainage Easement 3.00 wide on the Plan.</p> <p>RESTRICTIVE COVENANT</p> <p>Lot 2 & those parts of Lots 1 & 3 on the Plan formerly comprised in Lot 1 on Sealed Plan 117289 are burdened by the restrictive covenant created by Sealed Plan 117289 in the following terms:</p> <p>Not to construct any direct access from the said Lot or any part thereof except onto Church Street.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

Project:
Proposed Shed & Garage
3 Church St, Carrick

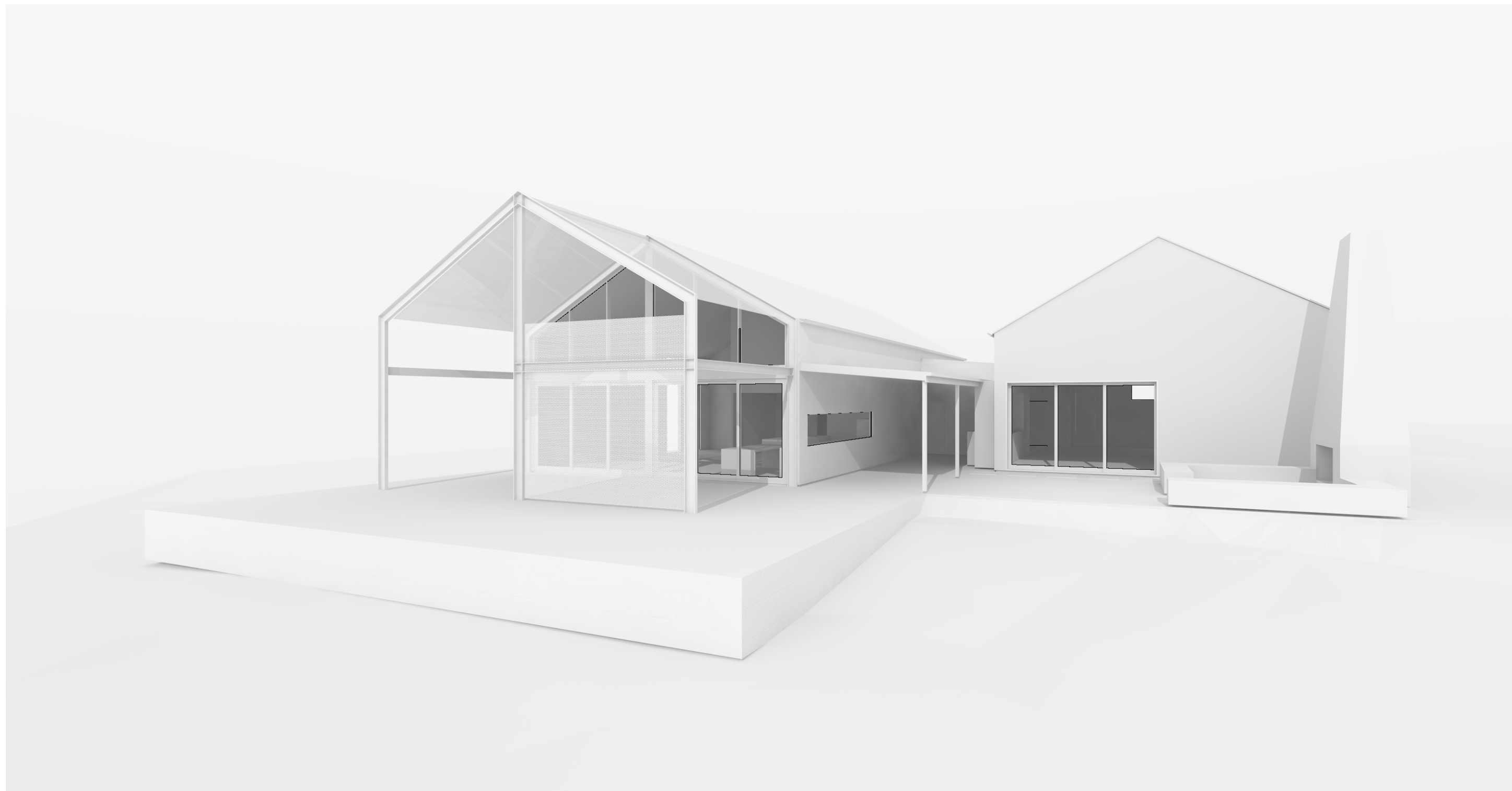
Client:
Nick & Jodie Freeman

Project Number: CE2510
Issue Number: DA1

AREAS:		
Site Area	2.768ha	Accreditation no: CC7464
Existing Gross Floor Area:	200m ²	Title Reference: 151816/1
New Addition Floor Area:	323m ²	Soil Classification: TBC
New Total Gross Floor Area:	523m ²	Wind Classification: TBC
(Gross excl. outbuildings, verandahs, decks)		Wind speed: TBC
Existing Roofed Area:	220m ²	Climate Zone: 7
Proposed Total Roofed Area:	543m ²	Bushfire Management: TBC
New deck:	N/A	
Impervious surfaces (total)	N/A	
Pervious Surface:	N/A	
Site Coverage:	N/A	

ARCHITECTURAL DRAWINGS:

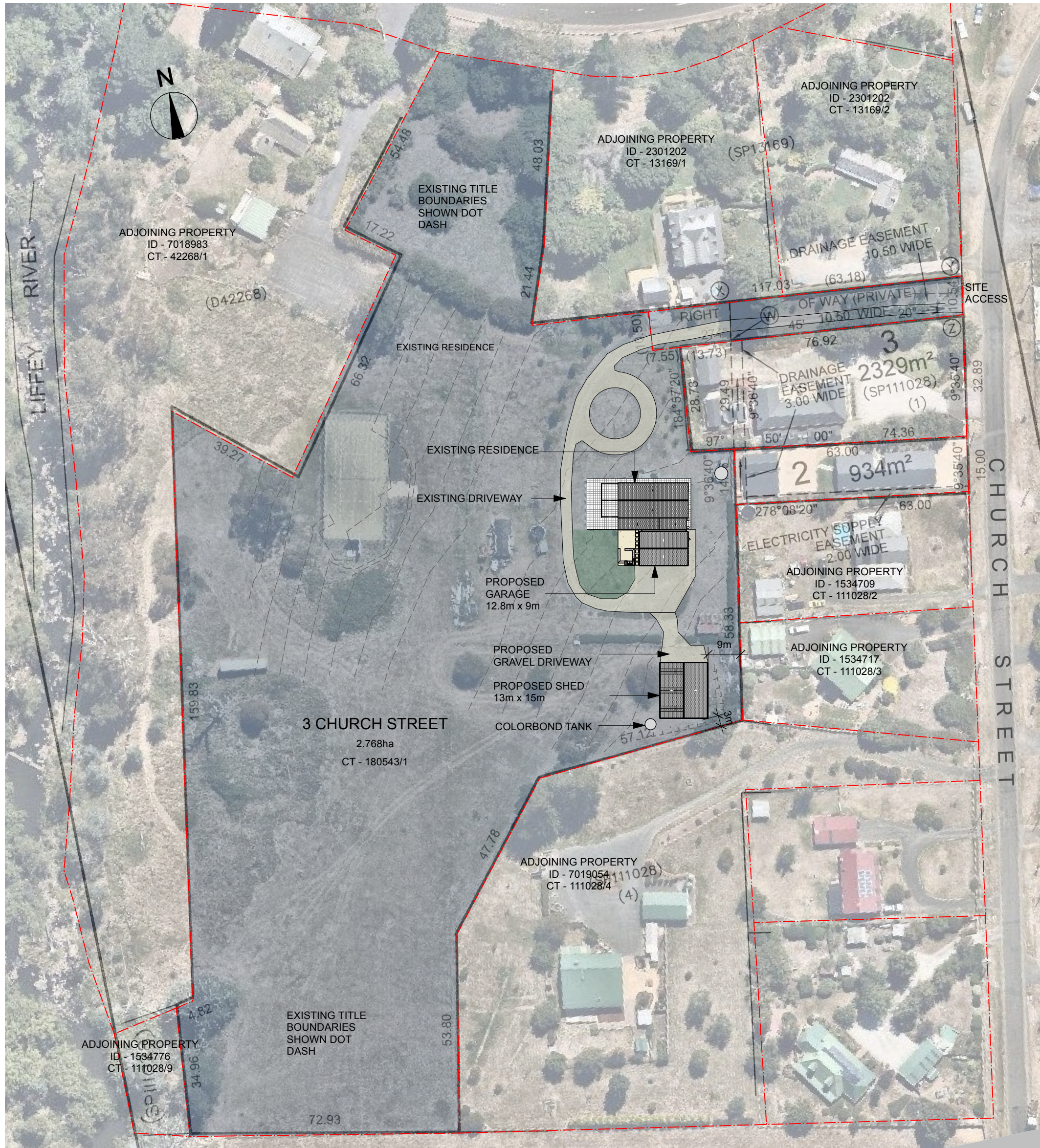
WD01	Cover
WD02	SITE PLAN
WD03	GARAGE FLOOR PLAN
WD04	GARAGE ELEVATIONS
WD05	GARAGE RENDERS
WD06	SHED DRAWINGS



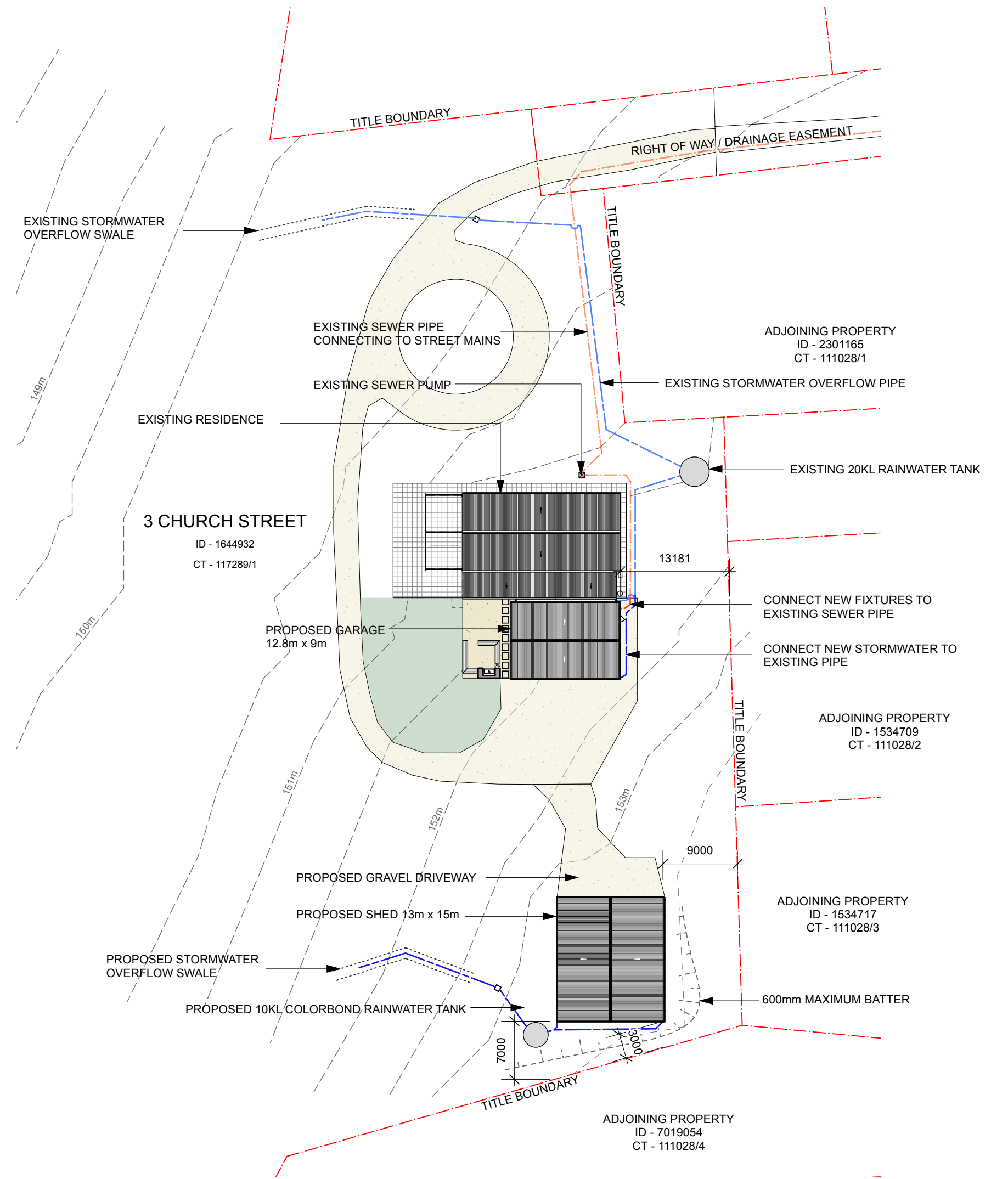
CHARLIE ELLIS
ARCHITECTURE

BA Env.Des. B.Arch Registered Architect (TAS)

Holyman House, Level 2, 52-54 Brisbane Street
LAUNCESTON TAS 7250
0407355489
cellisarchitecture@bigpond.com



LOCALITY/TITLE PLAN scale 1:1000 @ A2

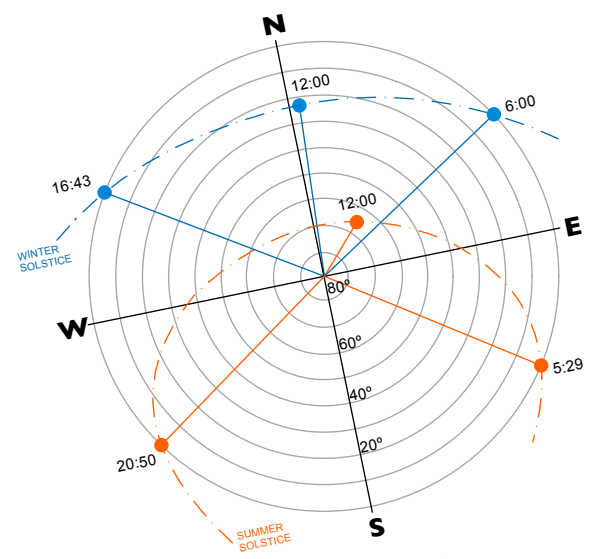


SITE PLAN scale 1:500 @ A2

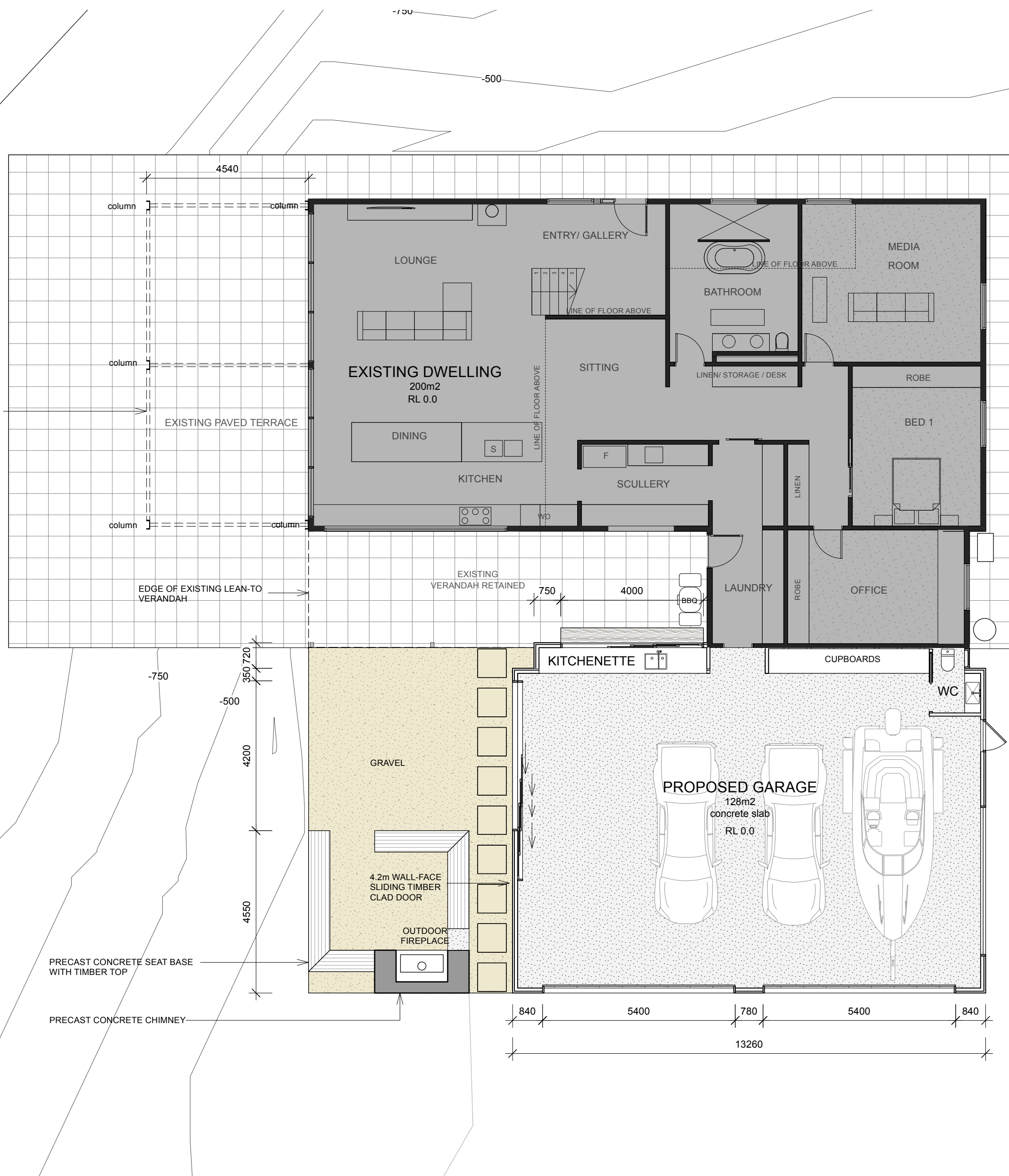
PROPOSED SHED & GARAGE - 3 CHURCH ST, CARRICK

WD02 - SITE & DRAINAGE PLANS

CHARLIE ELLIS



PROPOSED STEEL PERGOLA STRUCTURE TO SUPPORT SHADING DEVICES SHOWN DOTTED



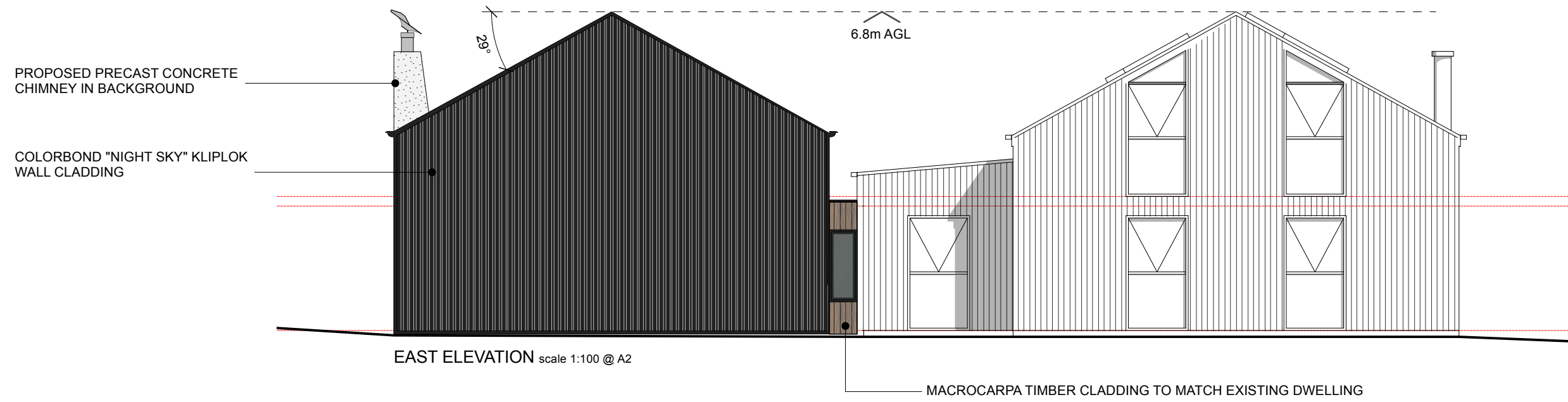
FLOOR PLAN scale 1:100 @ A2

PROPOSED SHED & GARAGE - 3 CHURCH ST, CARRICK

WD03 - PROPOSED GARAGE FLOOR PLAN

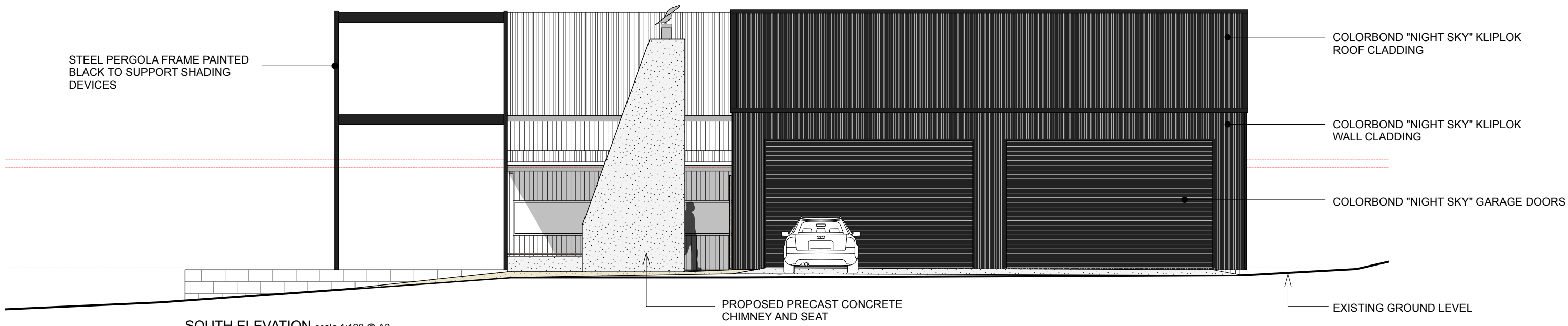
CHARLIE ELLIS

PROPOSED ADDITION EXISTING BUILDING



EAST ELEVATION scale 1:100 @ A2

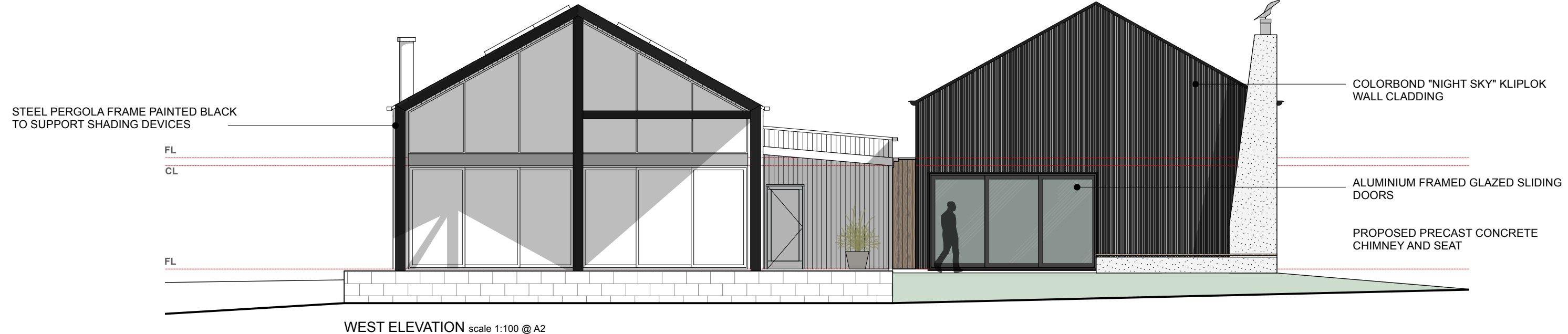
MACROCARPA TIMBER CLADDING TO MATCH EXISTING DWELLING



SOUTH ELEVATION scale 1:100 @ A2

EXISTING GROUND LEVEL

PROPOSED PRECAST CONCRETE CHIMNEY AND SEAT



WEST ELEVATION scale 1:100 @ A2

PROPOSED SHED & GARAGE - 3 CHURCH ST, CARRICK

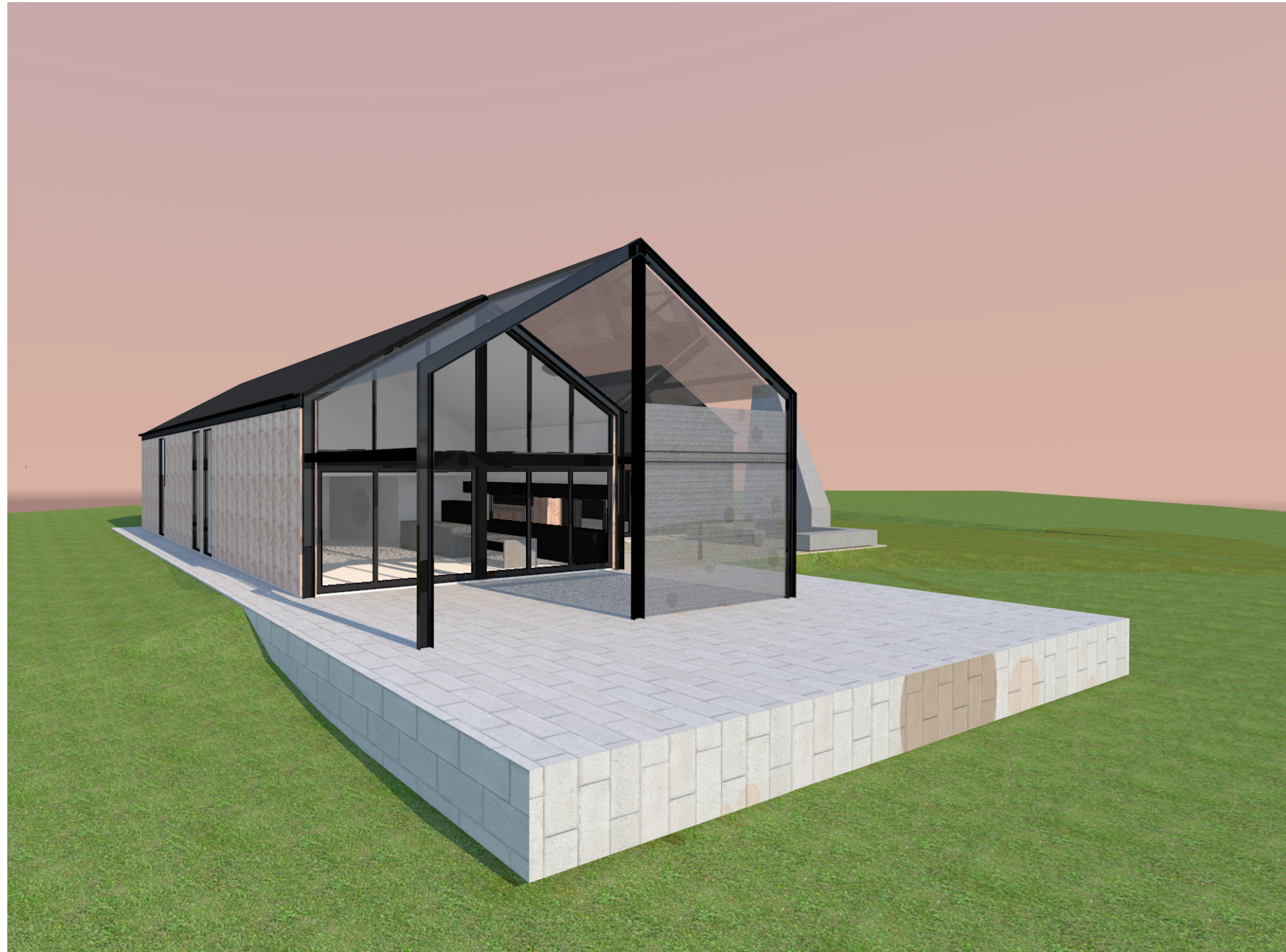
WD04 - PROPOSED ELEVATIONS

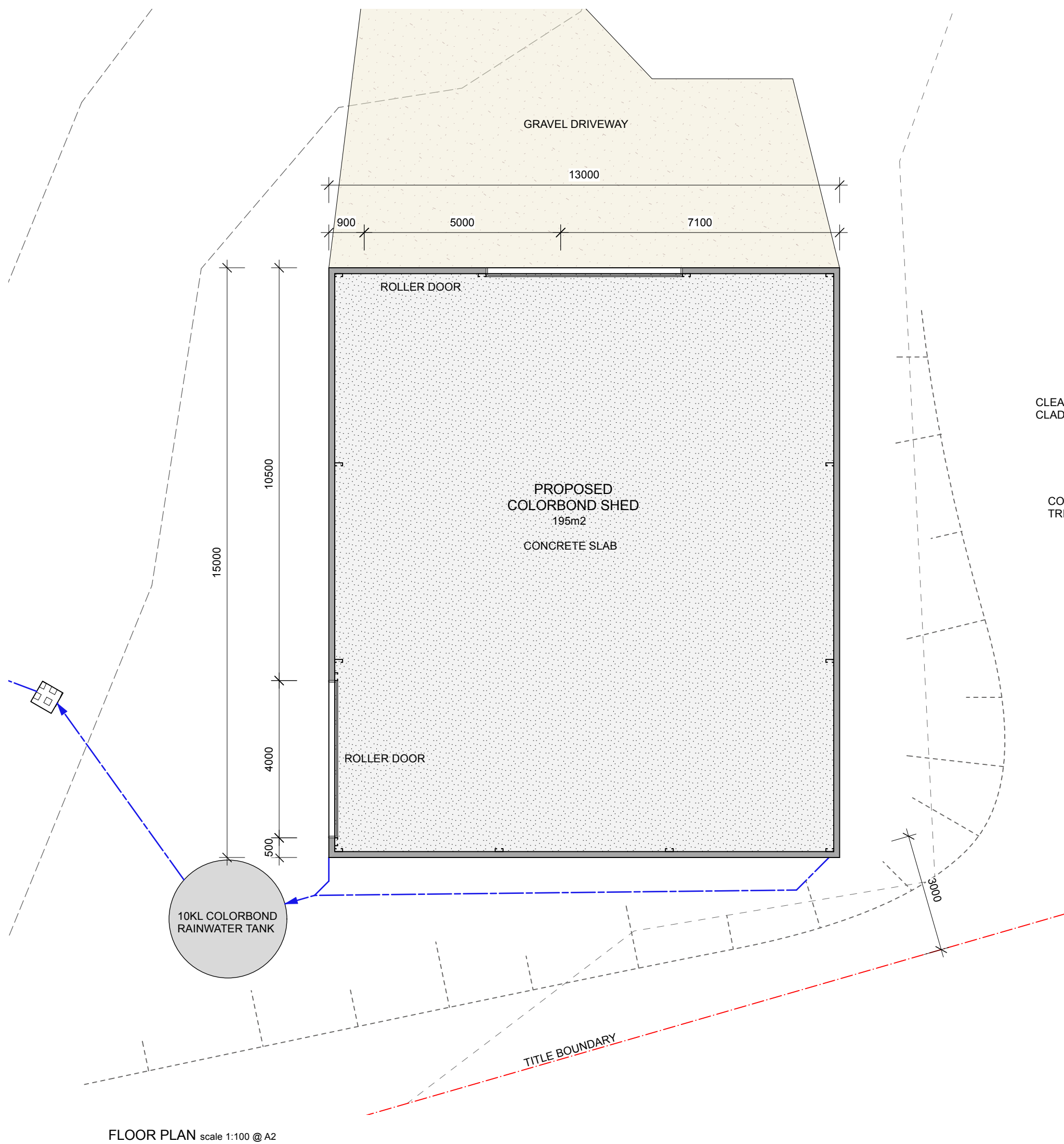
CHARLIE ELLIS
ARCHITECTURE

NOT FOR CONSTRUCTION - DO NOT SCALE OFF DRAWINGS

DEVELOPMENT APPLICATION ISSUE OCT / 2025

0407355489 - cellisarchitecture@bigpond.com
www.cellisarchitecture.com.au





FLOOR PLAN scale 1:100 @ A2

